

**Honorable City Planning Commission  
Cincinnati, Ohio**

**SUBJECT:** A report and recommendation on a proposed zone change from Planned Development #17 (PD-17) to Downtown Development – Residential (DD-B) at 975 Adams Xing in the East End.

**GENERAL INFORMATION:**

**Location:** 975 Adams Xing, Cincinnati, OH 45202

**Petitioner:** Towne Properties  
1055 St. Paul Place  
Cincinnati, OH 45202

**Request:** To change the zoning for the property located at 975 Adams Xing from Planned Development #17 (PD-17) to Downtown Development – Residential (DD-B) in order to allow for the proposed construction of a five-story, approximately 100-unit multi-family residential development. The existing PD-17 district does not have an approved Concept Plan or Development Program Statement.

**ATTACHMENTS:**

Provided in addition to this report are the following attachments:

- Exhibit A – Location Map
- Exhibit B – Petition for Change of Zoning
- Exhibit C – Plat
- Exhibit D – Legal Description
- Exhibit E – Site Renderings and Drawings
- Exhibit F – CPRE200080 Letter

**BACKGROUND:**

The subject property is located at the northeast terminus of Adams Xing, north of Riverside Drive and south of Columbia Parkway in the East End neighborhood. The property is a 4.78-acre vacant lot that is situated between the Captain's Watch multi-family residential building (to the southwest) and Foster's Point condominium development (to the north). The existing zoning of the property is Planned Development #17 (PD-17), Adams Landing, which was established on January 13, 2004 when City Council adopted the current Zoning Code. The PD-17 district was established for the area known as Adam's Landing to accommodate development for the area that was identified in a Development Agreement between the City and Towne Properties (City Council Ordinance No. 407-2001). Prior to January 13, 2004, the subject property was zoned Downtown Development (DD).

On December 15, 2006, the City Planning Commission considered the rezoning of PD-17 to appropriate zoning designations prior to the established expiration date of February 14, 2007 unless a Concept Plan, Development Program Statement, or Final Development Plan was submitted. At this meeting, the City Planning Commission accepted staff's recommendation to approve the rezoning of portions of PD-17 to specific zoning designations, and for Adam's Landing, the area that currently exists as PD-17, to remain as such because portions of Adam's Landing were under development consistent with the Master Plan identified in the Development Agreement (Ordinance No. 407-2001). On February 16, 2007, City staff provided an informational update presentation to the City Planning Commission regarding PD-17. No action was recommended by staff, or taken by City Planning Commission at this meeting.

Section 1429-09 of the Cincinnati Zoning Code establishes that a PD District must include a Concept Plan and Development Program Statement. To date, no Concept Plan or Development Program Statement has been established for PD-17. Because no Concept Plan, Development Program Statement, or Final Development Plan has been submitted for the subject property, and the other areas of PD-17 have already been developed, the petitioner is requesting a zone change for only the subject property to the previous zoning designation, which prior to January 13, 2004 was the Downtown Development (DD) district.

On September 2, 2020, Towne Properties submitted a Coordinated Site Review application to the Department of Buildings and Inspections requesting review of a proposed five-story, 100-unit, multi-family residential development on the subject property. As part of the application, the petitioner indicated to the Department of City Planning the interest of rezoning the property to the Downtown Development (DD) zoning designation, as there was no Concept Plan or Development Program Statement established since PD-17 was last considered by the City Planning Commission. As such, the PD for this property has lapsed and the petitioner would not be able to apply for or obtain any permits for the development. Because the DD zoning district regulations that existed prior to January 13, 2004 have been modified, and includes subdistricts and overlays, the Department of City Planning advised Towne Properties that a zone change from PD-17 to the DD district should be requested through a City Council Ordinance to establish the district. On March 2, 2021, Towne Properties submitted a Petition for Zone Change to the Department of City Planning (Exhibit B).

**PROPOSED DEVELOPMENT:**

Towne Properties requests the proposed zone change to allow for the construction of a five-story, 100-unit multi-family residential structure, with 199 parking spaces (122 interior garage spaces and 77 surface parking spaces). The development will be accessed via an existing curb cut on Riverside Drive (to the south of the subject property) and a proposed access point from Adams Xing (private street). The proposed development would require review and approval by the City, subsequent to a zone change.

**ADJACENT LAND USE AND ZONING:**

The existing zoning and land use surrounding the subject site is as follows:

**North:**

Zoning: Park and Recreation (PR); Planned Development #17 (PD-17)  
Existing Use: Riverview Park; Vacant; Columbia Parkway right-of-way

**East:**

Zoning: Planned Development #17 (PD-17)  
Existing Use: Condominium Residential (Foster's Point)

**South:**

Zoning: Park and Recreation (PR)  
Existing Use: Restaurant (Montgomery Inn); TM Berry International Friendship Park

**West:**

Zoning: Planned Development #17 (PD-17)  
Existing Use: Multi-Family Residential (Captain's Watch)

**ANALYSIS:**

The proposed zone change from PD-17 to DD is necessary as there is no Concept Plan or Development Program Statement that regulate development on the property. Since the adoption of PD-17, this site has remained vacant, and all other areas of PD-17 have been developed. Since the City Planning Commission's

last consideration of PD-17 in February of 2007, there has been no submittal of any required element of a Planned Development district per Chapter 1429 of the Cincinnati Zoning Code. Therefore, the PD-17 district for the subject property would need to be rezoned in order for a development to be reviewed against applicable regulations. The petitioner requests the property be rezoned to the zoning designation which existed prior to PD-17 for the site, which was the Downtown Development (DD) district.

Section 1411-03 of the Zoning Code establishes four subdistricts of the DD district. Therefore, a zone change from PD-17 to an appropriate DD designation is necessary. Based on the subdistricts outlined in Section 1411-03, the uses established for each subdistrict in Section 1411-05, and the adjacent zoning districts surrounding the subject property, Subdistrict B – Downtown Residential (DD-B) is recommended for this site. The purpose of the DD-B district is to “create, maintain and enhance areas for residential developments that will complement and support the downtown core. Residential developments may be either as a sole use or as a mixed use and achieved through the adaptive reuse of historic structures or new construction.” Chapter 1411 includes a map that illustrates locations of each subdistrict of the DD district, and the area adjacent to the southwest of the subject site is also within the DD-B district.

The proposed development of the subject property as a five-story, 100-unit multi-family residential structure with interior parking, and additional surface parking is consistent with the purposes and development standards of the DD-B zoning district. Section 1411-07 establishes Development Regulations for each subdistrict and requires residential uses for any development within the DD-B district. These requirements would be used when reviewing any development proposal for the site. Section 1411-23 establishes minimum required parking standards for “Parking Subdistricts.” The area adjacent to the southwest of the subject site is within Parking Subdistrict Y, which allows for accessory surface parking, public surface parking, and parking garages. Under Section 1411-23, “Residential Uses” require 0.75 parking spaces per dwelling unit above 20 units. The petitioner is proposing 199 parking spaces (interior garage spaces and surface spaces) which meets this requirement.

Maximum building height was discussed throughout the review and public comment process of the requested zone change. The petitioner is proposing a five-story structure that is intended to be a lower elevation than Columbia Parkway. Map 1411-13 establishes maximum building height for areas of the DD district based on elevation above sea level (ASL). The area adjacent to the southwest of the subject property establishes a maximum building height of 750 ASL. Because there are concerns of maintaining view sheds of the riverfront for property owners to the north in the Mount Adams neighborhood, and the existing built environment immediately adjacent to the west (Captain’s Watch) and to the east (Foster’s Point), it is important that the maximum building height allowed for the subject property be compatible. The existing elevation of Columbia Parkway to the north of the subject property is 590 – 600 ASL. There is an existing Maximum Building Height Overlay subarea established in Map 1411-13 of the Zoning Code that outlines a maximum building height of 595 ASL. Therefore, staff recommends this Maximum Building Height Overlay be considered for the subject property.

In addition to the zone change to include the subject property in the DD-B zoning district, Chapter 1411 of the Cincinnati Zoning Code includes the following maps that will need to be adjusted if the proposed zone change is approved. Staff recommends the maps be adjusted as outlined below:

- Map 1411-05: Use Subdistrict Overlay
  - Subject property to be included in the Subdistrict B
- Map 1411-09: Floor Area Ratio (FAR) Overlay
  - Subject property to be designated with a Maximum FAR Overlay of 5

- Map 1411-13: Maximum Building Height Overlay
  - Subject property to be designated with a Maximum Building Height Overlay of 595 ASL
- Map 1411-15: Zero Setback Overlay
  - Not applicable to the subject property
- Map 1411-17: Commercial Continuity Overlay
  - Not applicable to the subject property
- Map 1411-19: Skywalk Overlay
  - Not applicable to the subject property
- Map 1411-23: Parking Subdistrict Overlay
  - Subject property to be included in the adjacent Subdistrict Y

The proposed zone change will allow for the reactivation and development of a vacant property along Riverside Drive in the East End, immediately adjacent to the Central Business District. Under the existing PD-17 district, the property is not able to be developed as there is no effective Concept Plan or Development Program Statement. Therefore, a zone change to an appropriate zoning district is necessary. Based on the above analysis, the DD-B zoning district will allow the site will be developed as multi-family residential as proposed by the petitioner, and the use and development requirements established by the recommended subdistricts and overlays will ensure the development of the site is appropriate and consistent with the surrounding properties.

**COORDINATED SITE REVIEW:**

The proposal was submitted to the City’s Coordinated Site Review (CSR) at a Development Design Review level. The Coordinated Site Review Advisory Team met on September 22, 2020. A meeting was held with the petitioner to review departmental feedback on September 29, 2020. The petitioner also received a letter outlining the feedback as seen in Exhibit F. There were no concerns regarding the petitioner proceeding with the change from the PD-17 district to the DD district. The Department of Buildings and Inspections – Zoning Division reviewed the proposal with the understanding that the reversion would take place and provided comments related to cut and fill variances necessary for development due to the Hillside Overlay District. It was noted that the proposal appeared to conform to the FAR, height, density, parking, and setbacks for the DD district.

The Cincinnati Fire Department commented that Adams Xing should be constructed in a manner that allows for fire apparatus to maneuver. The petitioner has modified the site plan in order to address this concern. The Department of Transportation and Engineering (DOTE) requested a minor Traffic Impact Study outlining general trips and trip distribution. The petitioner has worked with DOTE to provide this information, and it was determined that the site will generate 27 trips in peak hours, which did not cause any concerns. All other comments outlined in Exhibit F are items that the petitioner will address at time of permitting.

**PUBLIC COMMENT:**

The Department of City Planning held a Virtual Public Staff Conference on the requested zoning change on March 22, 2021. Notice was sent to all property owners within a 400-foot radius of the subject property, all property owners within the existing PD-17 district, and to the East End Area Council and the Mount Adams Civic Association. There were approximately 25 community members in attendance. During the staff conference, community members expressed concerns for protecting existing viewsheds, specifically

from property owners of Captain's Watch, and residents of Hill Street to the north of the subject property in the Mount Adams neighborhood. The petitioner indicated that the proposed structure would not extend above Columbia Parkway and provided renderings demonstrating the proposed building height.

There were additional questions surrounding the guarantee that the petitioner would proceed with the development proposals presented, and whether a zone change to the DD district would allow the petitioner to build a structure taller than presented during the meeting. The petitioner stated that a significant amount of time has been invested in the current plans and there is no intent to change the plans after the zone change. The petitioner added that the reason behind the zone change request is that under the existing PD district, a Final Development Plan and permits are not able to be applied for, as no Concept Plan or Development Program Statement exist. City staff added that analysis of the DD district, and associated subdistricts and overlays, would occur as part of the zone change request, which will be integrated into staff's recommendation to City Planning Commission and City Council.

Questions were raised regarding the impact of the proposed zone change to the existing properties and development within PD-17. City Planning staff explained the need for a Concept Plan and Development Program Statement for a Planned Development, and the history of PD-17 that necessitates the petitioner to seek a change in zoning. Residents of Captain's Watch (to the west of the subject property) asked questions regarding traffic impacts to Adams Xing and Riverside Drive, and expressed interest for the petitioner to include surface parking to help alleviate demands for overflow parking for guests. The petitioner explained coordination that has occurred with DOTE regarding the traffic impact analysis and outlined on the site plan the location of surface parking proposed at the northern terminus of Adams Xing.

There were additional questions regarding the operation of construction, maintenance of property within the remaining PD-17 area, and general questions related to the review and approval process. City staff explained that the zone change would ultimately be considered by City Council following the City Planning Commission, and the development proposal would be reviewed based on the zoning that is in effect, and any deviations from the zoning regulations would require variances through the Zoning Hearing Examiner.

Prior to the Virtual Public Staff Conference, the petitioner held the following meetings with surrounding neighborhoods and property owners:

East End Area Council

- February 8, 2021 – Formal Presentation

Mount Adams Civic Association

- December 21, 2020 – Formal Presentation to Mount Adams Civic Association
- January 8, 2021 – Meeting with Mount Adams Civic Association leadership
- March 16, 2021 – Meeting with Mount Adams Civic Association leadership

Adam's Place Condo Association

- January 27, 2021

Captain's Watch Condo Association

- February 15, 2021

At this time no formal letters have been received from the East End Area Council or the Mount Adams Civic Association.

## **CONSISTENCY WITH PLANS:**

### *Plan Cincinnati (2012)*

The zone change is consistent with the Live Initiative Area of *Plan Cincinnati* (2012), within the Goal to “Provide a full spectrum of housing options, and improve housing quality and affordability” (page 164), the Strategy to “Provide quality healthy housing for all income levels” (page 165), and the Action Step to “Improve the quality and number of moderate to high-income rental and homeowner units” (page 165). The petitioner is requesting the zone change to allow for the development of the property as a 100-unit multi-family residential structure, that will increase the number of dwelling units along the riverfront and in close proximity to the Central Business District.

### *East End Riverfront Community Development Plan (1992)*

The recommended zone change and amendments to the maps of Chapter 1411 of the Zoning Code is consistent with the certain portions of the *East End Riverfront Community Development Plan* (1992), specifically Section 4.6 Large Parcel Development, which establishes that “new residential development should be compatible in scale and massing to the approved Adams Landing development. The height and articulation of the building masses should serve to frame views from portions along and above Eastern Avenue and Columbia Parkway” (page. 51). The proposed zone change and associated subdistricts and overlays recommended will guide development of the subject property in a manner that allows the property to be developed as a residential use that is sensitive to the elevation of adjacent Columbia Parkway and the viewsheds that extend to the north of the site.

## **CONCLUSIONS:**

The staff of the Department of City Planning recommends a change in zoning of the subject site from Planned Development #17 (PD-17) to Downtown Development – Residential (DD-B) for the following reasons:

1. The existing PD-17 district does not allow for the development of the property as there is no Concept Plan or Development Program Statement.
2. The DD district existed on the property prior to PD-17.
3. The uses and development standards of the DD-B district are compatible with the surrounding uses and built environment.
4. Chapter 1411 of the Cincinnati Zoning Code establishes maps that will be amended to reflect the zone change and the appropriate subdistricts and overlays related to parking, building height, and property uses. The recommended adjustments will guide appropriate scaled development that is sensitive to the surrounding built environment.
5. The recommended zone change is consistent with goals identified in *Plan Cincinnati* (2012) and the *East End Riverfront Community Development Plan* (1992).

**RECOMMENDATION:**

The staff of the Department of City Planning recommends that the City Planning Commission take the following actions:

- 1) **APPROVE** the zone change from Planned Development #17 to Downtown Development – Residential (DD-B) at 975 Adams Xing in the East End; and
- 2) **APPROVE** the modifications to the maps in Chapter 1411 – Downtown Development Districts as outlined on pages 3 – 4 of this report.

Respectfully submitted,



Andy Juengling, AICP, Senior City Planner  
Department of City Planning

Approved:




Katherine Keough-Jurs, AICP, Director  
Department of City Planning

# Proposed Zone Change from PD-17 to DD - 975 Adams Xing



Exhibit A

**Legend**  
 975 Adams Xing



**PETITION FOR CHANGE OF ZONING OF PROPERTY  
LOCATED IN THE CITY OF CINCINNATI, OHIO**

To: The Honorable Council of the City of Cincinnati

Date: March 5, 2021

I hereby request your Honorable Body to amend the Zoning Map of the City of Cincinnati by changing the area described in the attached legal documentation and depicted on the attached plat from the PD-17 Zone District to the DD Zone District.

Location of Property (Street Address): 975 Adams Xing

Area Contained in Property (Excluding Streets): 4.780 Acres

Present Use of Property: Vacant Land

Proposed Use of Property & Reason for Change: New construction of multifamily apartment community building. Construction building permits are not allowed because the existing PD zoning term has expired.

Property Owner's Signature: 

Name Typed: Neil Bortz

Address: 1055 St Paul Place, Cincinnati, OH 45202 Phone: 513.381.8696

Agent Signature: 

Name Typed: Chad Munitz

Address: 1055 St Paul Place, Cincinnati, OH 45202 Phone: 513.381.8696

Please Check if the Following Items are Attached

Application Fee X

Copies of Plat X

Copies of Metes and Bounds X



DESCRIPTION OF CONSOLIDATION  
4.780 ACRES  
HAMILTON COUNTY, OHIO  
NOVEMBER 4, 2020

Situate in Section 12, Township 4, Fractional Range 1, Miami Purchase, in the City of Cincinnati, County of Hamilton, State of Ohio, and being all of a 3.469 acre tract of land as conveyed to Towne/Adams Village A, LLC by deed recorded in Official Record 10272, page 1230 and all of the remainder of a 1.303 acre tract of land (by Auditor, 2.451 acres by deed) as conveyed to Towne/Adams A-1, LLC by deed recorded in Official Record 10109, page 3653 (all references to deeds, microfiche, plats, surveys, etc. refer to the records of the Hamilton County Recorder's Office, unless noted otherwise) and being more particularly bounded and described as follows:

Commencing for reference at the southeast corner of right of way of Adams Crossing (50' public right of way), said point being on the west line of Captain's Watch Condominium as recorded in Plat Book 406, page 49;

thence along the east right of way line of said Adams Crossing and the west line of said Captain's Watch Condominium, North fifty-two degrees ten minutes twenty-three seconds West (N52°10'23"W), for nine and 77/100 feet (9.77') to an iron pin set at a southwesterly corner of said 1.303 acre tract and the northwest corner of said Captain's Watch Condominium, said point being the **TRUE POINT OF BEGINNING**;

thence continuing along the east right of way line of Adams Crossing and along a west line of said 1.303 acre tract, North fifty-two degrees ten minutes twenty-three seconds West (N52°10'23"W), for twenty-four and 23/100 feet (24.23') to an iron pin set at a northwest corner of said 1.303 acre tract and a southwest corner of said 3.469 acre tract;

thence continuing along the east right of way line of said Adams Crossing and along a west line of said 3.469 acre tract, North fifty-two degrees eight minutes twenty-one seconds West (N52°08'21"W), for sixteen and 5/100 feet (16.05') to an iron pin found at a northwest corner of said 3.469 acre tract and on the south line of a 2.356 acre tract of land (by Auditor, 5.2179 acres by deed) as conveyed to City of Cincinnati by deed recorded in Official Record 5487, page 742;

thence along the north line of said 3.469 acre tract and the south line of said 2.356 acre tract for the following four (4) courses:

1. North thirty-seven degrees forty-nine minutes forty-six seconds East (N37°49'46"E), for one hundred thirty-one and 66/100 feet (131.66') to an iron pin found;
2. North thirty-nine degrees twenty-five minutes twenty seconds East (N39°25'20"E), for one hundred fifty and 44/100 feet (150.44') to an iron pin set;
3. North thirty-five degrees twenty-six minutes two seconds East (N35°26'02"E), for one hundred ninety-eight and 87/100 feet (198.87') to an iron pin found;

4. North twenty-five degrees forty-four minutes fifteen seconds East (N25°44'15"E), for two hundred sixteen and 20/100 feet (216.20') to an iron pin set;

thence along a west line of said 3.469 acre tract and the east line of said 2.356 acre tract, North sixty-four degrees fifteen minutes forty-five seconds West (N64°15'45"W), for thirty-nine and 16/100 feet (39.16') to an iron pin set at a northwest corner of said 3.469 acre tract and the northeast corner of said 2.356 acre tract and on the south right of way line of Columbia Parkway (limited access public right of way width varies);

thence along the north line of said 3.469 acre tract and the south right of way line of said Columbia Parkway, North fifty degrees forty-six minutes sixteen seconds East (N50°46'16"E), for five hundred forty-six and 74/100 feet (546.74') to an iron pin set;

thence continuing along said lines, North forty-two degrees twenty-four minutes eighteen seconds East (N42°24'18"E), for one hundred six and 6/100 feet (106.06') to an iron pin found;

thence continuing along said lines, North twenty-three degrees thirty-one minutes seventeen seconds East (N23°31'17"E), for fifty-seven and 85/100 feet (57.85') to an iron pin found at the northeast corner of said 3.469 acre tract and the northwest corner of Lot 19 of Adams Landing Subdivision Village B as recorded in Plat Book 405, page 96 and as conveyed to Twains Point at Adams Landing Homeowners Association by deed recorded in Official Record 10808, page 1802;

thence along the east line of said 3.469 acre tract and the west line of said Lot 19, South fifty-nine degrees four minutes twenty-three seconds East (S59°04'23"E), for fifty-four and 69/100 feet (54.69') to an iron pin found;

thence continuing along said lines, South fourteen degrees four minutes twenty-three seconds East (S14°04'23"E), for twenty-nine and 19/100 feet (29.19') to an iron pin set;

thence continuing along said lines, South fifty-seven degrees fifty-five minutes twenty-nine seconds East (S57°55'29"E), for twenty-seven and 36/100 feet (27.36') to a chiseled X found at the southeast corner of said 3.469 acre tract and the southwest corner of said Lot 19 and on the north right of way line of Riverside Drive (public right of way width varies);

thence along the south line of said 3.469 acre tract and the north right of way line of said Riverside Drive, South thirty-three degrees four minutes fifty seconds West (S33°04'50"W), for two hundred fifteen and 98/100 feet (215.98') to a chiseled X found;

thence continuing along said lines, South thirty-three degrees twenty-five minutes thirty-one seconds West (S33°25'31"W), for four hundred ninety-nine and 87/100 feet (499.87') to an iron pin found;

thence continuing along said lines, South thirty-five degrees forty-five minutes forty seconds West (S35°45'40"W), passing a chiseled X found at the southwest corner of said 3.469 acre tract and the southeast corner of said 1.303 acre tract at 98.08 feet, for a total distance of three hundred thirty-six

and 5/100 feet (336.05') to a chiseled X set at the southwest corner of said 1.303 acre tract and the southeast corner of said Captains Watch Condominium;

thence along the west line of said 1.303 acre tract and the east line of said Captains Watch Condominium, North fifty-one degrees forty-five minutes thirty-five seconds West (N51°45'35"W), for one hundred fifty-nine and 43/100 feet (159.43') to an iron pin set at a corner of said 1.303 acre tract and the northeast corner of said Captains Watch Condominium;

thence along a south line of said 1.303 acre tract and the north line of said Captains Watch Condominium, South thirty-eight degrees eleven minutes fifty-eight seconds West (S38°11'58"W), for three hundred twenty-one and 58/100 feet (321.58') to the **TRUE POINT OF BEGINNING**, containing 4.780 acres, more or less, subject however to all covenants, conditions, restrictions, reservations, and easements contained in any instrument of record pertaining to the above described tract of land.

Iron pins set are 5/8" rebar, 30" in length, with a plastic plug placed on top inscribed with the name "WOOLPERT INC", unless otherwise noted. All monuments found are in good condition unless otherwise noted.

Bearings are based upon the Ohio State Plane Coordinate System, South Zone, NAD83 (2011). Said bearings originated from said coordinate system by GPS observations and observations of selected stations in the National Geodetic Survey Continuously Operating Reference Station (NGS CORS) Network.

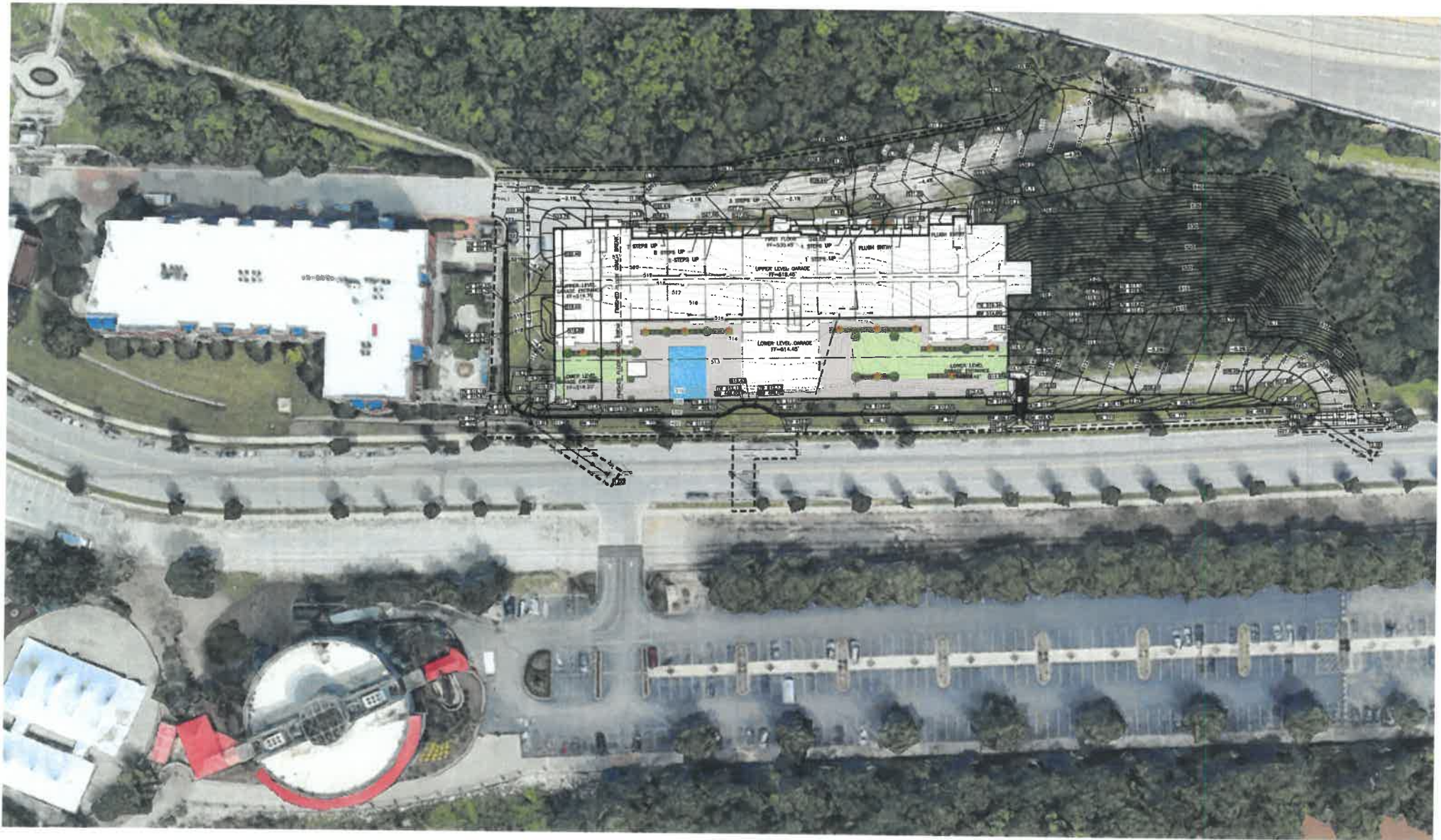
This description was prepared under the direction of Gary Swierz, Ohio Registered Surveyor No. 7776, of Woolpert Inc., based upon a field survey performed during October, 2020.



**WOOLPERT**

  
\_\_\_\_\_  
Gary S. Swierz Date **06NOV20**  
Ohio Registered Professional Surveyor No. 7776

# Exhibit E















021221  
VIEW FROM CAPTAIN'S WATCH - UNIT 112 PATIO  
SCALE



021221  
VIEW FROM CAPTAIN'S WATCH - UNIT 213 BALCONY  
SCALE





02/12/21  
**VIEW FROM CAPTAIN'S WATCH - UNIT 313 BALCONY**  
SCALE:



02/12/21  
**VIEW FROM CAPTAIN'S WATCH - UNIT 413 BALCONY**  
SCALE:





**NORTH ELEVATION**



**SOUTH ELEVATION**

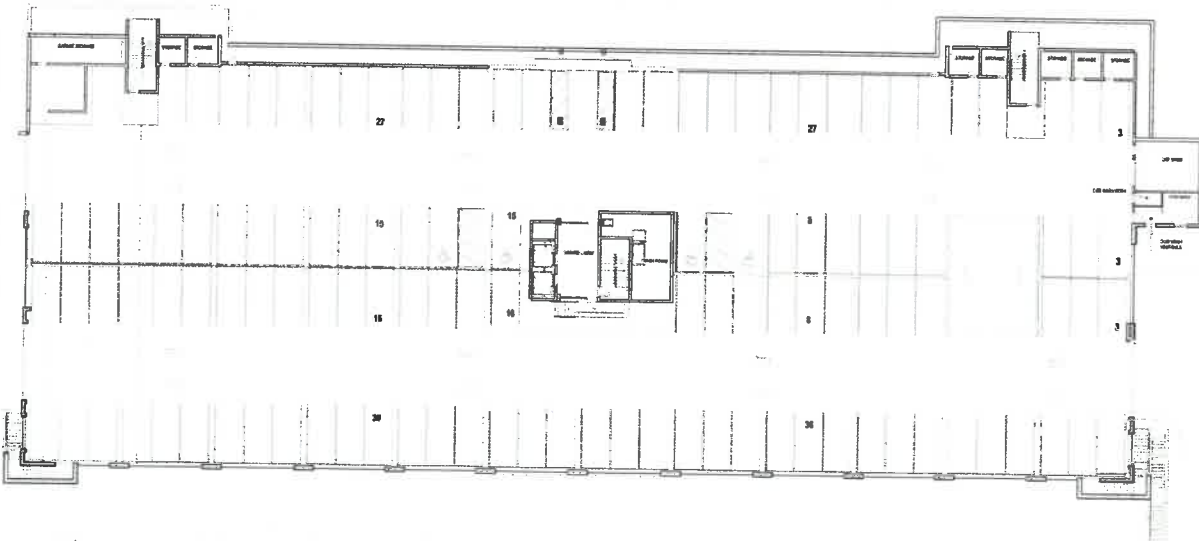


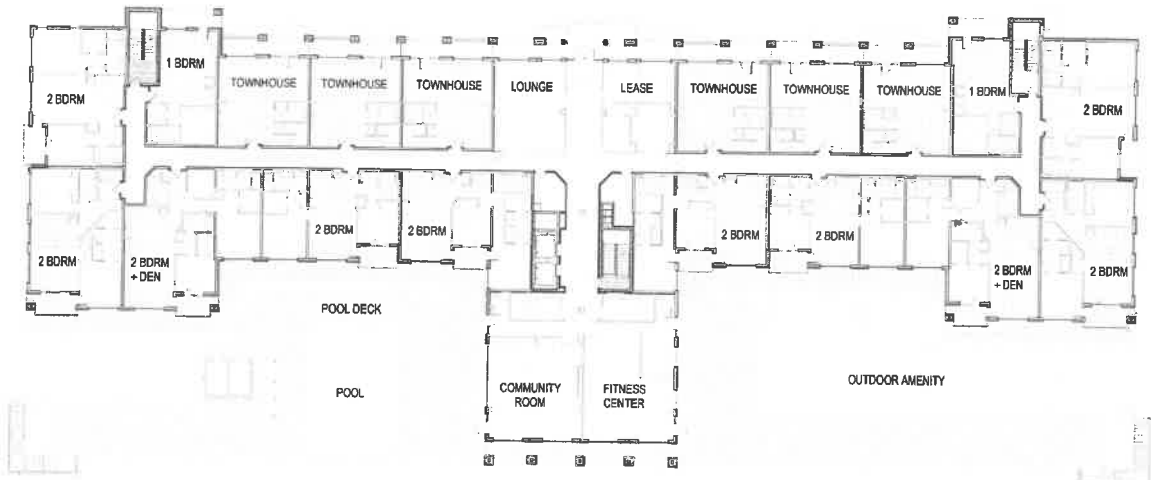
**EAST ELEVATION**

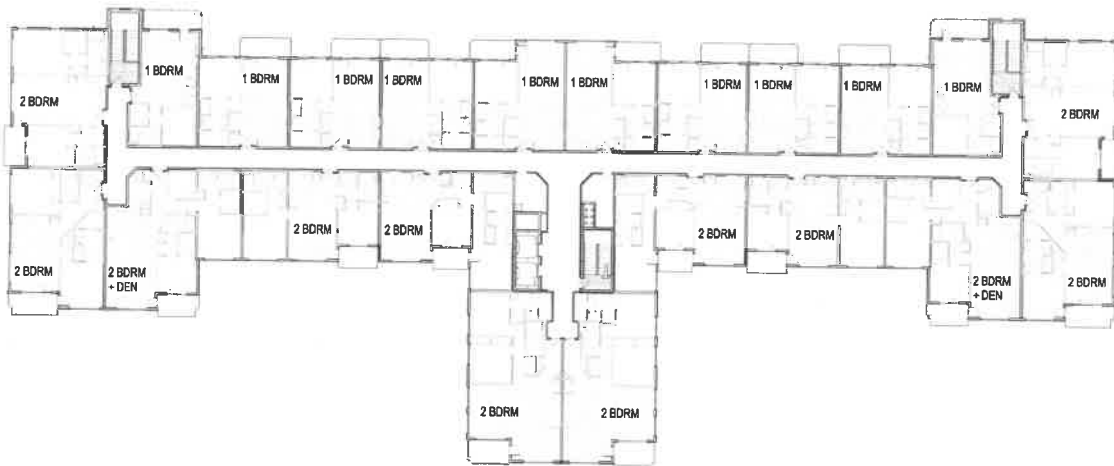
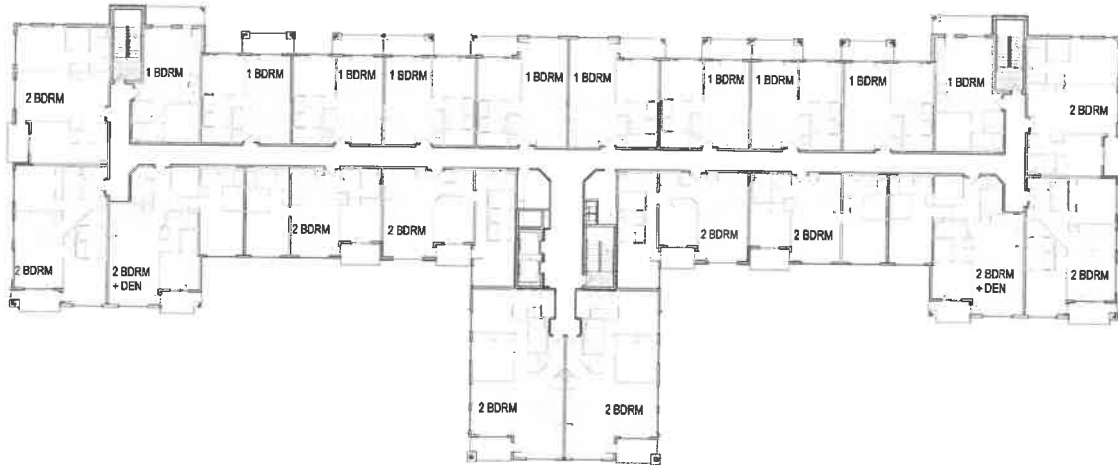


**WEST ELEVATION**

**ADAMS CROSSING**





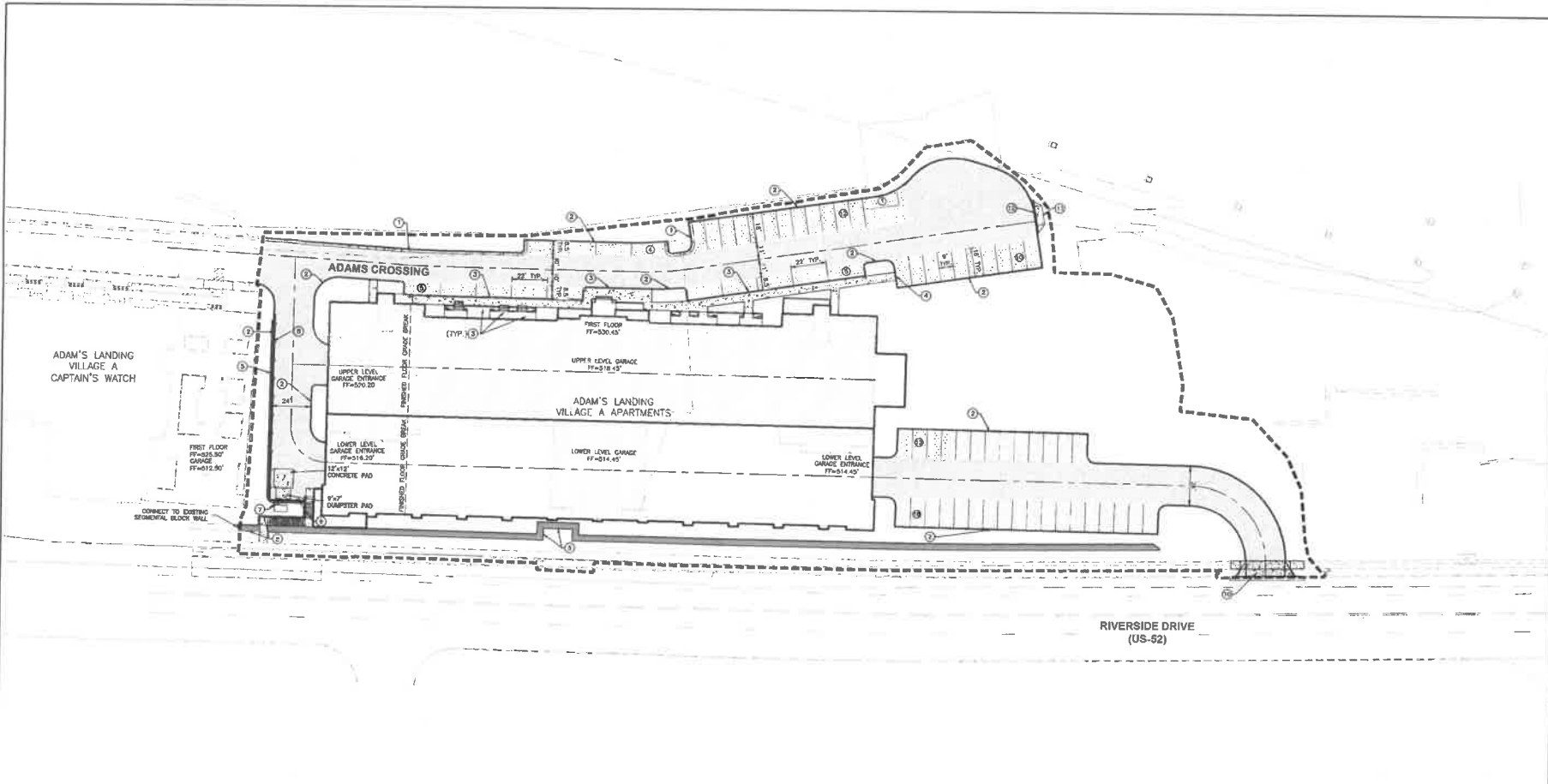








Layout Tab Name: C200 SITE PLAN, Images : Verif: 081215-4-A.dwg, 081215-4-A.dwg, 081215-5T-10.dwg, 081215-5T-10.dwg, 081215-5T-10.dwg  
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**SITE NOTES**

1. ALL DIMENSIONS ARE TO BACK OF CURB, TOP BACK OF WALL, EDGE OF PAVEMENT, OR PROPERTY LINE UNLESS OTHERWISE NOTED.
2. ALL CONCRETE SIDEWALKS SHALL RECEIVE CONSTRUCTION JOINTS AT 25'-0" O.C. AND CONTROL JOINTS AT 5'-0" O.C. ALL CONCRETE CURBS SHALL RECEIVE CONSTRUCTION JOINTS @ 20' O.C. AND CONTROL JOINTS @ 5' O.C. CONSTRUCT DRIVE APRON PER CITY OF CINCINNATI STANDARD DRAWINGS.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL, & PLUMBING PLANS FOR LOCATIONS, DIMENSIONS, AND ELEVATIONS OF VESTIBULE, SLURD PAVING, EOT FENCES, RAMP, STAIR, LOOPS, PRICES, BUILDING DIMENSIONS, PARKING GARAGE, LIGHTING & DETAILS AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.
4. ALL SEWERAGE ON EXISTING PAVEMENT SHALL BE SEALED UPON COMPLETION OF BUTT JOINT CONSTRUCTION.
5. ALL CURB & CURB RAMP TYPES SPECIFIED ARE PER CITY OF CINCINNATI DEPARTMENT OF TRANSPORTATION AND ENGINEERING STANDARD DRAWINGS.
6. STRIPS PARKING AS SHOWN, ALL STRIPING SHALL BE 4" WHITE UNIED PER COOT ITEM 21042 TYPE 4.
7. CONTRACTOR TO COORDINATE LOCATION OF LIGHT POSTS ALONG REVERSE DRIVE WITH CINCINNATI DEPARTMENT OF TRAFFIC ENGINEERING PLANS FOR TRODDING REVERSE DRIVE.
8. CONTRACTOR MAY SELECT ALTERNATE EDIMENTARY CURB DETAILS, SUBMIT SHOP DRAWINGS FOR APPROVAL BY THE ENGINEER.
9. ALL NON-PAVED AREAS SHALL BE PLANTED WITH GRASS FOR THE PERMANENT BEEDING AND SPECIFIED BY THE ENGINEER CONTROL DRAWERS UNLESS SPECIFIED OTHERWISE IN LANDSCAPE PLANS BY OTHERS.
10. PROPOSED CONCRETE DRIVEWAY AND PARKING GARAGE IS CONSTRUCTED WITH RADIANT HEAT SYSTEM, REFER TO ARCH 1101 FOR DETAILS. COORDINATE CONSTRUCTION OF SLAB WITH BOLLARDS AND UTILITIES SUCH THAT SLAB DOES NOT NEED TO BE CUT AFTER INSTALLATION.

**SITE KEYNOTES**

1. CURB @ OUTLET, TYPE P-4
2. BANDED CURB, TYPE S-1
3. CURB @ INTERAL SIDEWALK, TYPE L-1
4. CURB RAMP, TYPE V
5. SEGMENTAL BLOCK RETAINING WALL (HEIGHT VARIES, SEE GRADING PLAN)
6. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR LANDING, STAIRS, PLASTER SEEDS AND PLASTER DETAILS.
7. BOLLARD
8. GUARD RAIL
9. BENCHING FENCE
10. SIGNATURE RECOGNITION, DIMENSION
11. ACCESS TO MARTIN STREET OVERPASS
12. METAL CLOSURE GATE

**PARKING SUMMARY**  
 COVERED PARKING SPACES = 116  
 SURFACE SPACES = 88  
 TOTAL PARKING SPACES = 196  
 TOTAL UNITS = 78  
 PARKING SPACES PER UNIT = 2.45

**SITE PLAN LEGEND**

- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT
- LIGHT DUTY CONCRETE
- HEAVY DUTY CONCRETE
- UPPER LEVEL BUILDING FOOT PRINT (REFER TO ARCHITECTURAL PLANS)
- SEGMENTAL BLOCK RETAINING WALL



PROJECT No.	DATE	REVISION
081215	07/20/20	

1003 Walnut Street  
 2nd Floor  
 Cincinnati, OH 45202  
**W**  
**WOOLBERT**  
 ENGINEERS  
 DR.  
 DES.  
 DR.  
 CNO.

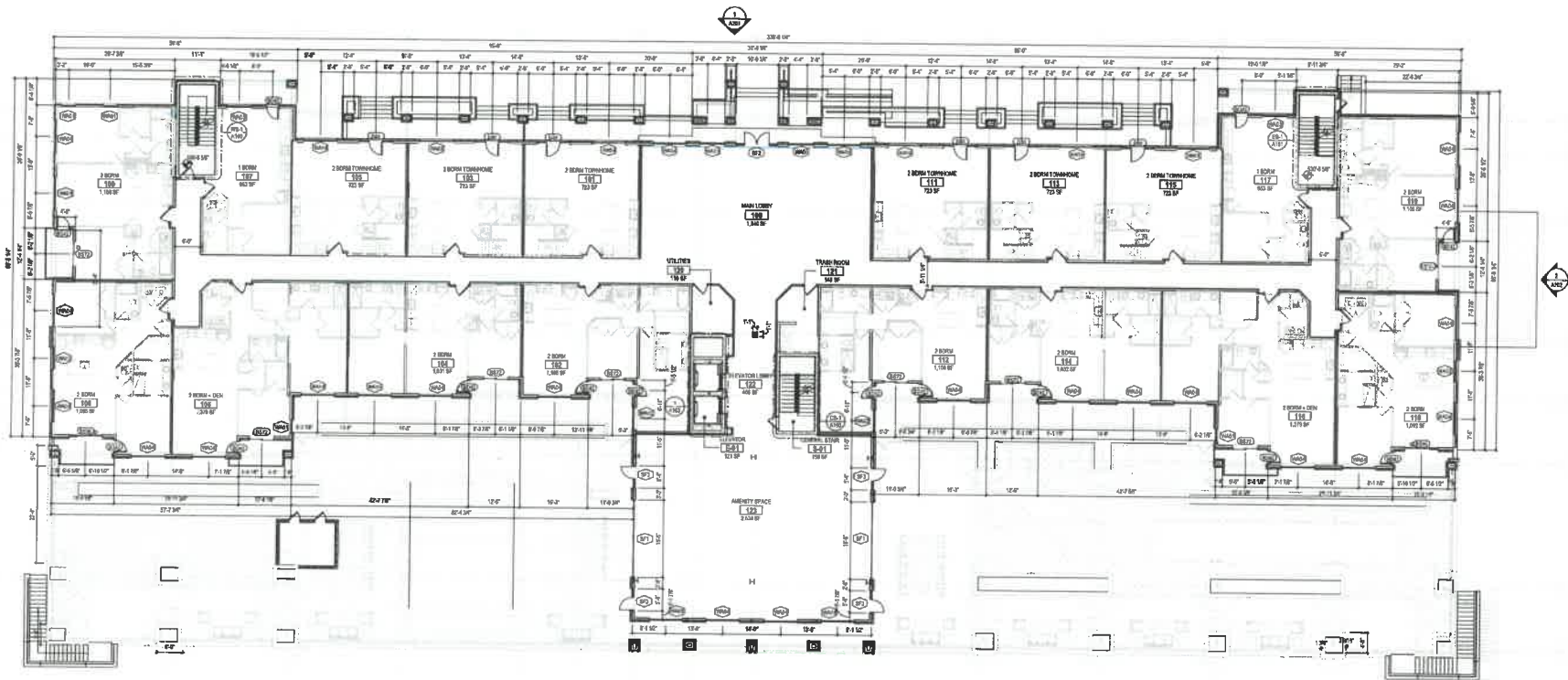
**ADAM'S LANDING VILLAGE A - APARTMENTS**  
 RIVERSIDE DRIVE AT ADAMS CROSSING  
 CITY OF CINCINNATI, HAMILTON COUNTY, OHIO

SHEET NO.  
**C200**

**SITE PLAN**







OVERALL PLAN  
FIRST FLOOR PLAN  
3/27/14

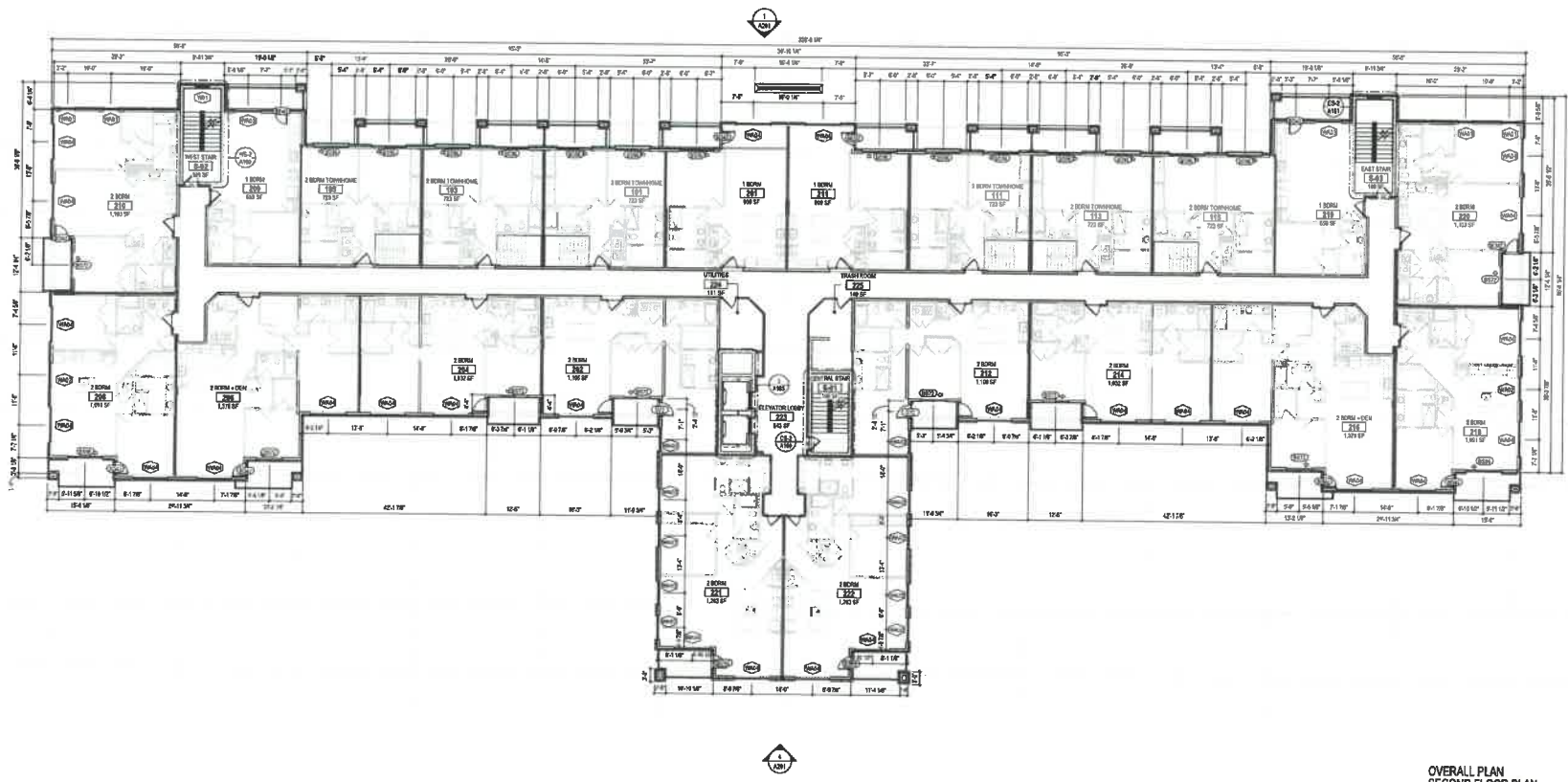
NOT FOR CONSTRUCTION

DATE	BY
11/04/14	10/20/14

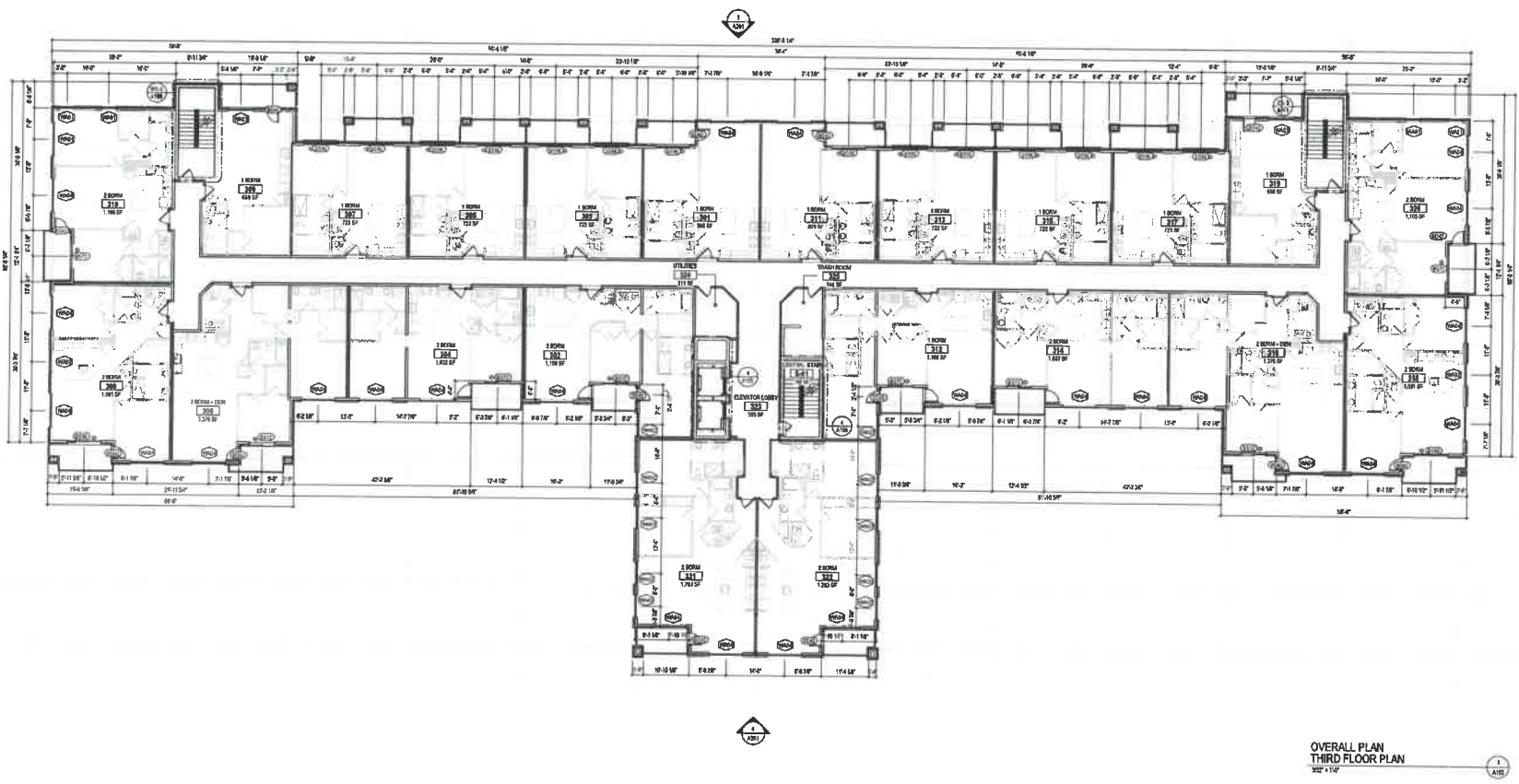
SHEET TITLE

PROJECT	DATE	SCALE
ADAM'S LANDING	3/27/14	AS SHOWN
NO. 101	NO. 101	NO. 101

A101



OVERALL PLAN  
 SECOND FLOOR PLAN  
 3/8" = 1'-0"



OVERALL PLAN  
THIRD FLOOR PLAN  
3/2" = 1' 0"

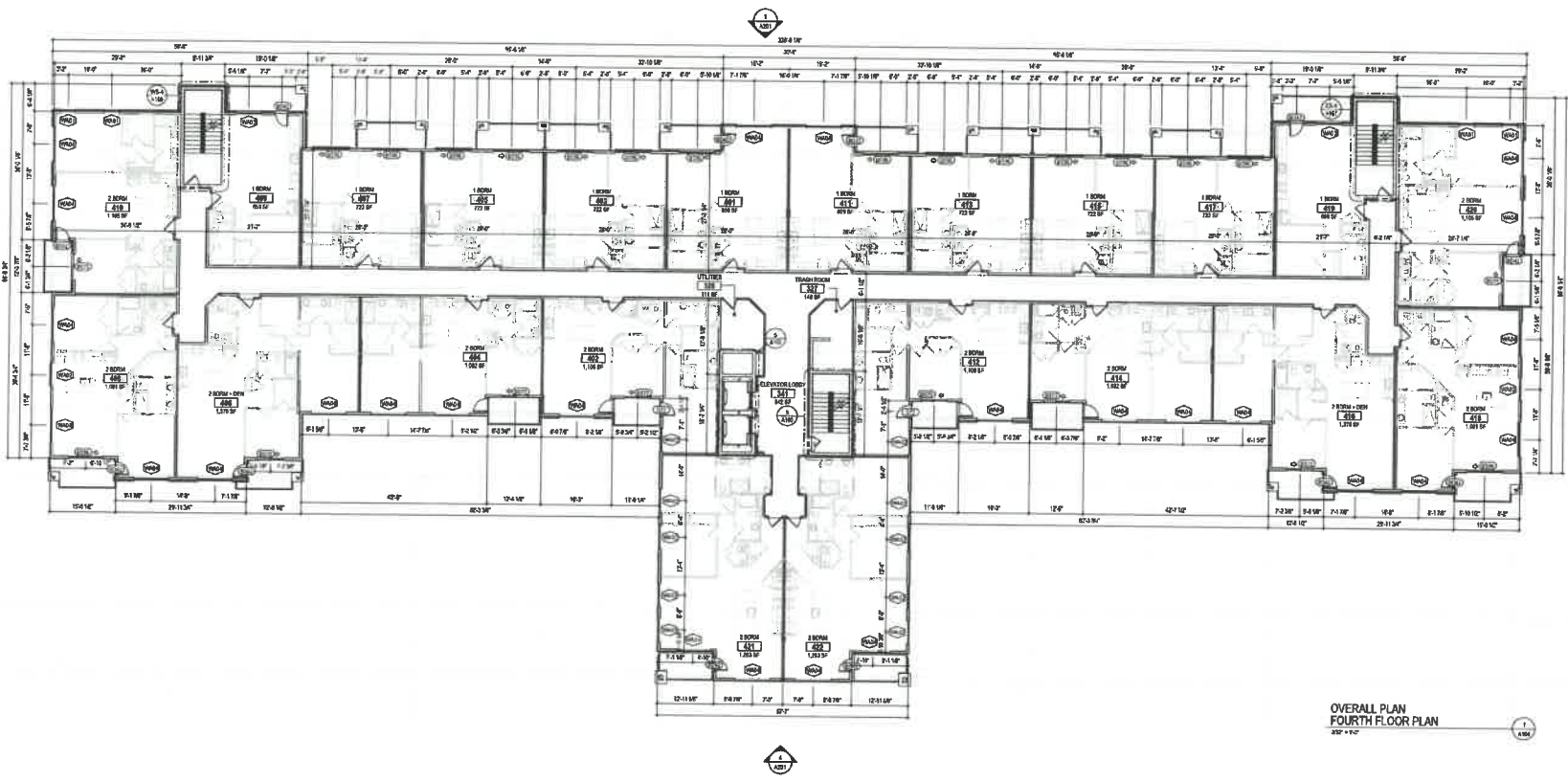


NOT FOR CONSTRUCTION

8/20/20  
1/20/21  
1/20/21

REVISED	
NO.	DATE
1	8/20/20
2	1/20/21
3	1/20/21

A104



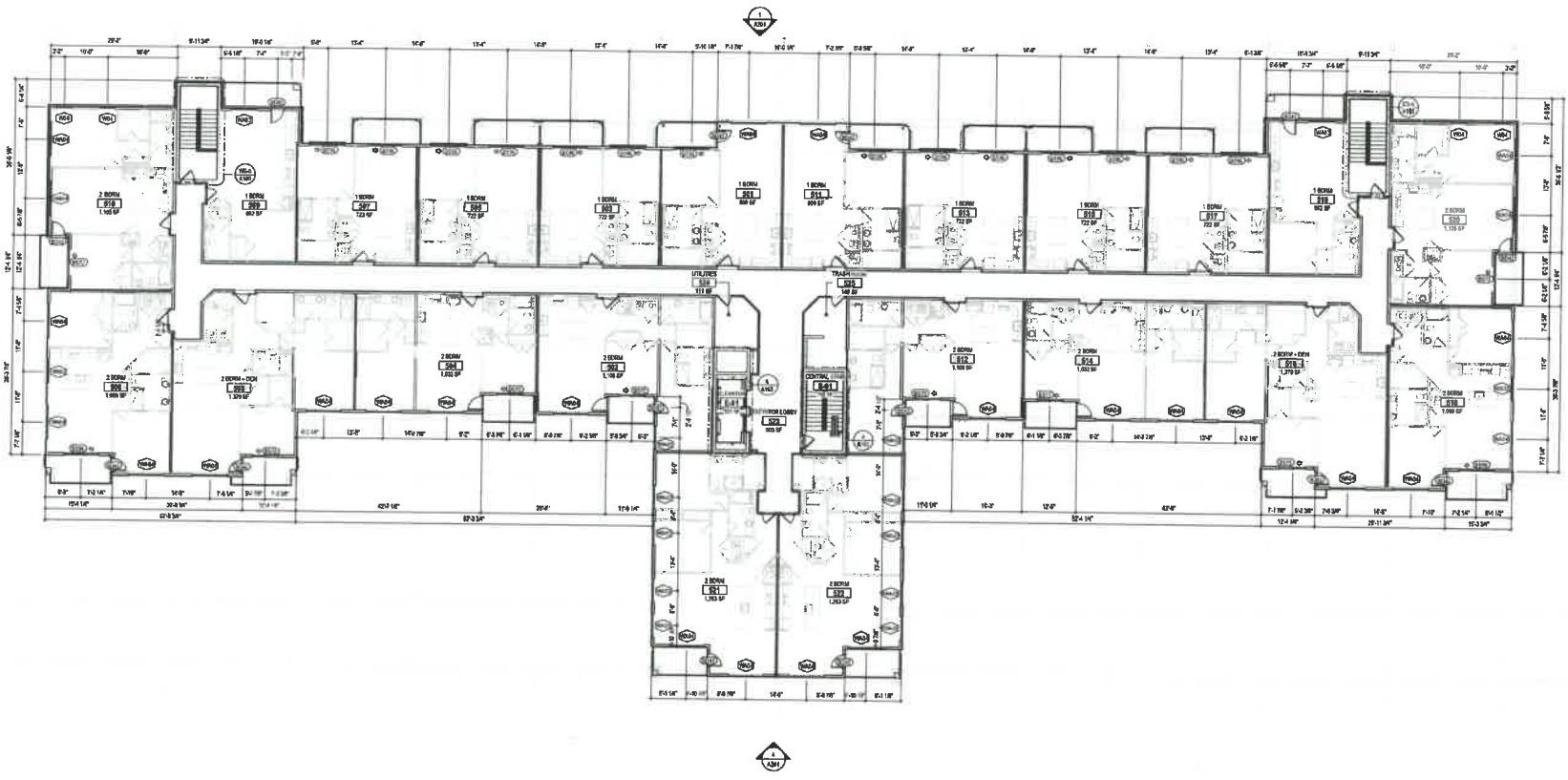
OVERALL PLAN  
FOURTH FLOOR PLAN  
3/27/10

NOT FOR CONSTRUCTION

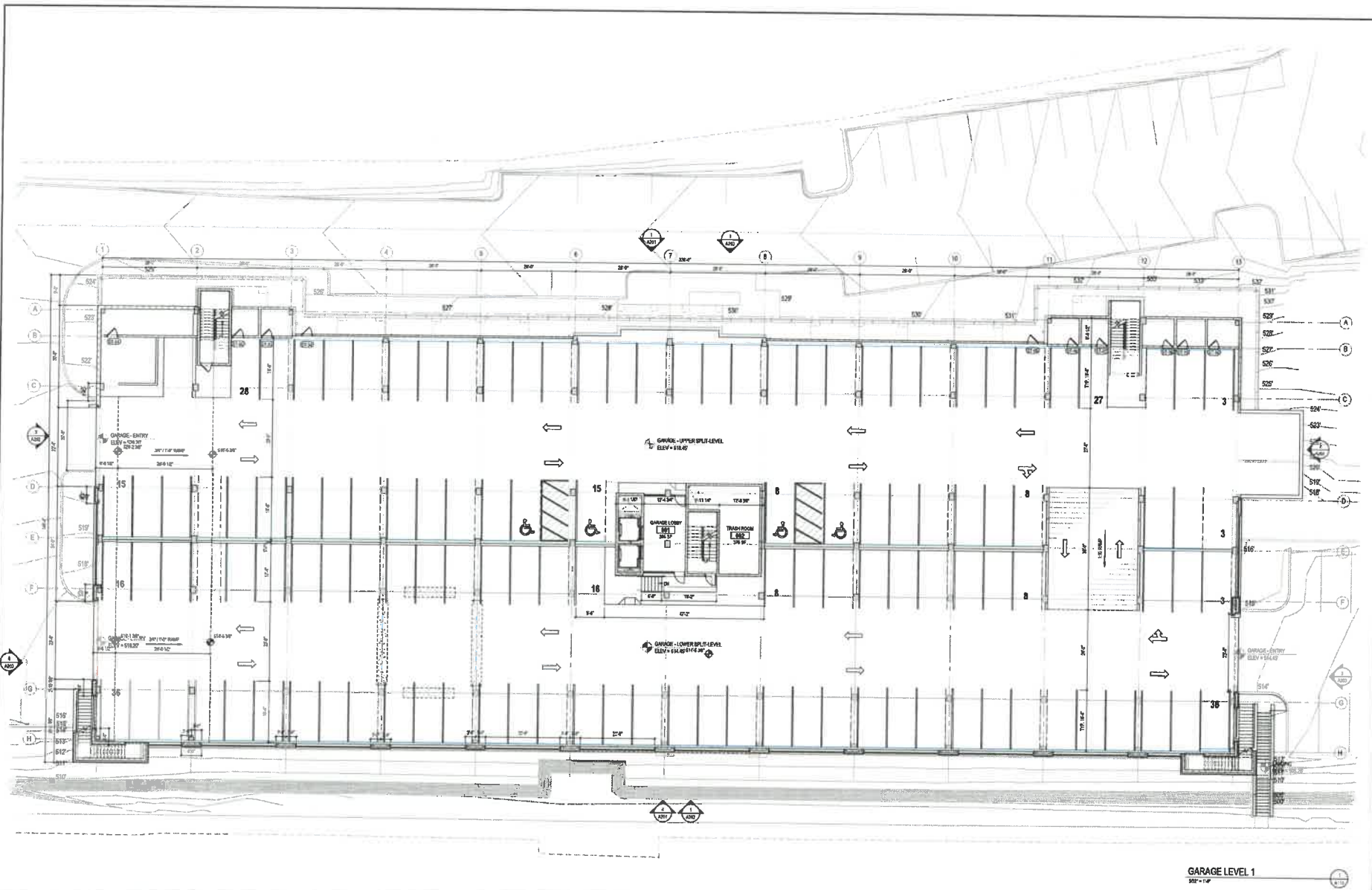
DATE: 08/11/10  
DRAWN BY: J. B. BROWN  
CHECKED BY: J. B. BROWN

FIFTH FLOOR PLAN  
NO. 105

DATE: 08/11/10  
DRAWN BY: J. B. BROWN  
CHECKED BY: J. B. BROWN



FIFTH FLOOR PLAN  
NO. 105



**ADAM'S LANDING**  
**VILLAGE A - APARTMENTS**  
 975 ADAMS CROSSING, CINCINNATI, OH 45222

**NOT FOR CONSTRUCTION**

1/25/24  
 1/25/24  
 1/25/24

SHEET TITLE	
PARKING GARAGE PLANS	
NO. 1	CON. NO.
DATE	DATE
BY	BY
CHECKED	CHECKED

**A110**



BUILDING EXTERIOR SOUTH ELEVATION  
302' x 40'



BUILDING EXTERIOR NORTH ELEVATION  
302' x 172'

- MASONRY HERRINGBONE COLOR #1  
ARCHITECT SUGGESTION CANTON YELLOW
- MASONRY COLOR #1  
ARCHITECT SUGGESTION CANTON YELLOW
- MASONRY SOLIDER COLOR #1  
ARCHITECT SUGGESTION CANTON YELLOW
- MASONRY COLOR #2  
ARCHITECT SUGGESTION HERMES YELLOW
- MASONRY COLOR #1  
ARCHITECT SUGGESTION HERMES YELLOW
- MASONRY COLOR #1  
ARCHITECT SUGGESTION HERMES YELLOW
- PC PANELS - COLOR #1  
ARCHITECT SUGGESTION HAWAII ISLAND
- PC PANELS - COLOR #2  
ARCHITECT SUGGESTION PEARL GRAY



September 24, 2020

Mr. Chad Munitz  
Towne Properties  
1055 St. Paul Place  
Cincinnati, OH 45202

Re: 975 Adams Xing | Adams Landing Village "A" Apartments (D) – (CPRE200080) Final Recommendations

Dear Mr. Munitz,

This letter is to inform you that our CSR Advisory-TEAM and CSPRO Committee has reviewed your proposed project at **975 Adams Xing** in the Community of Mount Adams. The information provided are the recommendations of the City of Cincinnati and must be followed as you move forward with your project. As a reminder, we will have a **WebEx conference call meeting** with you on **September 29, 2020 @ 1:30 pm** to discuss this information. Please see the feedback listed below. Thank you for developing within the City of Cincinnati.

### **City Planning Department**

#### **Immediate Requirements to move the project forward:**

1. In order for the site to revert back to the DD Zoning, the applicant should engage with the Mount Adams Civic Association and the East End Area Council to present the plans and the concept that the Planned Development will be reverted back to the DD zoning district. Based on the feedback, the Department of City Planning will give a presentation to the City Planning Commission updating the Commission on the expiration of the Planned Development and reversion to the DD zoning district. The Department of City Planning and the Law Department have determined that an Ordinance by Council will be appropriate to formally recognize the reversion of the zoning to the DD district and will allow the plan to be reviewed under the DD zoning district regulations.
2. The ordinance reviewed by Council will have a clause regarding the consistency with Plan Cincinnati.
3. The hillside overlay will be considered when reviewing the plans with the Department of Buildings and Inspections as it relates to Chapter 1433 of the Cincinnati Zoning Code. Any subdivision of land within the hillside overlay district for the project will be considered a Major Subdivision and therefore require review by the City Planning Commission.

#### **Requirements to obtain permits:**

1. In order for the project to be reviewed under the DD zoning regulations for permitting, the steps above should be followed for reversion of the zoning district. The applicant can coordinate with the Department of City Planning as it relates to this process.

#### **Recommendations:**

1. The applicant should engage with the Mount Adams Civic Association and the East End Area Council regarding the proposed project.

**Contact:**

- **Andy Juengling** | City Planning | 513-352-4840 | [andy.juengling@cincinnati-oh.gov](mailto:andy.juengling@cincinnati-oh.gov)

**Buildings & Inspections – Zoning**

**Immediate Requirements to move the project forward:**

*Note: Comments are based on reviewing the project if it were re-zoned to DD subdistrict B*

1. Located in the hillside overlay, a variance will be needed for cut and fill for the total cut (structure and retaining wall combined) due to cutting from the existing grade of approximately 530 ASL at the top to approximately 490 ASL at the retaining wall. Note: that variances would be reviewed by the Zoning Hearing Officer after the zoning for the site is changed/reverted to DD from the current PD zoning.
2. More information is needed on the retaining wall design along Riverside to determine the height of the wall. Retaining walls are limited to 8' in height in the hillside overlay.
3. Geotech report is required due to the site being in a hillside overlay.

**Requirements to obtain permits:**

1. It appears that the FAR, height, density, parking provided, parking garage design and setbacks are conforming to the DD for the 76-unit project and that the ground floor transparency and buffer yard requirements are not applicable.

**Recommendations:**

- None

**Contact:**

- **Weston Munzel** | Zoning | 513-352-2442 | [weston.munzel@cincinnati-oh.gov](mailto:weston.munzel@cincinnati-oh.gov)

**Metropolitan Sewer District (MSD)**

**Immediate Requirements to move the project forward:**

- None

**Requirements to obtain permits:**

1. Detention will be reviewed by Jeff Chen at [jeff.chen@cincinnati-oh.gov](mailto:jeff.chen@cincinnati-oh.gov) or 513-244-1357 per Section 303 of the MSD Rules and Regulations.
2. Your project may change flow to a sewer overflow. Please complete the Request for Availability of Sewer Service Form online. The link to the online form can be found at [http://www.msdbg.org/customer\\_care/development\\_services/index.html](http://www.msdbg.org/customer_care/development_services/index.html)
3. Add invert elevation at tap connection point to mainline sewer.

**Recommendations:**

- None

**Contact:**

- **Jim Wood** | MSD | 513-352-4311 | [jim.wood@cincinnati-oh.gov](mailto:jim.wood@cincinnati-oh.gov)

### **Stormwater Management Utility (SMU)**

#### **Immediate Requirements to move the project forward:**

- None

#### **Requirements to obtain permits:**

1. Submit erosion control plan as part of the erosion control plan, submit site stabilization plan.
  - Due to slope of lots and ROW downhill , SMU suggests that two rows of silt fence be used to control sediment.
2. Tie into inlet is not allowed.
3. Submit detention calculations to SMU.
4. Add SMU standard plan notes.
5. Submit storm profiles with storm materials.
6. Submit storm calculations.

#### **Recommendation:**

- None

#### **Contact:**

- **Robert Goodpaster** | SMU | 513-591-7746 | [robert.goodpaster@cincinnati-oh.gov](mailto:robert.goodpaster@cincinnati-oh.gov)

### **Water Works**

#### **Immediate Requirements to move the project forward:**

- None

#### **Requirements to obtain permits:**

1. Must have a stamped and recorded consolidated plat before any building permits will be approved.

#### **Recommendations:**

1. Any existing water service branches not to be used for this development, must be properly disconnected at the owner's / developer's expense. Owner would be required to fill out the online FOD form at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing removal of any existing water service branch before any new water service can be sold.
2. The Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded plumber and Fire Protection Company to perform the private water service branch design work and installation.
3. The Owner(s)/Developer(s) must have a licensed plumber that is bonded and certified with GCWW and fill out the Online Branch application <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/> for water service.

#### **Contact:**

- **Rick Roell** | WaterWorks | 513-591-6867 | [richard.roell@gcww.cincinnati-oh.gov](mailto:richard.roell@gcww.cincinnati-oh.gov)

### **Fire Department**

#### **Immediate Requirements to move the project forward:**

1. Confirm that the closest two hydrants have fire flows of at least 1000 GPM at 20 PSI.
2. Access Streets, Roadways or Driveways. (b) The surface shall be of sufficient strength and type to adequately support any fire division apparatus under any weather conditions. The weight of our apparatus as well as the turning radius for each is as follow:



Apparatus	Width	Length	Height	Weight	Front axle	Rear axle	Turn radius inside/outside
Ladder	10'	41'10"	11' 9"	70,000	21,600	48,000	35.45/39.25
Engine	10'	31'6"	9'5"	44,000	20,000	24,000	34'6"/41'6"
Ambulance	9' 4"	22'2"	9' 2"	18,500			34'/41'

3. The access roads should be constructed in a manner that allows for Fire Apparatus to turn onto and from the access road that is between the proposed structures. Fire Apparatus Access Road requirements are listed in Appendix D of the Ohio Fire Code. If you have any questions regarding this, please contact Captain Robert Hart.
4. Confirm that the **Fire Department Connection is within 50' of a fire hydrant**, if the building becomes a high-rise, two Fire Department Connections will be required.
5. Fire apparatus access roads shall not exceed 10 percent in grade.
6. Bidirectional antenna for fire department communication maybe required for the structures.
7. Security gates are subject to approval by fire, gates for access roads are to be 20 feet in width.
8. Post indicator valves cannot be more than 40 feet from the building it services.

**Requirements to obtain permits:**

- None

**Recommendations:**

- None

**Contact:**

- **Robert Hart** | Fire Dept. | 513-357-7597 | [robert.hart@cincinnati-oh.gov](mailto:robert.hart@cincinnati-oh.gov)

**Office of Environment and Sustainability (OES)**

**Immediate Requirements to move forward with project:**

- None

**Requirements to obtain permits:**

1. If this project will include City qualified incentives, then it must receive environmental approval.
2. If this project will need to include a new City public right-of-way and/or permanent public easement (i.e., sewer and/or water), then each of these must receive environmental approval as per Administrative Regulation 30.

3. If offsite sourced fill is to be placed onsite, then it must receive environmental approval when it exceeds 500 cubic yards in a residential area (City Municipal Code Chapter 1031).

**Recommendations:**

1. The developer should exercise caution in developing this hillside. Increasing storm intensity and its detrimental effects on hillside stability are well documented in the project area. Standards, requirements, and adopted recommended mitigation of these hazards are also well documented and the project should meet or exceed these mitigation measures. The developer should ensure the hillside will remain stable under extreme storm conditions.
2. The proposed new apartment building appears to be in close proximity to a high traffic road (Columbia Parkway). The new apartment building should include a pre-development assessment of the air quality and include design elements that assure healthy indoor air quality is maintained.
3. The development goal should be to earn at a minimum the LEED Certified rating level.
4. Solar should be considered in the design as a renewable energy source.
5. Site parking should include electric vehicle charging stations.
6. Site parking should include bike racks.
7. Site areas designed for trash dumpsters should have equal space included for recycling.
8. The use of trees in the landscape design should be included to enhance urban forestry.
9. The use of pervious surfaces should be maximized to the extent practical in the design.

**Contact:**

- **Howard Miller** | OES | 513-352-6999 | [howard.miller@cincinnati-oh.gov](mailto:howard.miller@cincinnati-oh.gov)

**Police Department**

**Immediate Requirements to move the project forward:**

- None currently.

**Requirements to obtain permits:**

- No comments.

**Recommendations:**

- None

**Contact:**

- **Katalin Howard** | Police Dept. | 513-352-3298 | [katalin.howard@cincinnati-oh.gov](mailto:katalin.howard@cincinnati-oh.gov)
- **Brandon Kyle** | Police Dept. | 513-564-1870 | [brandon.kyle@cincinnati-oh.gov](mailto:brandon.kyle@cincinnati-oh.gov)

**Health Department**

**Immediate Requirements to move the project forward:**

1. No need for Health to review project as proposed.

**Requirements to obtain permits:**

- None

**Recommendations:**

- None

**Contact:**

- **Trisha Blake** | Health Dept. | 513-352-2447 | [trisha.blake@cincinnati-oh.gov](mailto:trisha.blake@cincinnati-oh.gov)

**Department of Transportation & Engineering (DOTE)**

**Immediate Requirements to move the project forward:**

- None

**Requirements to obtain permits:**

1. Provide a minor Traffic Impact Study with generated trips and trip distribution for analysis.
2. A Geotechnical Report is required. Any additional comments will be provided after review.
3. Provide grades of the driveway to Riverside for review.
4. Driveway needs to meet City standards for drive apron and all proper clearances need to be met.
5. Adams Crossing is private in this location. DOTE will require the pavement to meet City Standards.
6. All work in the right of way will require a DOTE permit.
7. Assigned address for the new building is 975 Adams Crossing. Address number must be posted on building and visible from street.

**Recommendations:**

- None

**Contact:**

- **Morgan Kolks** | DOTE | 513-352-5285 | [morgan.kolks@cincinnati-oh.gov](mailto:morgan.kolks@cincinnati-oh.gov)

**Buildings & Inspections – Buildings**

**Immediate Requirements to move the project forward:**

- None

**Requirements to obtain permits:**

1. A geotechnical engineer's soils report is required.
2. A Statement of Special Inspections is required.
3. Separate applications are required for retaining walls.

**Recommendations:**

- None

**Contact:**

- **Robert Martin** | B&I Plans Exam | 513-352-2456 | [robert.martin@cincinnati-oh.gov](mailto:robert.martin@cincinnati-oh.gov)

**Department of Community & Economic Development (DCED)**

**Immediate Requirements to move the project forward:**

- None

**Requirements to obtain permits:**

- None

**Recommendations:**

- None

**Contact:**

- **Roy Hackworth** | DCED | 513-352-6119 | [roy.hackworth@cincinnati-oh.gov](mailto:roy.hackworth@cincinnati-oh.gov)

**Law Department**

**Immediate Requirements to move the project forward:**

- None

**Requirements to obtain permits:**

- None

**Recommendations:**

1. Clearly define the ROW line at the north-end of the development.

**Contact:**

- **Charles Martinez** | Law | 513-352-3359 | [charles.martinez@cincinnati-oh.gov](mailto:charles.martinez@cincinnati-oh.gov)

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FINAL ACTION: The CSR Advisory-TEAM and CSPRO Committee believes that the proposed project plans are moving in the appropriate direction and recommends that the project move forward to City Planning Commission subject to the following condition.

- **The subject development must follow the requirements listed above to ensure that the development meets the requirements of all agencies as they apply for all permits.**

Sincerely,

  
Art Dahlberg,  
Director of Buildings and Inspections Department  
& CSPRO Committee Chair

  
Rodney D. Ringer,  
Development Manager

AD:RDR:hs