

June 3, 2022

Honorable City Planning Commission
Cincinnati, Ohio

SUBJECT: A report and recommendation on a proposed zone change from Residential Mixed (RMX) to Residential Multi-family (RM-1.2) at 3550 and 3560 Van Antwerp Place in Avondale.

GENERAL INFORMATION:

Location: 3550 and 3560 Van Antwerp Place, Cincinnati, OH 45229 (Exhibit A)

Petitioner: Kingsley + Company
30 West Third Street, Floor 4
Cincinnati, OH 45202

EXHIBITS:

Provided in addition to this report are the following exhibits:

- Exhibit A Location Map
- Exhibit B Zone Change Application
- Exhibit C Zone Change Plat
- Exhibit D Legal Description
- Exhibit E Site and Building Plans
- Exhibit F Correspondence

BACKGROUND:

The petitioner, Kingsley + Company, requests a zone change at 3550 and 3560 Van Antwerp Place in Avondale from Residential Mixed (RMX) to Residential Multi-family (RM-1.2) to permit the construction of a four-story, multi-family residential building with 36 units. The subject property is 1.272 acres and located west of the intersection of Reading Road and Forest Avenue. The area is characterized by a mix of single-family and multi-family housing.

The subject property is currently zoned RMX. The RMX zone is intended to create, maintain, and enhance areas of the city that have a mix of lot sizes and house types at moderate intensities (one to three dwelling units). Existing multi-family buildings of four or more units are acknowledged but new construction is not permitted. The proposed zone is Residential Multi-family (RM-1.2). This zoning subdistrict is intended to provide for mixed residential uses at moderately high densities. This is an intense district with an urban character.

ADJACENT LAND USE AND ZONING:

The subject properties are currently zoned RMX (Residential Mixed) as shown on the attached map (Exhibit A). The zoning and land uses surrounding the subject properties are as follows:

North:

Zoning: Residential Mixed (RMX)
Existing Use: Multi-family residential

East:

Zoning: Residential Mixed (RMX); Office Limited (OL)

Existing Use: Single-family and multi-family residential; Cincinnati Fire Department

South:

Zoning: Residential Mixed (RMX)
Existing Use: Multi-family residential

West:

Zoning: Residential Mixed (RM-1.2)
Existing Use: Multi-family residential

PROPOSED DEVELOPMENT:

The proposed development consists of a four-story, multi-family building with 36 units and a parking lot with 46 spaces (Exhibit E). The multi-family building is situated toward the back of the lot with the parking in front of the building along Van Antwerp Place. If the zone change is approved, all new construction will have to conform to the guidelines set forth in the Cincinnati Municipal Zoning Code in the RM-1.2 zone or seek zoning relief from the Zoning Hearing Examiner.

The petitioner is applying for financial assistance through the Ohio Housing Finance Agency (OHFA) in the form of Low-Income Housing Tax Credits (LIHTC) to increase the supply of quality, affordable rental housing. The units will be reserved for residents earning 40-80% of the Area Median Income (AMI).

COORDINATED SITE REVIEW:

The petitioner submitted their proposed project for Coordinated Site Review in May 2022. The need for a zone change was identified during this process as well as zoning relief in the form of a special exception, and parking and setback variances following approval of a zone change to RM-1.2. All necessary zoning relief will be conducted by the Zoning Hearing Examiner. They will need to coordinate with the various permitting agencies to meet requirements outlined in the feedback letter which will be provided in advance of the June 2, 2022 City Planning Commission meeting.

PUBLIC COMMENT:

The petitioner worked with their partner, the Avondale Development Corporation (ADC), on community engagement efforts. In addition to presenting to the Avondale Community Council (ACC) board and general body, the applicant and ADC went door to door to share information and held a meeting on-site with nearby residents. Further details regarding the engagement by ADC is outlined in (Exhibit F).

The Department of City Planning and Engagement held a virtual public staff conference on this proposed zone change on May 26, 2022. Notices were sent to property owners within a 400-foot radius of the subject properties and the ACC. Members of the petitioner's team, ADC, and City staff were present, in addition to one community member. Concerns regarding traffic congestion and parking were discussed. According to the community member in attendance, residents feel there is not adequate parking in the area and that new development could further exacerbate the problem. Regarding traffic congestion, the intersection of Van Antwerp Place and Forest Avenue was identified as problematic, especially when turning onto Forest Avenue from Van Antwerp Place. Finally, concerns were shared about providing vehicular access to the development from Estes Place.

All property owners within a 400-foot radius of the subject properties and the Avondale Community Council were also notified of the City Planning Commission meeting. The Avondale Community Council submitted a letter of support for the proposed zone change (Exhibit F). Staff has not received any additional correspondence on the proposed zone change as of May 27, 2022.

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012)

The proposed zone change is consistent with the Live Initiative Area of *Plan Cincinnati*, specifically the Goal to, “Provide a full spectrum of housing options, and improve housing quality and affordability” (p. 164) and the Strategy to “Offer housing options of varied sizes and types for residents at all stages of life” (p. 169). This zone change would permit a four-story, multi-family building with 36 units of affordable housing.

Avondale QOL: Avondale’s Quality of Life Movement (2020)

The proposed zone change is consistent with the *Avondale QOL: Avondale’s Quality of Life Movement*, the neighborhood plan for the area. It is specifically consistent with the Goal in the Improving Housing section to “Revitalize Avondale with a diverse quality housing stock which meets the needs of existing seniors, owners and renters and attracts new residents” (p. 86).

ANALYSIS:

The current RMX zone does not permit any new multi-family buildings with four or more units. The requested zone change to RM-1.2 would allow the petitioner to build the proposed four-story, multi-family building with 36 units of affordable housing. The proposed zone change would extend the existing RM-1.2 zoning district, located west of the subject property.

The proposed zoning district would permit multi-family housing in a neighborhood that has identified the need for more housing in its neighborhood plan, the *Avondale QOL: Avondale’s Quality of Life Movement* (2020). In addition, the petitioner is working in partnership with the Avondale Development Corporation, and has the support of the Avondale Community Council, two entities intimately familiar with the needs of the neighborhood and its residents.

CONCLUSIONS:

The staff of the Department of City Planning and Engagement supports the proposed change in zoning for the following reasons:

1. The proposed zone is consistent with the existing surrounding built environment with regards to allowable uses and adjacent zoning districts.
2. It is consistent with the *Avondale QOL: Avondale’s Quality of Life Movement* (2020) with a Goal to “Revitalize Avondale with a diverse quality housing stock which meets the needs of existing seniors, owners and renters and attracts new resident” (p. 86).
3. It is consistent with *Plan Cincinnati* (2012) within the Live Initiative Area, specifically the goal to, “Provide a full spectrum of housing options, and improve housing quality and affordability.”

RECOMMENDATION:

The staff of the Department of City Planning and Engagement recommends that the City Planning Commission take the following action:

APPROVE the proposed zone change from Residential Mixed (RMX) to Residential Multi-family (RM-1.2) at 3550 and 3560 Van Antwerp Place in Avondale.

Respectfully submitted:



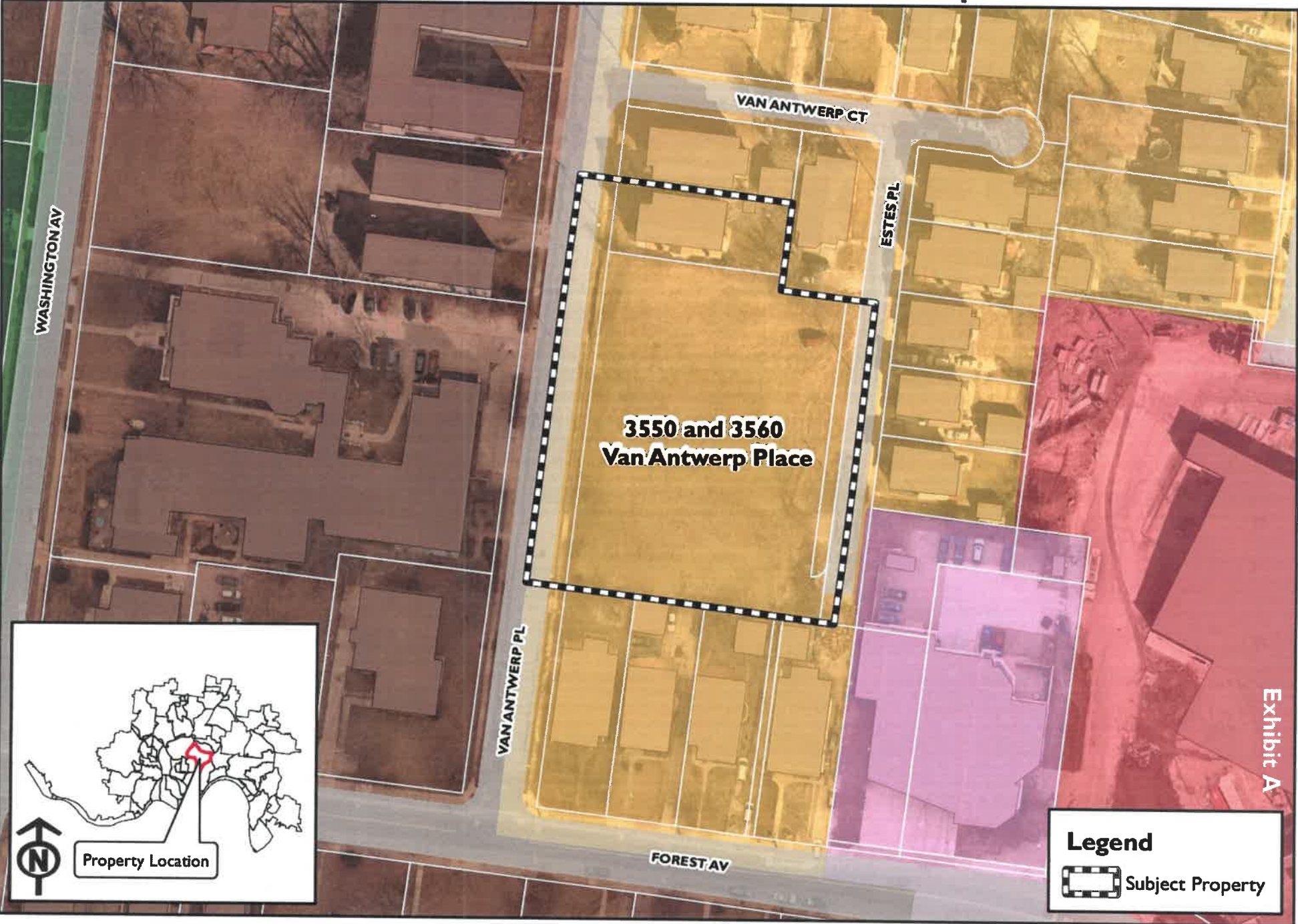
Stacey Hoffman, Senior City Planner
Department of City Planning and Engagement

Approved:



Katherine Keough-Jurs, FAICP, Director
Department of City Planning and Engagement

Proposed Zone Change from Residential Mixed (RMX) to Residential Multi-family (RM-1.2) at 3550 and 3560 Van Antwerp Place in Avondale



PETITION FOR CHANGE OF ZONING OF PROPERTY
LOCATED IN THE CITY OF CINCINNATI, OHIO

To: The Honorable Council of the City of Cincinnati

Date: 4/15/2022

I hereby request your Honorable Body to amend the Zoning Map of the City of Cincinnati by changing the area described in the attached legal documentation and depicted on the attached plat from the RMX Zone District to the RM 1.2 Zone District.

Location of Property (Street Address): 3550 Van Antwerp Place Cincinnati, OH 45229 and 3560 Van Antwerp Place Cincinnati, OH 45229

Parcel ID: 112-0006-0016-00, 112-0006-0078-00, and 112-0006-0076-00

Area Contained in Property (Excluding Streets): 1.241 acres

Present Use of Property: Vacant land

Proposed Use of Property & Reason for Change: Affordable housing multi-family development

Property Owner's Signature: 

Name Typed: Chinedum Ndukwe

Address: 30 W. 3rd Street, Floor 4, Cincinnati, OH 45202 Phone: (513) 903-7019

Agent Signature: _____

Name Typed: _____

Address: _____ Phone: _____

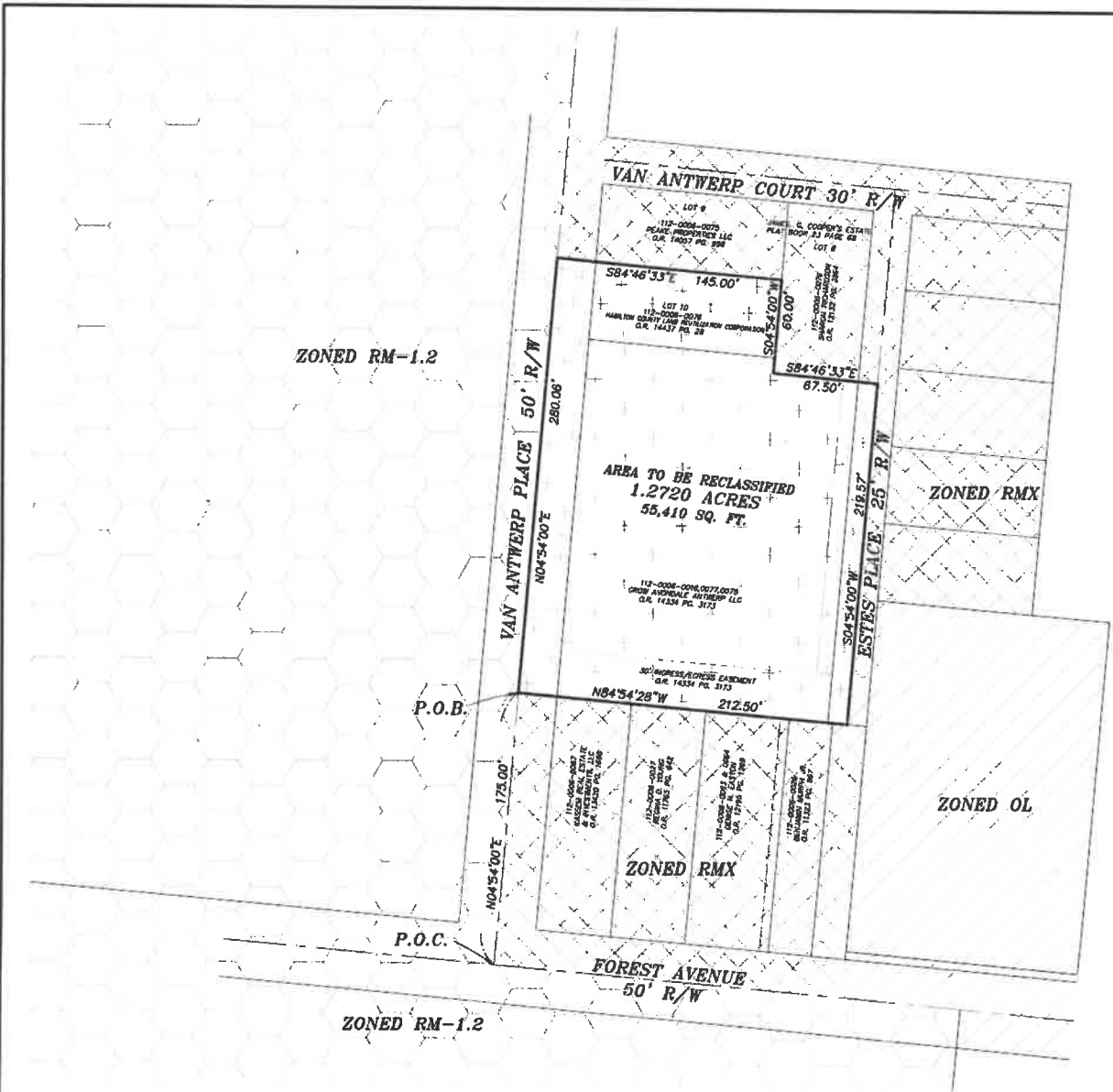
Please Check if the Following Items are Attached

Application Fee x

Copies of Plat x

Copies of Metes and Bounds x

N:\11924-ZONING\11924-ZONING.dwg May 04, 2022 - 11:27am



BASE OF REVISIONS
JAMES G. COOPER'S ESTATE
PLAT BOOK 23 PAGE 68

CLOSURE

	North	East
N 04-54-00 E	5142.42	5037.30
S 84-46-33 E	5421.45	5061.22
S 04-54-00 W	5408.25	5205.62
S 84-46-33 E	5348.47	5200.50
S 04-54-00 W	5242.33	5267.72
S 84-46-33 E	5123.56	5248.96
N 84-54-28 W	5142.42	5037.30

Perimeter: 984.63 Area: 55,410 sq. ft. 1.2720 acres
 Error Closure: 0.00 Course: N 68-45-58 W
 Error North: 0.001 East: -0.002
 Precision: 1: 984,630,000.00

LEGAL DESCRIPTION
1.2720 ACRES- Area to be Reclassified

Situated in section 9, town 3, F.R. 2 of the Miami Purchase, City of Cincinnati, Hamilton County, Ohio and being more particularly described as follows:

Commencing at a point at the centerline intersection of Forest Avenue and Van Antwerp Place:

Thence with the centerline of Van Antwerp Place N 04°54'00" E for a distance of 175.00 feet to the true place of beginning of the following described real estate:

Thence from said true place of beginning and continuing with the centerline of said Van Antwerp Place N 04°54'00" E for a distance of 280.06 feet to a point;

Thence S 84°46'33" E for a distance of 145.00 feet to a point;

Thence S 04°54'00" W for a distance of 60.00 feet to a point;

Thence S 84°46'33" E for a distance of 67.50 feet to a point in the centerline of Estes Place:

Thence with said centerline S 04°54'00" W for a distance of 219.57 feet to a point;

Thence N 84°54'28" W for a distance of 212.50 feet to the place of beginning.

Said property contains 1.2720 Acres to be Reclassified.

Bearings are based on the plat of James G. Cooper's Estate, as recorded in Plat Book 23 Page 68 of the Hamilton County Recorder's Office

ZONING RECLASSIFICATION PLAT
SECTION 9, TOWN 3, F.R. 2
CITY OF CINCINNATI
HAMILTON COUNTY, OHIO
JAMES G. COOPER'S ESTATE
PLAT BOOK 23 PAGE 68
HAMILTON COUNTY R.O.



REVISIONS

ZONING RECLASSIFICATION PLAT

H & M SURVEYING
 SERVICES INCORPORATED
 119 WEST MAIN STREET AMELIA, OHIO 45102
 (513) 753-7959

SCALE: 1"=50' DATE: 05/04/2022 JOB NO.: 11974 DPNL: S.A.S. 1 1

John C. Hewett
 JOHN C. HEWETT
 Registration Number 7550
 05/04/2022

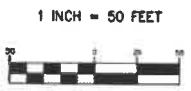


Exhibit C

EXHIBIT "A"

LEGAL DESCRIPTION

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Said property contains 1.2720 Acres to be Reclassified..

Bearing are based on the plat of James G. Coopers Estate,
as recorded in Plat Book 23 Page 68 of the Hamilton County Recorder's Office

VAN ANTWERP PLACE

3550 Van Antwerp Place
Cincinnati, OH 45229



VAN ANTWERP

3550 Van Antwerp Place
Cincinnati, OH 45229
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ARCHITECTS AND INTERIORS
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NOTE:
1. ALL RIGHTS SHALL BE RESERVED BY THE ARCHITECT AND THE CONTRACTOR AND SHALL BE THE PROPERTY OF THE ARCHITECT AND CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL GOVERNMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL GOVERNMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL GOVERNMENTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL GOVERNMENTS.

CONSTRUCTION NARRATIVE

GENERAL AND CONSTRUCTION DESCRIPTION
AS SHOWN ON THESE PLANS, THE PROJECT IS A 4-STORY APARTMENT BUILDING WITH A TOTAL OF 100 UNITS. THE BUILDING IS TO BE CONSTRUCTED ON A 1.5-ACRE SITE. THE PROJECT IS TO BE CONSTRUCTED IN PHASES. PHASE 1 WILL INCLUDE THE CONSTRUCTION OF THE 4-STORY APARTMENT BUILDING AND THE 2-STORY COMMERCIAL BUILDING. PHASE 2 WILL INCLUDE THE CONSTRUCTION OF THE 2-STORY COMMERCIAL BUILDING AND THE 2-STORY COMMERCIAL BUILDING. PHASE 3 WILL INCLUDE THE CONSTRUCTION OF THE 2-STORY COMMERCIAL BUILDING AND THE 2-STORY COMMERCIAL BUILDING.

CONSTRUCTION SCHEDULE
THE PROJECT IS TO BE CONSTRUCTED IN PHASES. PHASE 1 WILL INCLUDE THE CONSTRUCTION OF THE 4-STORY APARTMENT BUILDING AND THE 2-STORY COMMERCIAL BUILDING. PHASE 2 WILL INCLUDE THE CONSTRUCTION OF THE 2-STORY COMMERCIAL BUILDING AND THE 2-STORY COMMERCIAL BUILDING. PHASE 3 WILL INCLUDE THE CONSTRUCTION OF THE 2-STORY COMMERCIAL BUILDING AND THE 2-STORY COMMERCIAL BUILDING.

CONSTRUCTION COSTS
THE PROJECT IS TO BE CONSTRUCTED IN PHASES. PHASE 1 WILL INCLUDE THE CONSTRUCTION OF THE 4-STORY APARTMENT BUILDING AND THE 2-STORY COMMERCIAL BUILDING. PHASE 2 WILL INCLUDE THE CONSTRUCTION OF THE 2-STORY COMMERCIAL BUILDING AND THE 2-STORY COMMERCIAL BUILDING. PHASE 3 WILL INCLUDE THE CONSTRUCTION OF THE 2-STORY COMMERCIAL BUILDING AND THE 2-STORY COMMERCIAL BUILDING.

DRAWING INDEX

NO.	DESCRIPTION
1	COVER SHEET
A8 101	SITE PLAN
A111	FIRST FLOOR PLAN
A112	SECOND FLOOR PLAN
A113	THIRD FLOOR PLAN
A114	FOURTH FLOOR PLAN
A203	EXTERIOR ELEVATIONS
A204	EXTERIOR ELEVATIONS

DEVELOPMENT TEAM

BERARDI + PARTNERS, INC.
CONTRACTOR

POTENTIAL BUILDING SYSTEMS

1. SYSTEMS TO BE USED IN THIS PROJECT
2. SYSTEMS TO BE USED IN THIS PROJECT
3. SYSTEMS TO BE USED IN THIS PROJECT
4. SYSTEMS TO BE USED IN THIS PROJECT

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4. SYSTEMS TO BE USED IN THIS PROJECT



BOMA COMMON AREA

AREA TYPE	AREA	AREA
COMMON AREA CALCULATION	48,170 SF	1,071 SF
COMMON AREA PER SQUARE FOOT	1,830 SF	64.0 SF
COMMON AREA PER UNIT	8,325 SF	1,100 SF
COMMON AREA PER SQUARE FOOT	4,945 SF	126.4 SF
DELEGATED PROGRAM SPACE	1,018 SF	23.9 SF
EXTERIOR AREA	488 SF	12.9 SF
LANDSCAPE	3,214 SF	84.4 SF
SUPPORT SPACE	13,940 SF	360.0 SF
VIEWING PENETRATION	2,118 SF	53.9 SF
GRAND TOTAL	43,839 SF	1,000 SF

UNIT SUMMARY

UNIT	TYPE	COUNT
2ND FLOOR	AMB W	1
3RD FLOOR	AMB W	1
4TH FLOOR	AMB W	1
5TH FLOOR	AMB W	1
6TH FLOOR	AMB W	1
7TH FLOOR	AMB W	1
8TH FLOOR	AMB W	1
9TH FLOOR	AMB W	1
10TH FLOOR	AMB W	1
11TH FLOOR	AMB W	1
12TH FLOOR	AMB W	1
13TH FLOOR	AMB W	1
14TH FLOOR	AMB W	1
15TH FLOOR	AMB W	1
16TH FLOOR	AMB W	1
17TH FLOOR	AMB W	1
18TH FLOOR	AMB W	1
19TH FLOOR	AMB W	1
20TH FLOOR	AMB W	1
21ST FLOOR	AMB W	1
22ND FLOOR	AMB W	1
23RD FLOOR	AMB W	1
24TH FLOOR	AMB W	1
TOTAL UNITS		26

DATE: 05/10/2022
PROJECT #: 22121

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COVER

INSULATION TO BE DEMONSTRATED PASSIVE SYSTEM BY ALL AV DETAILS SIMILAR TO DETAILS ON SHEET AS TO IN ELECTRICITY ATTORNEY FOR THE FIRM BE DEMONSTRATED TO THE BOARD FOR THE FIRM AS AT COMPLETION OF PROJECT.
SEE SHEET AS FOR TYPICAL PROPOSED DETAILS AND FINISHING SHEET # 401

laymarks

general notes: building envelope

1. ALL DIMENSIONS, HIGH AS DIMENSIONS AND DIMENSIONS ALL DIMENSIONS AS REQUIRED TO BE FINISHED.
2. ALL GRADING TO BE DEVELOPED AN APPROXIMATELY 1/4" PER FOOT.
3. ALL FLOOR OR DRAIN BOARD TO BE PROTECTED AGAINST PENETRATION WALLS.
4. ALL FOUNDATION ELEMENTS TO TOP OF FOOTING.
5. INSULATE ALL INSULATION AGAINST CONDENSED SURFACE FLOW BY USE ALL BATT INSULATION.
6. INSULATE ALL WALLS INSULATION TO ALL SIDES - PROTECT FROM AIR MASS.
7. ALL EXTERIOR INSULATION TO BE OVER EXTERIOR FINISH MINIMUM OF R-4.0.
8. SLOTTED JOISTS ARE TO BE FULL CAVITY INSULATED TO PROTECT EDGE OF EXTERIOR INSULATION.
9. PROVIDE PERMANENT INSULATION TO ALL EXTERIOR WALLS - ALL DIMENSIONS AND PENETRATIONS TO BE TYPICAL - INSTALL INSULATION PERMANENTLY AT INSULATION TO BE SHOWN ON SHEET # 311 - FULL CAVITY.
10. PROVIDE A CONTINUOUS AIR BARRIER - CONTINUOUSLY SEAL ALL EXTERIOR PENETRATIONS INCLUDING THE TOP AND BOTTOM EDGES - PROVIDE MOISTURE BARRIER BENEATH ALL EXTERIOR WALLS INCLUDING TOP AND BOTTOM EDGES.
11. SEAL ALL NECESSARY GAPS, UTILITY BODIES AND JOINTS.
12. GUESS TO TOP PLATE ON ALL WALLS JOINTS TO GOLF SPACES ABOVE.
13. SUB-FLOORING, STAIRS AND PRECAST INCLUDES INSULATION EXTERIOR WALLS TO BE INSULATED AND GATED BEFORE FINISHING.

general notes: air leak age

IN ACCORDANCE WITH ASHRAE 90.1-04 (S.A. 1)

1. THE BUILDING SHALL BE SEALED, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED: WINDOW OR DOOR FRAME - PROTECT TO FINISH AIR LEAKAGE.
2. WINDOW AND DOOR FRAME AND JOINTS SHALL BE SEALED.
3. ALL PENETRATIONS THROUGH THE BUILDING ENVELOPE SHALL BE SEALED BY THE CONTRACTOR.
4. ALL PENETRATIONS THROUGH THE BUILDING ENVELOPE SHALL BE SEALED BY THE CONTRACTOR.
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8. ALL PENETRATIONS THROUGH THE BUILDING ENVELOPE SHALL BE SEALED BY THE CONTRACTOR.

general notes: floor plans

1. TOP OF CONCRETE SLAB SHALL BE USED AS REFERENCE POINT 1000.
2. ALL DIMENSIONS ARE TO FACE OF FINISHED ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF FINISHED CONCRETE OR GROUND. SEE ALL TYPE NOTES FOR THE SYMBOLS. UNLESS A DIMENSION SYMBOL INDICATES THE DIMENSION OF THE WALL TYPE.
3. SEE SHEET 200 AND 200B FOR WALL, FLOOR AND CEILING TYPES.
4. UNLESS INDICATED OTHERWISE, ALL DOORS TO BE A MINIMUM OF 4'-0" PREFERRED TO 4'-6" DIMENSION FROM FINISH FLOOR TO TOP OF DOOR.
5. ANY DIMENSIONS INDICATED AGAINST A DIMENSION OF CONCRETE SHALL BE RECEIVED A LAYER OF MOISTURE RESISTANT GIBBS TO BE LIMITED OVER ALL TYPE INDICATED IMMEDIATELY BEHIND FINISH.
6. SEE SHEET 200 AND 200B FOR WALL, FLOOR AND CEILING TYPES, SYMBOLS AND ADDITIONAL NOTES.
7. SOLAR SHIELD SYSTEM - SEE DETAILS SHEET 200 SHEET 200B FOR ALL ELECTRICAL COORDINATE WITH ELECTRICAL AND MECHANICAL FAN OVER AND ARCHITECTURAL PRIOR TO INSTALLATION.

general notes: common and insert spaces

1. ALL INTERIOR WALLS AND PARTITIONS SHALL BE FINISHED TO MATCH OR EXCEED CODE MINIMUM REQUIREMENTS.
2. ALL WALLS ARE TO BE FINISHED TO MATCH OR EXCEED CODE MINIMUM REQUIREMENTS.
3. ALL DOORS MUST BE FINISHED TO MATCH OR EXCEED CODE MINIMUM REQUIREMENTS.
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7. ALL DOORS MUST BE FINISHED TO MATCH OR EXCEED CODE MINIMUM REQUIREMENTS.
8. ALL DOORS MUST BE FINISHED TO MATCH OR EXCEED CODE MINIMUM REQUIREMENTS.

finishes

NOTE: COORDINATE ALL FINISHES WITH ALL TYPES SHEET # 200B

- 2 HOUR RATED FIRE BARRIER
- 1 HOUR RATED FIRE PARTITION
- MASONRY WALL
- 1 HOUR RATED MASONRY WALL
- RESINCOED BARRIER SLAB
- COORDINATE WITH STRUCTURAL DRAWINGS
- CONTRACTOR
- FIRE RESISTANT CABINET
- FLOOR CLEANING
- TRANSITION STRIP, REFER TO SCHEDULE
- WALLCAP BY MCG
- INDICATES TYPE A SHELLING UNIT
- S.I. INDICATES SPOURRY IMPROVED

VAN ANTWERP PLACE

2550 Van Antwerp Place
Cincinnati, OH 45229
8 20 22 3071
FOR ALL DIMENSIONS, HIGH AS DIMENSIONS AND DIMENSIONS ALL DIMENSIONS AS REQUIRED TO BE FINISHED.

general notes: floor plans

1. ALL DIMENSIONS, HIGH AS DIMENSIONS AND DIMENSIONS ALL DIMENSIONS AS REQUIRED TO BE FINISHED.
2. ALL GRADING TO BE DEVELOPED AN APPROXIMATELY 1/4" PER FOOT.
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5. INSULATE ALL INSULATION AGAINST CONDENSED SURFACE FLOW BY USE ALL BATT INSULATION.
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12. GUESS TO TOP PLATE ON ALL WALLS JOINTS TO GOLF SPACES ABOVE.
13. SUB-FLOORING, STAIRS AND PRECAST INCLUDES INSULATION EXTERIOR WALLS TO BE INSULATED AND GATED BEFORE FINISHING.

DATE: 05/18/2012
PROJECT #: 21211
BY: [Signature] Date

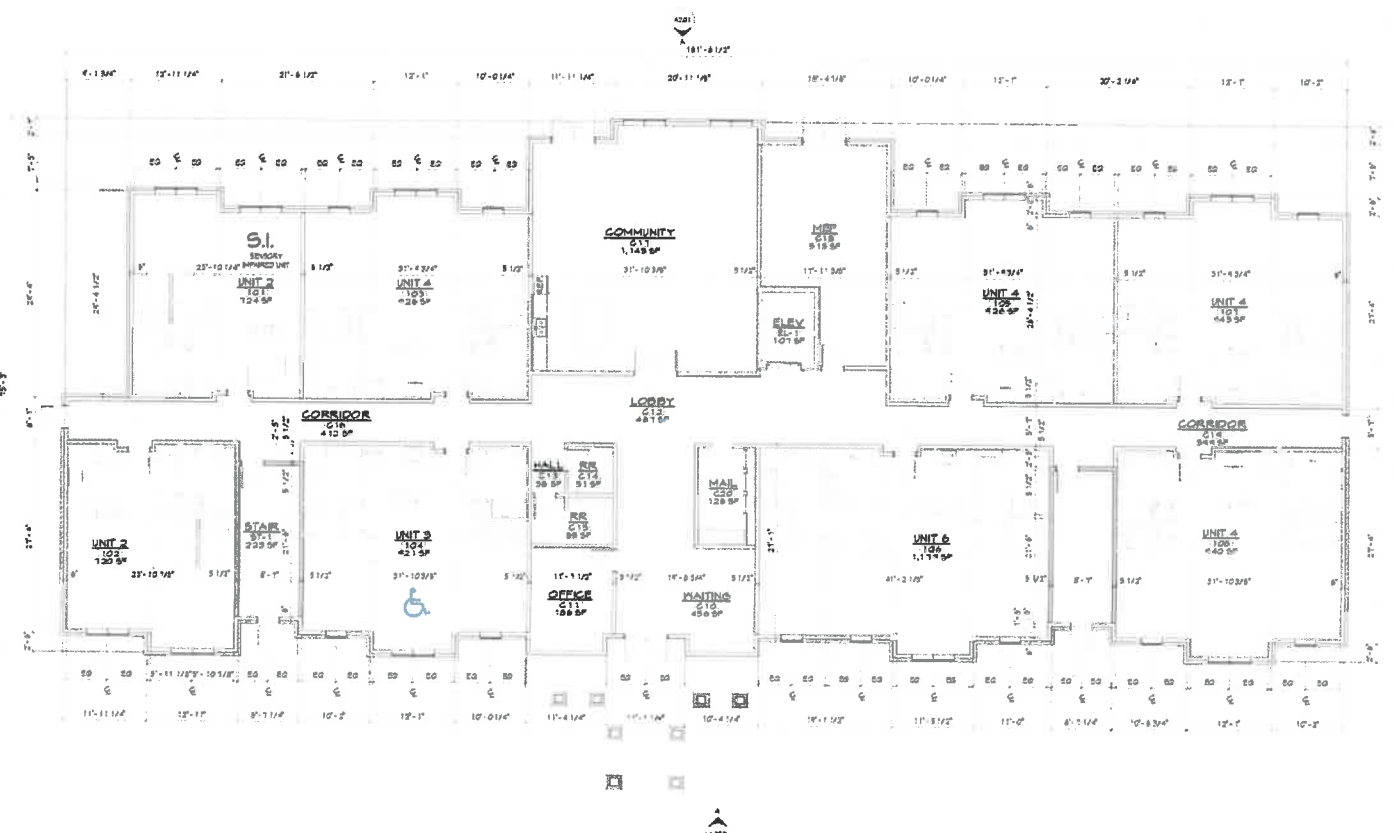
KINGSLEY & CO. DEVELOPMENT

FIRST FLOOR PLAN

A111

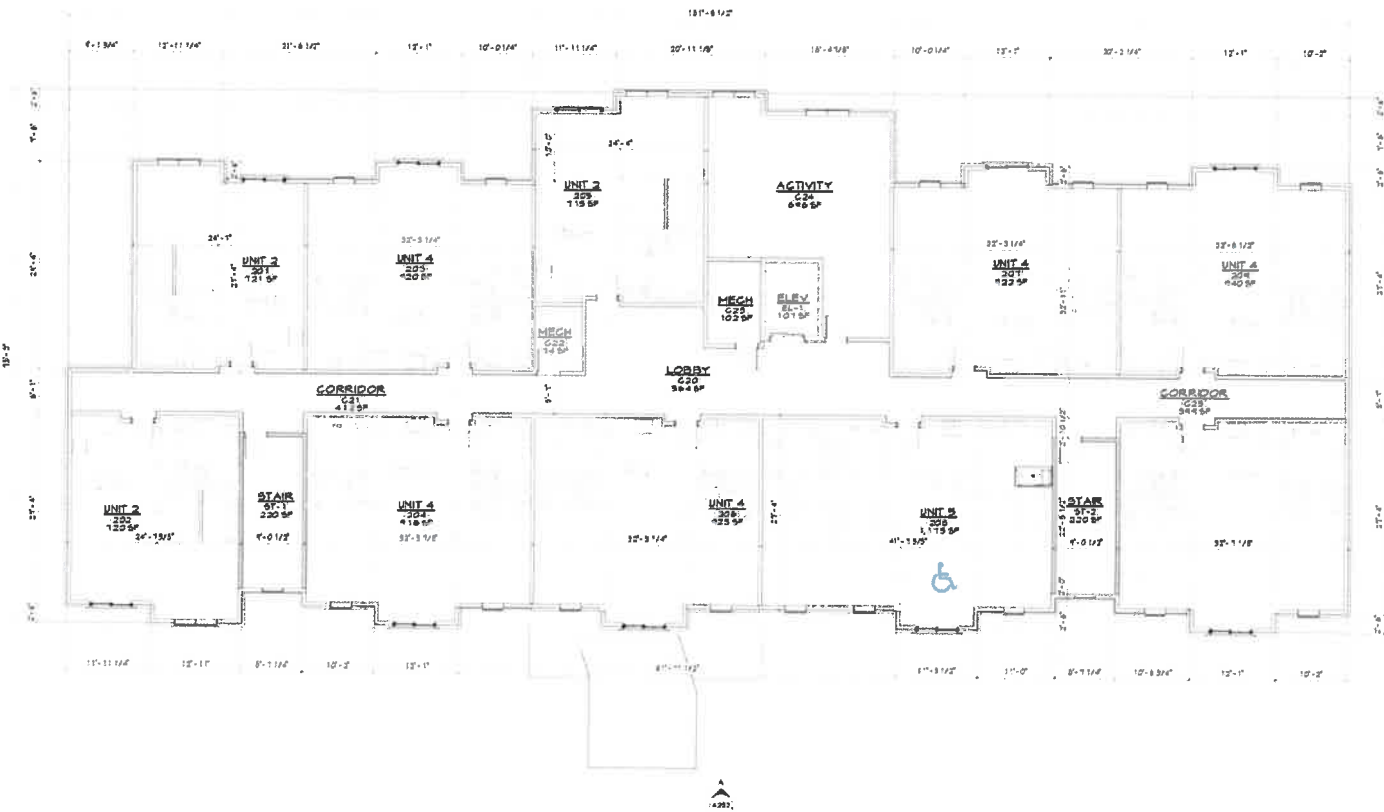
BERARDI+

Exhibit E



FIRST FLOOR PLAN

1/8" = 1'-0"



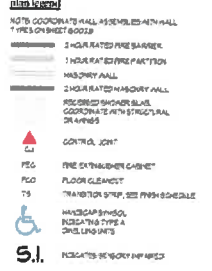
1 SECOND FLOOR PLAN 1/8" = 1'-0"

- general notes: building envelope
1. ALL OPENINGS IN EXTERIOR WALLS AND ROOFS INCLUDING ALL SMALL PENETRATIONS SHALL BE SEALED TO PREVENT AIR INLEAKAGE.
 2. ALL ROOFS TO BE SEALED AND ALL PENETRATIONS THROUGH ROOFS TO BE SEALED TO PREVENT AIR INLEAKAGE.
 3. ALL PENETRATIONS THROUGH ROOFS TO BE SEALED TO PREVENT AIR INLEAKAGE.
 4. ALL PENETRATIONS THROUGH ROOFS TO BE SEALED TO PREVENT AIR INLEAKAGE.
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 16. ALL PENETRATIONS THROUGH ROOFS TO BE SEALED TO PREVENT AIR INLEAKAGE.
 17. ALL PENETRATIONS THROUGH ROOFS TO BE SEALED TO PREVENT AIR INLEAKAGE.
 18. ALL PENETRATIONS THROUGH ROOFS TO BE SEALED TO PREVENT AIR INLEAKAGE.

- general notes: air leakage
- IN ACCORDANCE WITH ASHRAE 90.1-2013 (SI), THE BUILDING ENVELOPE SHALL BE SEALED TO PREVENT AIR INLEAKAGE. THE FOLLOWING ARE THE AREAS TO BE SEALED TO PREVENT AIR INLEAKAGE:
- A. JOINTS AND PENETRATIONS THROUGH ROOFS AND WALLS.
 - B. JOINTS AND PENETRATIONS THROUGH ROOFS AND WALLS.
 - C. JOINTS AND PENETRATIONS THROUGH ROOFS AND WALLS.
 - D. JOINTS AND PENETRATIONS THROUGH ROOFS AND WALLS.
 - E. JOINTS AND PENETRATIONS THROUGH ROOFS AND WALLS.
 - F. JOINTS AND PENETRATIONS THROUGH ROOFS AND WALLS.
 - G. JOINTS AND PENETRATIONS THROUGH ROOFS AND WALLS.
 - H. JOINTS AND PENETRATIONS THROUGH ROOFS AND WALLS.
 - I. JOINTS AND PENETRATIONS THROUGH ROOFS AND WALLS.
 - J. JOINTS AND PENETRATIONS THROUGH ROOFS AND WALLS.

- general notes: floor plans
1. TOP OF CONCRETE SLAB SHALL BE USED AS FINISH FLOOR FINISH.
 2. ALL DIMENSIONS ARE TO FACE OF STUDIOS. ALL DIMENSIONS ARE TO FACE OF STUDIOS.
 3. ALL DIMENSIONS ARE TO FACE OF STUDIOS. ALL DIMENSIONS ARE TO FACE OF STUDIOS.
 4. ALL DIMENSIONS ARE TO FACE OF STUDIOS. ALL DIMENSIONS ARE TO FACE OF STUDIOS.
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- general notes: common and interior spaces
1. ALL INTERIOR WALLS AND PARTITIONS SHALL BE FINISHED TO MEET OR EXCEED CODE REQUIREMENTS.
 2. ALL WALLS ARE A MINIMUM 3/8" THICK.
 3. ALL DOORS ARE 30" HIGH AND 36" WIDE.
 4. ALL DOORS ARE 30" HIGH AND 36" WIDE.
 5. ALL DOORS ARE 30" HIGH AND 36" WIDE.
 6. ALL DOORS ARE 30" HIGH AND 36" WIDE.
 7. ALL DOORS ARE 30" HIGH AND 36" WIDE.
 8. ALL DOORS ARE 30" HIGH AND 36" WIDE.
 9. ALL DOORS ARE 30" HIGH AND 36" WIDE.
 10. ALL DOORS ARE 30" HIGH AND 36" WIDE.



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 ARCHITECTS
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 DENVER, CO 80202

DATE: 05/10/2022
 PROJECT #: 22121
 PROJECT NAME: Van Antwerp Place
 SHEET: 22121-2

SECOND FLOOR PLAN

A112

BERARDI+
 ARCHITECTS
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 DENVER, CO 80202

Exhibit E

- general notes: building envelope
1. ALL OPENINGS, SUCH AS DOORS AND WINDOWS, INCLUDING ALL SILL FINISHES ARE REQUIRED TO BE FLUSH.
 2. ALL BRACKETS TO BE SLOPED AWAY FROM BALCONY/POVERBAYS.
 3. ALL WALLS FULL OR PARTIAL DOORS TO BE INSTALLED AGAINST INSULATION WALLS.
 4. ALL FLOOR INSULATION TO EXTEND TO TOP OF FOOTING.
 5. INSTALL ALL INSULATION AGAINST CONCRETED SURFACES BY FACE STAPLE ALL SATTLE.
 6. INCLUDE ALL WALL INSULATION ON ALL BRACKETS, FLOOR FROM ALL WALLS.
 7. ALL EXTERIOR INSULATION TO BE CONFORM WITH RESILIENT MEMBRANE SYSTEMS.
 8. SOFFIT JOINTS ARE TO BE FULL CAVITY WITH TAMP TO PROTECT JOINTS OF FLOOR INSULATION.
 9. PROVIDE FLOOR INSULATION TO MATCH INSULATION ABOVE ALL JOINTS AND PENETRATIONS TO BE TYPED WITH ALL INSULATION PER RELEVANT STANDARDS AND SPECIFICATIONS.
 10. PROVIDE A CONTINUOUS FIRE BARRIER - CONTINUOUS FIRE BARRIER THROUGH JOINTS INCLUDING THE TOP AND BOTTOM EDGES - PROVIDE AGAINST FIRE BARRIER (SILL) FINISHES ALL GROUND FLOOR TOP AND BOTTOM EDGES.
 11. SEAL ALL RECORDED GULLY, SILENT BOXES AND DOOR JAMBS.
 12. SEAL ALL TO TOP PLATE ON ALL WALLS ADJACENT TO COLD SPACES ABOVE.
 13. TURN PROFILES, STAIRS AND FINISHES ENCLOSED REPAIRS TO TRICK WALLS TO BE PRE-INSTALLED AND DAMAGED BEFORE BEING BUILT AGAINST.

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- general notes: air leakage
- (IN ACCORDANCE WITH ASHRAE 90.1-2019 (PART 5))
- BUILDING ENVELOPE SEALING: THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, GASKETED, OR AIR-TIGHTENED TO PREVENT AIR LEAKAGE:
- A. JOINTS AND PENETRATIONS AND DOOR FRAMES.
 - B. JUNCTIONS OF WALLS AND FOUNDATIONS, BETWEEN WALLS AND STRUCTURAL FLOORS ON ROOFS, AND BETWEEN WALLS AND ROOF OR WALL AND CEILING AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
 - C. RECURRING PENETRATIONS AND DOORS.
 - D. BUILDING ASSEMBLIES SUCH AS DECKS OR FLOORS, JOINTS, SEAMS, AND PENETRATIONS OF WINDOW REASSEMBLY.
 - E. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE, INCLUDING WALL SILL FINISHES ON ALL WALLS PLACED IN EXTERIOR POSITIONS AT ALL WALLS SCHEDULED FOR SOUND ATTENUATION AND AT ALL RESTROOMS/BATHROOMS.

- general notes: floor plans
1. TOP OF CONCRETE SLAB SHALL SERVE AS REFERENCE LEVEL.
 2. ALL DIMENSIONS ARE TO FACE OF STUDYING, ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF EXTERIOR FINISHES OR TO FACE OF ALL TYPE INTERIORS THE FINISHES TO BE SHOWN AS DIMENSIONS FROM FACE TO THE CENTERLINE OF STUDYING.
 3. SEE SHEET 3002 AND 3003 FOR WALL, FLOOR, AND ROOF TYPES.
 4. UNLESS INDICATED OTHERWISE, ALL DOORS TO BE A MINIMUM OF 30" WIDE BY 80" HIGH FROM FLOOR TO FINISH FLOOR FINISHES.
 5. ANY SHOWERS LOCATED WITHIN A CLOSET OR CORRIDOR SHALL TO RECEIVE A LAYER OF MOISTURE RESISTANT BARRIER LAMINATED OVER WALL TYPE IN DESIGNATED BATHROOMS ONLY.
 6. SEE SHEET 3001 AND 3004 FOR WALL, FLOOR, AND ROOF TYPES AND ADDITIONAL NOTES.
 7. SOL BRASS FINISH SYSTEM - SEE DETAILS SHEET 3004 SHEET 01 AND 02 FOR DETAILS.
 8. CORRIDOR AND COMMON AREA VENTILATED AND ON VACUUM SYSTEM AND ARCHITECT FIELD PRIOR TO RUSH-IN.

- general notes: common and interior spaces
1. ALL INTERIOR WALLS AND PARTITIONS SHALL BE FINISHED TO MEET OR EXCEED CODE MINIMUM REQUIREMENTS.
 2. ALL WALLS ARE A MINIMUM 5" THICK.
 3. ALL DOORS ARE TO EXCEED THE 30" MINIMUM CLEARANCE DOOR OPENING.
 4. HANDS AND FOREARMS RESTRAINTS LOCATED ON THE ELEMENT LEVEL.
 5. ALL CLOSET FINISHES IN RESTROOMS TO BE REPRODUCED AGAINST WALLS, DRUMS AND SINKS.
 6. ALL FLOORING TO BE CONFORM TO BE NON-SLIP.

- main levels
- NOTES: CONCRETE WALL ASSEMBLY WITH WALL TYPE OF SHEET 0003.0
- 2 HOUR RATED FIRE BARRIER
 - 1 HOUR RATED FIRE PARTITION
 - MASONRY WALL
 - 1 HOUR RATED MASONRY WALL
 - RECORDED BARRIER PLAN
 - CONCRETE WITH STRUCTURAL DRUMS
- ▲ CONTROL JOINT
- ▽ FLOOR CROSS-CORNER JOINT
- FLOOR CLEANOUT
- MECHANICAL ROOMS, SEE FINISH SCHEDULE
- ♿ HANDICAP SYMBOL
- EXISTING WALLS & WALLS IN PLACE
- S.I. INDICATES SERVICE IMPAIRED

DATE: 05/16/2021
 PROJECT #: 22121
 # Description Draw

KINGSLEY + CO.
 ENVIRONMENTAL DEVELOPMENT CORPORATION
 1000 N. LAKE STREET, SUITE 200
 CHICAGO, IL 60610
 TEL: 312.467.1000
 WWW.KINGSLEYANDCO.COM

THIRD FLOOR PLAN

A113

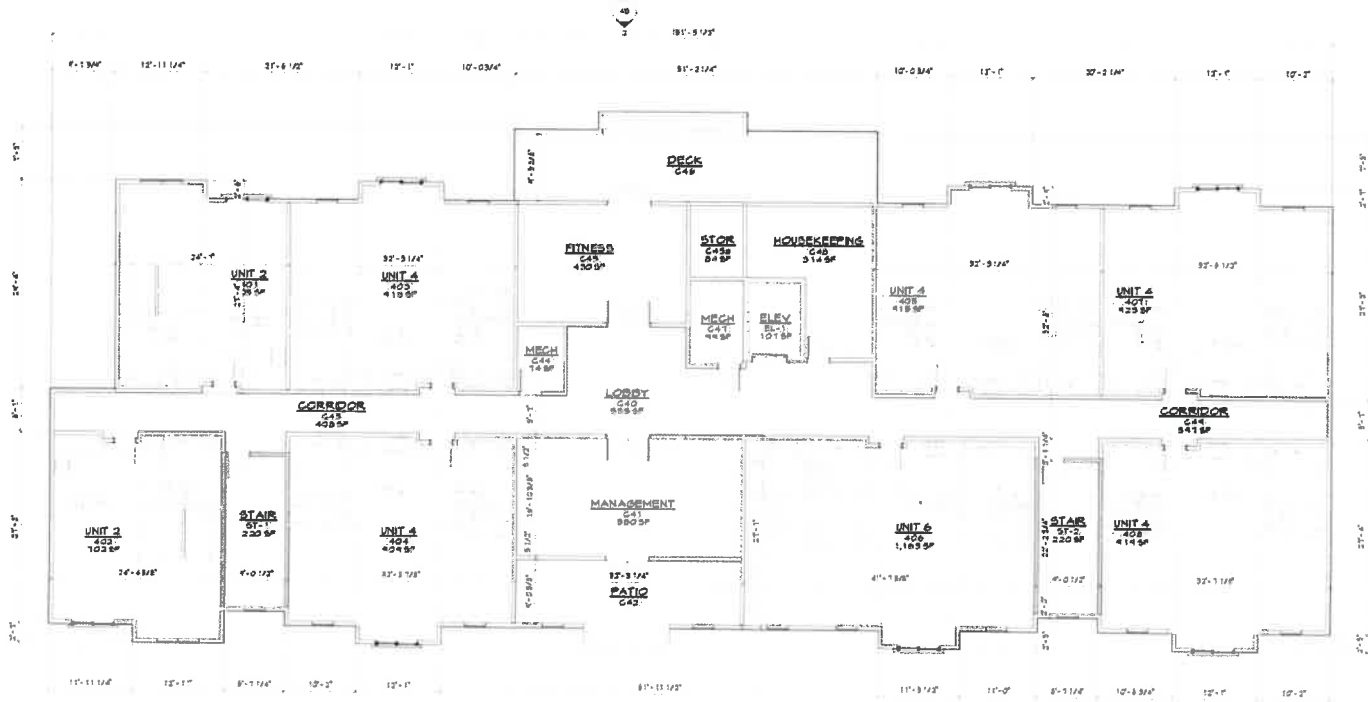
BERARDI PARTNERS, INC.
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 100 N. LAKE STREET, SUITE 200
 CHICAGO, IL 60610
 TEL: 312.467.1000
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Exhibit E



THIRD FLOOR PLAN

1/8" = 1'-0"



FOURTH FLOOR PLAN

1/8" = 1'-0"

- general notes: building envelope**
1. ALL OPENINGS SUCH AS DOORS AND WINDOWS INCLUDING ALL WALL PANNERS AS REQUIRED TO BE FLASHED.
 2. ALL BRACKETS TO BE SLOPED AWAY FROM BUILDING FOOTPRINT.
 3. BRICKLAK FLOOR DRAIN BOARDS TO BE INSTALLED AGAINST FOUNDATION WALLS.
 4. ALL FOUNDATION WALLS TO BE TYPED TO TOP OF FOOTING.
 5. INST. ALL INSULATION AGAINST EXTERIOR SURFACE OF WALLS. ALL SILLING ENCLOSE ALL WALLS WITH INSULATION. ALL SILLING PROTECT FROM AIR LEAKAGE.
 6. ALL EXTERIOR WALLS TO BE EXPOSED WITH FINISH AS SHOWN ON PLAN.
 7. ROOF GUTTERS ARE TO BE FULL GUTTERS WITH 1/2" TO PROTECT EDGE OF ROOF INSULATION.
 8. PROVIDE FROST AND MELT TOLERANT POLYETHYLENE - ALL EXTERIOR PENETRATIONS TO BE SEALED WITH INSULATION PER ENERGY STAR INSULATION GUIDE GRADE 1) - FILL ALL GAVETS.
 9. PROVIDE A CONTINGENCY AIR BARRIER - CONTINGENCY SHALL BE 1/2" Gypsum Board with JOINTS TYPED TO TOP AND BOTTOM EDGES - PROVIDE REINFORCED BARRIER (MESH) WITH ALL SEAMS INCLUDING TOP AND BOTTOM EDGES.
 10. SEAL ALL RECEIVED CANALS, FLUTE JOISTS AND DOOR JAMBS.
 11. ALL GAPS TO TOP FLUTE OR ALL WALLS TO BE TYPED TO GOLF SPACES ABOVE.
 12. SUB-PANORAMA STILES AND REINFORCE ENCLOSED REAR EXTENSION WALLS TO BE PRO INSULATED AND SEALED TO EXTERIOR SCENE. BULK A BARRIER.

- general notes: air leakage**
- (IN ACCORDANCE WITH ASHRAE 90.1-10 (TAB.2.1))
- BUILDING ENVELOPE SEALING: THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, GASKETED, OR AIR GAPS STAPPED TO MINIMIZE AIR LEAKAGE:
- A. JOINTS AND GAPS PENETRATIONS AND DOOR THRESHOLS.
 - B. JOINTS BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AT FULL CORNER JOINTS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
 - C. OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOF, WALLS AND FLOORS.
 - D. REPAIRS TO PENETRATIONS AND DOORS.
 - E. BUILDING AND SUBSTRATE AS PARTS OF WALLS, CEILING, BEAMS AND PENETRATIONS OF VARIOUS MATERIALS.
 - F. WALLS AND CEILING IN THE BUILDING ENVELOPE.
 - G. PENETRATIONS FROM SEALS BETWEEN WALLS. PENETRATIONS FROM SEALS BETWEEN WALLS AND ALL RESTROOMS/BATHROOMS.

- general notes: floor plans**
1. TOP OF CONCRETE SHALL BE USED AS REFERENCE FOR FLOOR FINISH.
 2. ALL DIMENSIONS ARE TO FACE OF STUDY WALL EXCEPT DIMENSIONS ARE TO OUTSIDE FACE OF STUDY WALL CONCRETE OR GALV. BEAM WALL TYPE UNLESS OTHERWISE SPECIFIED AND NOTE AS A DIMENSION FROM FACE OF STUDY WALL TYPE.
 3. SEE SHEET S002A AND S002B FOR WALL, FLOOR AND ROOF TYPES.
 4. UNLESS OTHERWISE SPECIFIED ALL DOORS TO BE A MINIMUM OF 4'0" PREPARED TO OPEN JAMBS FROM ROOM TO OTHER ROOMS.
 5. ANY 3/4" OR 1" BATH LOCATED AGAINST A DIMENSION OR CORRIDOR WALLS TO RECEIVE A LATCH OF INTERIOR REGISTRATION AND TO BE LIMITED OVER ALL TYPES INDICATED.
 6. IMMEDIATELY ADJACENT TO THE DOOR SHALL BE A DOOR SCHEDULE AND DOOR TYPE INDICATED FOR DOOR TYPE, SCHEDULE AND ADDITIONAL NOTES.
 7. SEE SCHEDULE SHEET S002A AND S002B FOR DOOR TYPES AND SCHEDULES.
 8. COORDINATE COMMON AREA RECEPTIONS AND OTHER COMMON AREAS AND CONTRACTORS PRIOR TO CONSTRUCTION.

- general notes: common and interior spaces**
1. ALL INTERIOR WALLS AND STAIRWELLS SHALL BE FINISHED TO MEET OR EXCEED CODE MINIMUM REQUIREMENTS.
 2. ALL WALLS ARE A MINIMUM 5'0" HIGH.
 3. ALL DOOR HEIGHTS TO BE 8'0" MINIMUM CLEARANCE DOOR OPENING.
 4. ALL EXPOSED PLUMBING WITH CODE TO BE PROTECTED WITH INSULATION AND BUSHINGS.
 5. ALL PLUMBING IN COMMON SPACES TO BE 1/2" MINIMUM.

plan legend

NOTES: COORDINATE ALL FINISHES WITH ALL TYPES EXCEPT TO 0002B

- 2 HOUR RATED FIRE BARRIER
- 1 HOUR RATED FIRE PARTITION
- 1/2 HOUR RATED FIRE PARTITION
- 1 HOUR RATED MANDATORY HALL
- 2 HOUR RATED MANDATORY HALL
- RECESSED SIGNAGE WALL
- COORDINATE WITH ARCHITECTURAL DRAWINGS

CONTROL UNIT
 FIRE CABINET
 FLOOR CLEANOUT
 RECEPTION SIGN, SEE FINISH SCHEDULE
 HANDICAP SYMBOL
 INDICATING TYPE A SHELL UNIT'S
 S.I. INDICATES SEISMIC TYPE AND

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 3550 Van Antwerp Place
 Cincinnati, OH 45239
 8 30 32 874
 BERARDI PARTNERS, INC.
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 THE MANAGEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND NOTICES AND SHALL BE RESPONSIBLE FOR OBTAINING PERMITS FROM THE APPLICABLE AGENCIES.

general notes: floor plans

1. TOP OF CONCRETE SHALL BE USED AS REFERENCE FOR FLOOR FINISH.
2. ALL DIMENSIONS ARE TO FACE OF STUDY WALL EXCEPT DIMENSIONS ARE TO OUTSIDE FACE OF STUDY WALL CONCRETE OR GALV. BEAM WALL TYPE UNLESS OTHERWISE SPECIFIED AND NOTE AS A DIMENSION FROM FACE OF STUDY WALL TYPE.
3. SEE SHEET S002A AND S002B FOR WALL, FLOOR AND ROOF TYPES.
4. UNLESS OTHERWISE SPECIFIED ALL DOORS TO BE A MINIMUM OF 4'0" PREPARED TO OPEN JAMBS FROM ROOM TO OTHER ROOMS.
5. ANY 3/4" OR 1" BATH LOCATED AGAINST A DIMENSION OR CORRIDOR WALLS TO RECEIVE A LATCH OF INTERIOR REGISTRATION AND TO BE LIMITED OVER ALL TYPES INDICATED.
6. IMMEDIATELY ADJACENT TO THE DOOR SHALL BE A DOOR SCHEDULE AND DOOR TYPE INDICATED FOR DOOR TYPE, SCHEDULE AND ADDITIONAL NOTES.
7. SEE SCHEDULE SHEET S002A AND S002B FOR DOOR TYPES AND SCHEDULES.
8. COORDINATE COMMON AREA RECEPTIONS AND OTHER COMMON AREAS AND CONTRACTORS PRIOR TO CONSTRUCTION.

DATE: 06/10/2022
 PROJECT #: 22121

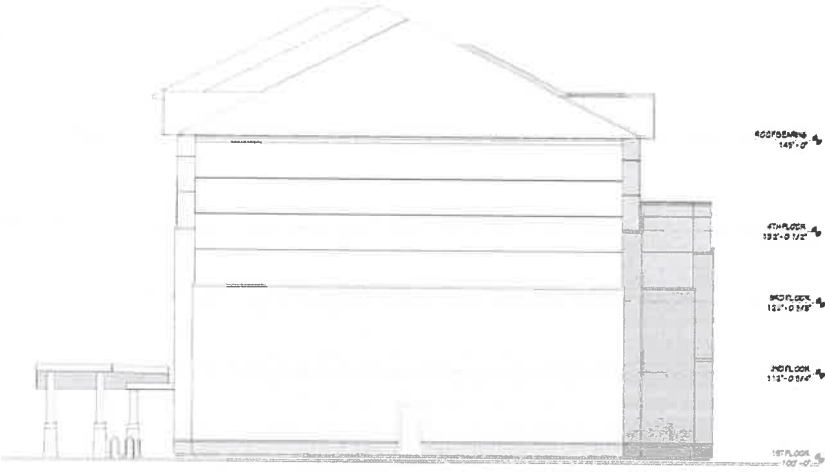
KINGSLEY + CO.
 ARCHITECTS
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FOURTH FLOOR PLAN

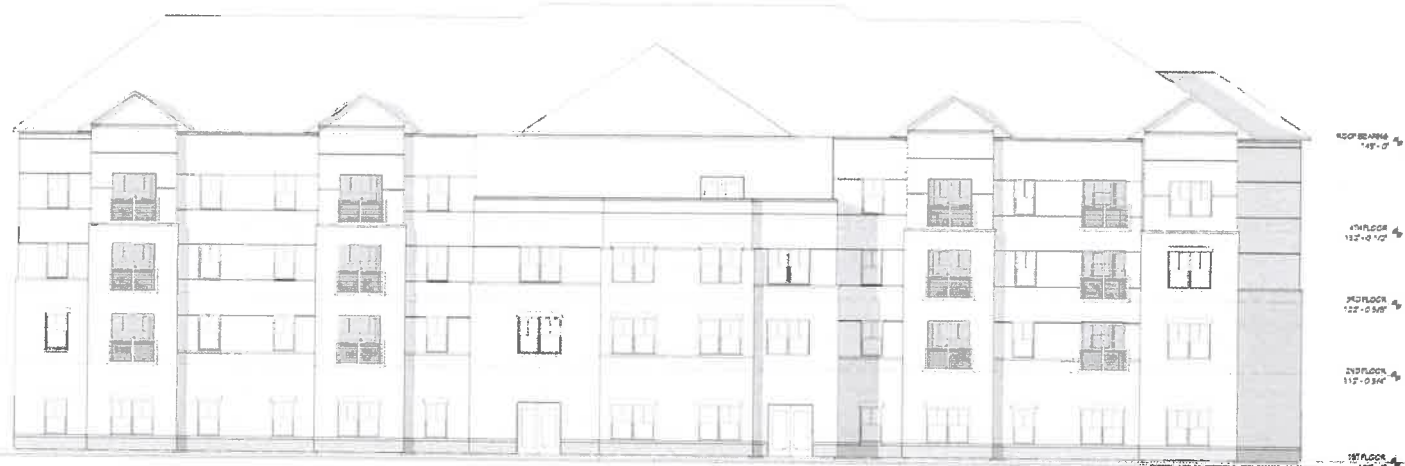
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Exhibit E



B EAST ELEVATION
1/8" = 1'-0"



A NORTH ELEVATION
1/8" = 1'-0"

exterior material legend

-  BRICK VENEER MASONRY, COLOR 1
-  BRICK VENEER MASONRY, COLOR 2
-  VERTICAL VINYL SIDING WITH 1 1/2" SAPPHIRE
-  VINYL SHAKES 2240
-  POLISHED CONCRETE FOUNDATION
-  Keynotes

general notes: elevation

1. ELEVATION REFERENCES SHOWN ON THESE DRAWINGS ARE USED ONLY AS REFERENCE LINES ONLY. DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
2. ALL CORNER SPOTS LOCATED ON FLOOR PLANS, FINISHED SPECIFIED BOTTOMS AND FINISH BALCONIES ARE DETAIL TO G.O.A. DRAWINGS. FINISHED TOPS OF FLOORS ARE AS NOTED ON BALCONIES.
3. ALL EXTERIOR FINISH MATERIALS TO BE INSTALLED AFTER THE HALF JACKETS ARE SET.
4. ALL FINISHED CONCRETE MASONRY FINISHES OR EXPANDED CONCRETE TO BE AS NOTED ON FINISH FLOOR PLANS FOR FINISHING AND PENETRATION REQUIREMENTS.
5. ALL FINISH COLORS AND TEXTURES NOT SPECIFIED TO BE SELECTED BY ARCHITECT.
6. CODES REFER APPLICABLE FOR EXTERIOR BALCONIES SHALL APPLY TO PENETRATIONS FOR REFERENCE ONLY.

general notes: building envelope

1. ALL OPENINGS, SUCH AS DOORS AND WINDOWS INCLUDING ALL GILL PARTS AND REQUIRED TO BE FLASHED.
2. ALL OPENINGS TO BE FLASHED AND PROVEN BUILT ON FOUNDATION.
3. GRANULAR FLOOR DRAIN BOARD TO BE INSTALLED AGAINST FOUNDATION WALLS.
4. ALL FOUNDATION PENETRATIONS TO TOP OF FOOTING.
5. INSTALL ALL INSULATION AGAINST CONCRETE SURFACE AS NOTED. ALL BATT INSULATION SHALL BE FULLY INSULATED WITH 3/4" JOISTS SPACED 16" ON CENTER.
6. ALL INSULATION TO BE EVEN DEPTH THROUGHOUT.
7. SOFFIT GUTTERS ARE TO BE FULL CAVITY WITH ADS TO PROTECT EDGE OF FINISHED INSULATION.
8. PROVIDE FIBERGLASS INSULATION WITH 5/8" POLYESTER FIBER FACING AND PENETRATIONS TO BE SET IN PLACE - INSTALL INSULATION FIBERGLASS INSULATION BACKWARDS TO - FILL ALL CAVITIES.
9. PROVIDE A GORING AIR BARRIER CONTINUOUSLY OVER ALL EXTERIOR FINISHING JOINTS INCLUDING THE TOP AND BOTTOM EDGES - PROVIDE AN OVERLAP BETWEEN SHIMMERS TYPICAL SEAMS INCLUDING TOP AND BOTTOM EDGES.
10. SEAL ALL RECEIVED CALLS, UTILITY BONES AND GORE JOINTS.
11. GORE JOINTS TO USE PLATE ON ALL WALLS ADJACENT TO GORE SPACES ABOVE.
12. GORE JOINTS, STAIRS AND FINISH PLACE INCLUDES PRESSURE EXTERIOR WALLS TO BE FIBERGLASS AND DETAILED BEFORE SING BUILT - BARRIER.

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NOTE:
1. ALL SUBMITTALS MUST BE OF THE
CORRECT TYPE AND SIZE AND MUST BE
PROVIDED WITH THE CORRECT
IDENTIFICATION AND NUMBERING
AND ONE SET MUST BE SUBMITTED TO THE
OWNER AND ONE SET TO THE ARCHITECT.
2. THE CONTRACT DOCUMENTS ARE COMPOSED
OF THE DRAWINGS AND SPECIFICATIONS
HEREIN AND ANY AMENDMENTS
HEREIN AND ANY ADDENDUMS
HEREIN AND ANY SUPPLEMENTAL
SCHEDULES AND CONDITIONS.
3. THE CONTRACT DOCUMENTS SHALL
BE INTERPRETED AS A WHOLE AND
CONFLICTS SHALL BE RESOLVED BY
THE ARCHITECT. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY
PERMITS AND APPROVALS FROM
THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE
FOR OBTAINING ALL NECESSARY
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FOR OBTAINING ALL NECESSARY
PERMITS AND APPROVALS FROM
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15. THE CONTRACTOR SHALL BE RESPONSIBLE
FOR OBTAINING ALL NECESSARY
PERMITS AND APPROVALS FROM
THE APPROPRIATE AGENCIES.

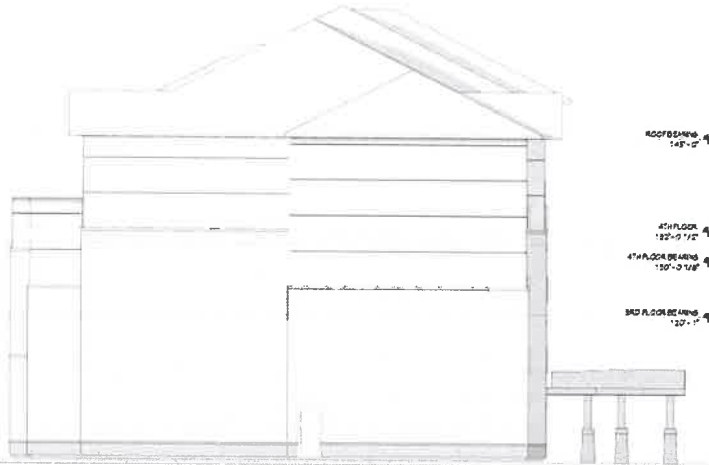
DATE: 05/18/2022
PROJECT #: 22121

KINGSLEY + CO.
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EXTERIOR ELEVATIONS

A201

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ARCHITECTS AND ENGINEERS
10000 W. WILSON AVENUE, SUITE 100
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PH: 513.963.1100
WWW.BERARDI.COM

Exhibit E



B WEST ELEVATION 18" = 1'-0"

exterior material legend

[Color swatch]	BACK VENEER MASONRY, COLOR 1
[Color swatch]	BACK VENEER MASONRY, COLOR 2
[Color swatch]	VERTICAL VINYL SIDING WITH 1/4" EXPANSE
[Color swatch]	VINYL BRICK SIDING
[Color swatch]	FOAMED CONCRETE FOUNDATION
[Color swatch]	Clydecot

- general notes: elevation**
1. ELEVATION REFERENCE IS SHOWN ON THESE DRAWINGS ARE TO BE USED ONLY AS REFERENCE USE ONLY. DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
 2. ALL CORNER FINISHES LOCATED OVER CORNER PLANS, PROVIDED IMPROVED ROOFING AND ROOF FLASHING AS DE TAILED ON CHG. DRAWINGS. PROVIDE FOR THE FINISHES AS SHOWN FROM DRAWING.
 3. ALL EXTERIOR FINISH MATERIALS TO BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS.
 4. ALL EXPOSED CONCRETE MASONRY JOINTS OR EXPOSED JOINTS TO BE FINISHED WITH SET ROOF FLASHING FOR FLASHING AND PENETRATION REQUIREMENTS.
 5. ALL FINISH COLOR & TEXTURE IS NOT SPECIFIED TO BE SELECTED BY ARCHITECT.
 6. COORDINATE APPLICABLE FOR EXTERIOR BUILDING MATERIALS WITH DRAWING FOR REFERENCE ONLY.

- general notes: building envelope**
1. ALL OPENINGS SUCH AS DOORS AND WINDOWS INCLUDING ALL FLASHING AS REQUIRED TO BE FLASHED.
 2. ALL OPENINGS TO BE FLASHED AS SHOWN ON SUBSEQUENT DRAWING.
 3. ON ANGULAR FLASHING FLASHING TO BE INSTALLED AGAINST FOUNDATION WALLS.
 4. ALL FLASHING TO INSTALLATION TO TOP OF FOOTING.
 5. INSTALL ALL INSULATION AGAINST CONCRETE SURFACE AS SHOWN ON ALL BATTLES.
 6. INSTALL ALL FLASHING INSULATION ON ALL OPENINGS - PROTECT THROUGH AIR LEAKS.
 7. ALL INSULATION TO BE EVEN WITH FLASHING SURFACE OF FINISH.
 8. PROVIDE INSULATION THROUGH WITH FINISH FLASHING TO BE EVEN WITH FLASHING SURFACE - INSTALL INSULATION PER ENERGY EFFICIENCY RATING (R-1) - FILL ALL CAVITIES.
 9. PROVIDE A CONTINUOUS AIR BARRIER CONTINUOUS WITH ALL EXTERIOR SURFACES INCLUDING THE TOP AND BOTTOM EDGES - PROVIDE WITH THEIR RESPECTIVE FLASHING (SHEET) FLASHING ALL FLASHING INCLUDING TOP AND BOTTOM EDGES.
 10. SEAL ALL RECESSED GASKETS, UTILITY BOWNS AND DOOR JAMBS.
 11. BLINDS TO TOP PLATE ON ALL WALLS ADJACENT TO COLD SPACES ABOVE.
 12. TERMINATE FLASHING AND FLASHING FLASHING PER REQUIRE EXTERIOR WALLS TO BE FLASHING AND FLASHING BEFORE FLASHING FLASHING.

VAN ANTWERP PLACE
3550 Van Antwerp Place
Cincinnati, OH 45229

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A SOUTH ELEVATION 18" = 1'-0"

ROOF BEAMS 148'-0"
4TH FLOOR 122'-0 1/2"
3RD FLOOR 107'-0 1/2"
2ND FLOOR 107'-0 1/2"
1ST FLOOR 107'-0 1/2"

DATE: 05/18/2022
PROJECT #: 22121

KINGSLEY + CO.
AVONDALE DEVELOPMENT CORPORATION
EXTERIOR ELEVATIONS

A202

BERARDI+
ARCHITECTS AND ENGINEERS

Exhibit E



May 17th, 2022

Stacey Hoffman, Senior City Planner
City of Cincinnati
805 Central Avenue, Suite 720
Cincinnati, OH 45202

RE: 3550-3560 Van Antwerp Community Engagement

Dear Mrs. Hoffman:

The Avondale Development Corporation is partnering with Kingsley + Co. on the proposed 36-unit affordable housing development at 3550-3560 Van Antwerp. The Avondale Development Corporation is coordinating community engagement with nearby residents and the Avondale Community Council. Below outlines steps taken by the Avondale Development Corporation and Kingsley + Co. to engage and inform the community of the development:

- March 30, 2022: Patrick Cartier and Avondale Development Corporation led a group of volunteers on Van Antwerp Pl., Estes Pl., Forest Ave., and Glenwood Ave. informing residents of the zoning change request for the proposed development. If residents were not home, a flyer was left at the front door.
- April 5, 2022: Kingsley + Co. presented the project to the Avondale Community Council board members and received a vote of support from the Avondale Community Council board members for the zone change.
- April 19, 2022: Kingsley + Co. presented the project to the Avondale Community Council general body. Avondale Development Corporation and Kingsley + Co. answered questions and addressed concerns from community members and ultimately received a vote of support from the Avondale Community Council general body for the zone change.
- May 15, 2022: Avondale Development Corporation and Kingsley + Co. met with residents at 3550-3560 Van Antwerp to answer questions and address concerns regarding the development.

Thank you again for assisting with our application. If you have any questions, please contact us.

Respectfully,

A handwritten signature in black ink, appearing to read 'Russell Hairston', written in a cursive style.

Russell Hairston
Executive Director
Avondale Development Corporation



Avondale Community Council
3635 Reading Road Suite 100
Cincinnati, OH 45229
513.281.5999

May 19, 2022

Stacey Hoffman, Senior City Planner
City of Cincinnati
805 Central Avenue, Suite 720
Cincinnati, OH 45202

RE: 3550-3560 Van Antwerp

Dear Mrs. Hoffman:

The Avondale Community Council is in support of Kingsley & Co.'s zone change request from RMX to RM 1.2 to accommodate the proposed 36-unit affordable housing development at **3550-3560 Van Antwerp**. Kingsley & Co. has presented the project in front of the Board and the General Body at their April meetings. As a Community, we feel that this project is consistent with our current 'Quality of Life Housing Plan' and will have a positive impact on current and future living conditions in Avondale.

Please feel free to contact the Avondale Community Council, should any questions arise.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tony Moore', is written over the word 'Sincerely'.

**Tony Moore, President
Avondale Community Council**

603-613 FOREST LLC
2300 MONTANA AVE, SUITE 410
CINCINNATI, OH 45211

603-613 FOREST LLC
3339 HARRISON AVE
CINCINNATI, OH 45211

A-1 REHAB PROPERTY MGMT LLC
818 GLENWOOD AVE
CINCINNATI, OH 45229

AQUARIAN PROPERTY MGMT LLC
875 ROCKDALE AVE
CINCINNATI, OH 45229

ASSETS OF LIBERTY JV01 THE LLC
24 E UNIVERSITY AVE, #OFC
CINCINNATI, OH 45219

B2B CINCINNATI LAND TRUST 2015
1125 W 8TH, SUITE 100
CINCINNATI, OH 45203

BERRY, JONATHAN
3737 WEIMAN AVE, #1
CINCINNATI, OH 45205

BOGART GLENWOOD LLC
3635 READING RD, SUITE 200
CINCINNATI, OH 45229

BOYS GIRLS CLUBS OF
GREATER CINCINNATI INC
600 DALTON AVE
CINCINNATI, OH 45203

BUTLER, RENEE
6526 CANASTOTA DR
HAMILTON, OH 45011

CINCINNATI WEBB I LLC
855 VILLAGE CENTER DR, STE 262
NORTH OAKS, MN 55127

CINCIWIDE INVESTMENTS LLC
976 LENOX PL
CINCINNATI, OH 45229

CINCY PROPERTY CARE LLC
4140 HOME ST
CINCINNATI, OH 45236

DEESE, CANDIS
3589 VAN ANTWERP PLACE
CINCINNATI, OH 45229

DMC-OH LLC
1408 BERGENLINE AVE, #1
UNION CITY, NJ 07087

EASTON, DENISE
3125 TIFFANY DR
MIRA LOMA, CA 91752

GARDEN PARK REAL
ESTATE HOLDINGS LLC
3544 WASHINGTON AVE
CINCINNATI, OH 45229

GROW AVONDALE ANTWERP LLC
30 WEST 3RD ST 4TH FLOOR
CINCINNATI, OH 45202

H & E ENTERPRISE LLC
4204 CARRIAGELITE DR
CINCINNATI, OH 45241

HAMILTON COUNTY LAND
REUTILIZATION CORPORATION
3 EAST FOURTH ST, SUITE 300
CINCINNATI, OH 45202

HARRIS, DAVID
3754 AIKENSIDE AVE
CINCINNATI, OH 45213

HARRIS, EARL & JOHNNIE MAE
641 GLENWOOD AVENUE
CINCINNATI, OH 45229

HARVEY, ETHEL MAE
3550 ESTES PL
CINCINNATI, OH 45229-2608

HASSAN, KHALED MOHAMED
& MONA ANWAR METWALLY
645 GLENWOOD AVE
CINCINNATI, OH 45229

HAYWOOD, JAMES W II
& BAU KIM TRAN
6818 GRACE AVE, #1
CINCINNATI, OH 45236-3847

ISSATEC TECH & INVESTMENTS LLC
639 FOREST AVE
CINCINNATI, OH 45229

JEFFERSON-HARRIS, DARLENE
3569 BOGART AVE
CINCINNATI, OH 45229

JOHNNIES ANGELS
1200 N LYNNEBROOK DR
CINCINNATI, OH 45224

JONES, SALLIE
3580 VAN ANTWERP PL
CINCINNATI, OH 45229-2620

KASSEM REAL ESTATE
& INVESTMENTS LLC
2603 CYPRESS WAY
CINCINNATI, OH 45212

LEE, SAMANTHA
4453 BERYL AVE
CINCINNATI, OH 45242

LOVEJOY, WILLIE C JR
3985 WARRICK AVE, #3
CINCINNATI, OH 45229

LOWE, RALPH
3588 VAN ANTWERP PL
CINCINNATI, OH 45229-2620

MAXBERRY, CHARLES R II
3580 BOGART AVE
CINCINNATI, OH 45229-2606

MCCLELLAN, KIYANA
3573 BOGART AVE
CINCINNATI, OH 45220

MILLER, WILLIE MARK JR
& LEVITICUS SMITH
7200 READING RD
CINCINNATI, OH 45237

MIXON, CHRISTINE
3583 VAN ANTWERP PL
CINCINNATI, OH 45229

MOFFETT, KAREEM TONONNA
3593 VAN ANTWERP AVE
CINCINNATI, OH 45229

MOORE, ELOISE
3554 ESTES PL
CINCINNATI, OH 45229-2608

MURPH, BENJAMIN JR
537 ELBERON AVE, #10
CINCINNATI, OH 45205

MYERS-POWELL, AMANDA
3561 BOGART AVE
CINCINNATI, OH 45229

NEW AVONDALE CENTER LLC
185 DARTMOUTH ST
BOSTON, MA 02116

NISENBAUM DAVID H TR @3
6251 CREBS AVE
TARZANA, CA 91335

ONEAL, PHILLIP SLEEVEVERNON
3564 VAN ANTWERP PL
CINCINNATI, OH 45229

ONEAL, RALPH V
1029 CROSELY AVE
CINCINNATI, OH 45215

PARKER, KENNETH
688 SOUTH FRED
SHUTTLESWORTH CIRCLE
CINCINNATI, OH 45229

PEACE BAPTIST CHURCH INC
652 ROCKDALE AVE
CINCINNATI, OH 45229

PERCY WHITE & SONS INVESTMENTS
PO BOX 29344
CINCINNATI, OH 45229

PRICE, PRISCILLA
3560 ESTES PL
CINCINNATI, OH 45229

REHAB IN PROCESS LLC
1203 BATES
CINCINNATI, OH 45237

RENFRO, JULIAN HINSON
3905 LEYMAN DR
CINCINNATI, OH 45229

RICHARDSON, SHARON
641 VAN ANTWERP CT
CINCINNATI, OH 45229-2613

SCHULTZ, DYLANIE & BRYAN
3590 VAN ANTWERP PL
CINCINNATI, OH 45229

SHAMMA, MOHAMMED
7855 LOVELAND MADEIRA RD
CINCINNATI, OH 45243

SMITH, LATOSHA
646 VAN ANTWERP CT
CINCINNATI, OH 45229

STONE, THOMAS
635 FOREST AVE
CINCINNATI, OH 45229-2627

THOMAS, BYNASIA & UNA
650 VAN ANTWERP CT
CINCINNATI, OH 45229

THOMAS, WILLIAM
1286 MEREDITH DR
CINCINNATI, OH 45231

THOMAS, WILLIAM SR & MARY
3580 WASHINGTON AVE
CINCINNATI, OH 45229

THOMPSON, ANN
1854 YORK TOWN RD
CINCINNATI, OH 45237

THURMAN, CARLOS
638 ROCKDALE AVE
CINCINNATI, OH 45229

TOWER LEASING LLC
8322 ARBORCREST DR
CINCINNATI, OH 45236

TURNER, RUTH A @3
3592 WASHINGTON AVE
CINCINNATI, OH 45229-2618

WASHINGTON, VALERIE
3577 BOGART AVE
CINCINNATI, OH 45229

WESTMARK PROPERTIES LLC
10823 OMAHA TRACE
UNION, KY 41091

WHITE, SHAUNICE
3587 VAN ANTWERP PL
CINCINNATI, OH 45229

WILLIAMS, RICHMOND
6515 PACE AVE
CINCINNATI, OH 45213

WITHERSPOON, PATRICIA
3572 BOGART AVE
CINCINNATI, OH 45229

WRIGHT, DWAYNE JUNIOR @3
3585 VAN ANTWERP PKY
CINCINNATI, OH 45229

YOUNG, REGINA
4917 HAWAIIAN TE
CINCINNATI, OH 45223

YWCA OF GREATER CINCINNATI
898 WALNUT ST
CINCINNATI, OH 45202

Avondale Development Corp
3635 Reading Road, #200
Cincinnati, OH 45229

Avondale Community Council
3635 Reading Road, #100
Cincinnati, OH 45229