

SUBJECT: A report and recommendation on a proposed zone change and Major Amendment to the Concept Plan and Development Program Statement for Planned Development #69 (PD-69), VP3, in Corryville.

GENERAL INFORMATION:

Location: 2600, 2604, 2622, 2624-2632 Short Vine Street and 4 Corry Street

Petitioner: McBride Dale Clarion
Anne F. McBride, FAICP
5725 Dragon Way, Suite 220
Cincinnati, Ohio 45227

Owner: Uptown Rental Properties
(through Gas Light Ventures LLC and Short Vine Ventures LLC)
2718 Short Vine Street
Cincinnati, OH 45219

Request: The City Planning Commission will review a proposed zone change and a Major Amendment to the Concept Plan and Development Program Statement for Planned Development #69 (PD-69), VP3, in Corryville. The proposal adds an additional 0.6537 acres into PD-69 along Short Vine Street. A Final Development Plan was submitted concurrently for the subject properties.

ATTACHMENTS:

Provided in addition to this report are:

- Exhibit A – Location Map
- Exhibit B – Application and Development Program Statement
- Exhibit C – Zone Change Plat
- Exhibit D – 2600 Short Vine Street Plans
- Exhibit E – 2630 Short Vine Street Plans
- Exhibit F – Letters of Support from Corryville Community Council and Short Vine Association
- Exhibit G – Coordinated Site Review Letter (Preliminary Design – 2600 Short Vine Street)
- Exhibit H – Coordinated Site Review Letter (Preliminary Design – 2630 Short Vine Street)
- Exhibit I – Coordinated Site Review Letter (Technical Design)

BACKGROUND:

In 2013, the City Planning Commission recommended approval of a change in zoning on the block bounded by Charlton Street, Euclid Avenue, Corry Street and the Van Street parking lot to create Planned Development District #69 (PD-69), known as VP3. The zone change ordinance was approved by City Council on August 7, 2013. In September and December 2013, the City Planning Commission approved the Final Development Plans for Phase I and Phase II of the VP3 development.

The VP3 development currently consists of three components:

1. A residential development of 149 units, including townhomes fronting along Euclid Avenue and Charlton Street with 31 units and a three- to four-story multi-family building internal to the site with 118 units.
2. A parking garage incorporated into the multi-family building with a total of 436 spaces, 233 spaces for residents and 203 spaces for the public.
3. A City-owned parking lot with 59 spaces accessed by Corry and Charlton streets and a pedestrian walkway located at 2604 Short Vine Street.

The petitioner is requesting a zone change from Commercial Neighborhood-Pedestrian (CN-P) to Planned Development #69 (PD-69) for properties located west of the current VP3 site at 2600, 2622, and 2624-2632 Short Vine Street and a Major Amendment to the Concept Plan for PD-69 to incorporate two proposed buildings on those subject properties. 2600 Short Vine Street is located at the intersection of Short Vine Street and Corry Street, just north of the Kroger. 2622 and 2624-2632 Short Vine Street are located near the corner of Short Vine Street and Charlton Street. These properties are located within the Corryville Neighborhood Business District and Urban Design Overlay District #6.

DESCRIPTION OF PROJECT AND PROPOSED CHANGES TO CONCEPT PLAN:

The approved Concept Plan and Development Program Statement for PD-69 consists of a 149-unit multi-family development, a parking garage, and a surface parking lot as outlined in the “Background” section of this report. The current PD-69 site is 2.75 acres in size.

The proposed Major Amendment to the Concept Plan would expand the Planned Development by 0.6537 acres to include a 0.3678-acre site at 2600 Short Vine Street and a 0.2859-acre site at 2630 Short Vine Street. The residential units, parking garage, and public parking lot would not be altered by the Major Amendment. The proposed Major Amendment includes the following development plans:

2600 Short Vine Street

2600 Short Vine Street is currently zoned CN-P and is proposed to be rezoned as PD-69 and consolidated with 2604 Short Vine Street and 4 Corry Street. 2604 Short Vine Street and 4 Corry Street are currently zoned PD-69 and are owned by the City of Cincinnati. The owner is proposing to purchase these properties from the City. 4 Corry Street is currently vacant and 2604 Short Vine Street is being used as a pedestrian walkway from Short Vine Street to the City-owned parking lot.

Once consolidated, the 0.3678-acre site, known as “2600 Short Vine Street” in the plan, is the proposed site for a mixed-use building with eight residential units, five five-bedroom units and three two-bedroom units, and 2,241 square feet of restaurant or retail space on the ground floor. The building is proposed to be three stories along Short Vine Street with a partial lower level on the east elevation. The southern portion of the building is adjacent to the sidewalk along Short Vine Street and Corry Street. The northern portion of the building will be set back from the sidewalk to accommodate an existing transformer on the property. Landscaped garden space will be incorporated in this area.

2630 Short Vine Street

2622 and 2624-2632 Short Vine Street are proposed to be rezoned from CN-P to PD-69 and consolidated into a 0.2859-acre site. There are currently two existing structures, one at 2622 Short Vine Street and one at 2624-2632 Short Vine Street. The owner has attempted to sell these properties without success. The existing buildings are in poor condition, so the Major Amendment is proposing the demolition of these existing buildings and the new construction of a 19-unit multi-family building with one one-bedroom unit,

nine two-bedroom units, four three-bedroom units, one four-bedroom unit, and four two-level, five-bedroom units. The proposed building would be four-stories along Short Vine Street and five-stories on the east elevation.

Parking for these properties is proposed to be in the surface parking lot behind the buildings or in the VP3 parking garage. The owner aims to begin construction during Fall 2020 with occupancy of the residential and commercial space in August 2021 in time for the 2021-2022 academic year.

CODE REQUIREMENTS:

§ 1429-12 MAJOR AMENDMENT:

The Cincinnati Zoning Code (§ 1429-12) allows for amendments to the Concept Plan. Major Amendments must be approved by the City Planning Commission and City Council. A Major Amendment to the Concept Plan has been requested as the applicant wishes to increase the size of the PD by 0.6537 acres of land and introduce two additional buildings into the Planned Development. The Major Amendment includes:

- A change in zoning of two areas west of the existing PD-69 site at 2600 Short Vine Street and 2622 and 2624-2632 Short Vine Street within the Commercial Neighborhood-Pedestrian (CN-P) zoning district. The properties are proposed to be rezoned Planned Development #69 (PD-69).
- The proposed plan for the additional area to be added to PD-69 as a Major Amendment to the Concept Plan and Development Program Statement for PD-69. This plan includes a three-story, mixed-use building at 2600 Short Vine Street with 2,241 square feet of ground-floor commercial space and eight residential units, and a four-story, multi-family building with 19 units at 2632 Short Vine Street.

§ 1429-13 FINAL DEVELOPMENT PLAN:

Pursuant to §1429-13 *Final Development Plan*, a Final Development Plan and Program Statement must be submitted to City Planning Commission after approval of the Concept Plan and Planned Development (PD) designation by City Council. Pursuant to §1429-16 *Concurrent Approval of Concept Plan, Development Program Statement and Final Development Plan*, the City Planning Commission may review and approve the Concept Plan, Development Program Statement, and Final Development Plan concurrently. The petitioner submitted a Final Development Plan for the two proposed new buildings. A report and recommendation on the proposed Final Development Plan is included as Item 20 in the July 17, 2020, City Planning Commission packet.

PUBLIC COMMENT AND NOTIFICATION:

The Department of City Planning held a virtual public staff conference on this proposed zone change and Major Amendment on June 23, 2020. Notices were sent to property owners within a 400-foot radius of the subject properties and the Corryville Community Council. The petitioner and members of the project team were present at the meeting. No community members attended the meeting.

All property owners within a 400-foot radius of the subject properties and the Corryville Community Council were notified of the City Planning Commission meeting scheduled for July 17, 2020. Both the Corryville Community Council and Short Vine Association submitted letters of support (Exhibit H). Both organizations cited that the proposed project would revitalize currently vacant and blighted properties.

COORDINATED SITE REVIEW:

The petitioner originally submitted their proposed project for Coordinated Site Review as two separate Preliminary Design Reviews in March 2020. The proposed mixed-use building at 2600 Short Vine Street was reviewed as CPRE200022 (Exhibit G) and the proposed multi-family building at 2630 Short Vine Street was reviewed as CPRE200030 (Exhibit H). During the review of these projects, the Department of City Planning identified the need for a zone change from CN-P to PD-69 and Major Amendment to the Concept Plan for PD-69. The complete project, encompassing all the subject properties, 2600, 2604, 2622, 2624-2632 Short Vine Street and 4 Corry Street, was reviewed by the Coordinated Site Review team in June 2020 as a Technical Design Review (Exhibit I). City departments provided feedback and requirements moving forth with the project but did not report major concerns about the proposed project.

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012)

The proposed Major Amendment to the Concept Plan is consistent with both the Compete Initiative Area and Live Initiative Area of *Plan Cincinnati*. Within the Compete Initiative Area, the proposed ground-floor commercial space at 2600 Short Vine Street is consistent with the Strategy to “Target investment to geographic areas where there is already economic activity” (p. 115). The proposed commercial space is located within the Corryville Neighborhood Business District. Within the Live Initiative Area, the proposed Major Amendment is consistent with the Goal to “Provide a full spectrum of housing options and improve housing quality and affordability” (p. 164). The proposed Major Amendment would add a total of 27 units of housing to the neighborhood. It is also consistent with the Strategy to “Support and stabilize our neighborhoods” (p. 160). The proposed Major Amendment would permit the construction of a mixed-use building on a currently vacant lot and a multi-family building on the current site of two dilapidated buildings in the heart of the Corryville Neighborhood Business District.

University Impact Area Solutions Study (2016)

The proposed Major Amendment to the Concept Plan is consistent with the Housing and Neighborhood Conditions Initiative within the *University Impact Area Solutions Study*, the most recent plan encompassing this area. It is consistent with Goal 1 in the Housing and Neighborhood Conditions Initiative to “Develop and maintain quality housing” (p. 54). The proposed Major Amendment would permit the construction of two buildings with a total of 27 units of housing.

University Village Urban Renewal Plan (2005)

The *University Village Urban Renewal Plan* is the urban design plan for the area. The proposed Major Amendment is consistent with the Vision Plan statement to “Continue to promote private reinvestment into the neighborhood housing stock as a means to increase the economic diversity with the primary trade area population” (p. 61) and the Future Housing Goal that “Future housing should provide higher density to complement the commercial district and provide a transition in scale to the single-family and attached housing” (p. 78).

ANALYSIS:

The proposed zone change would rezone 0.6537 acres of land from CN-P to PD-69, expanding the existing Planned Development. The proposed Major Amendment would introduce two additional buildings to the VP3 development with a total of 27 units of housing and 2,241 square feet of commercial space. The proposed development represents a \$7,000,000 investment in the area.

The subject properties are within the Corryville Neighborhood Business District. The proposed new construction would reactivate a currently vacant lot and blighted lot creating continuity and increased walkability along Short Vine Street from the Kroger development into the heart of the business district. The proposed mixed-use building and multi-family building would increase housing opportunities and introduce a business opportunity in an employment center area and adjacent to the University of Cincinnati.

The proposed development is within Urban Design Overlay District #6 and consistent with §1437-09 *Development Standards in UD Overlay Districts*. The proposed new construction is compatible with the surrounding area in terms of architectural style, massing, scale, and form. The window placement follows the pattern in the district and creates an articulated rhythm. The demolition of the existing structures is being proposed following the good faith endeavor of the owner to sell the properties. The proposed demolition would remove blight and allow for new construction which is in line with the urban design plan for the area.

Lastly, the petitioner demonstrated that the owner has engaged both the Corryville Community Council and the Short Vine Association on the proposal. Both organizations found that the proposed Major Amendment would help further their goals of adding population and supporting the neighborhood business district.

FINDINGS:

It is the opinion of the staff of the Department of City Planning that the Major Amendment to the Concept Plan is in compliance with §1429-12 of the Cincinnati Zoning Code, *Amendments to a Planned Development Concept Plan*, as outlined on pages 2 and 3 of this report. The proposal is consistent with the purpose of the Planned Development District Regulations. The applicant has successfully met all basic requirements of the Planned Development District. The Major Amendment will not negatively impact the existing character of the surrounding area.

RECOMMENDATION:

The staff of the Department of City Planning recommends that the City Planning Commission take the following actions:

1. **APPROVE** the proposed change in zoning at 2600, 2622, and 2624-2632 Short Vine Street from CN-P (Commercial Neighborhood-Pedestrian) to PD-69 (Planned Development #69);
2. **APPROVE** the Major Amendment to the Concept Plan and Development Program Statement for Planned Development #69, VP3, as specified on pages 2-3 of this report; and
3. **ADOPT** the Department of City Planning Findings as detailed on page 5 of this report.

Respectfully submitted:



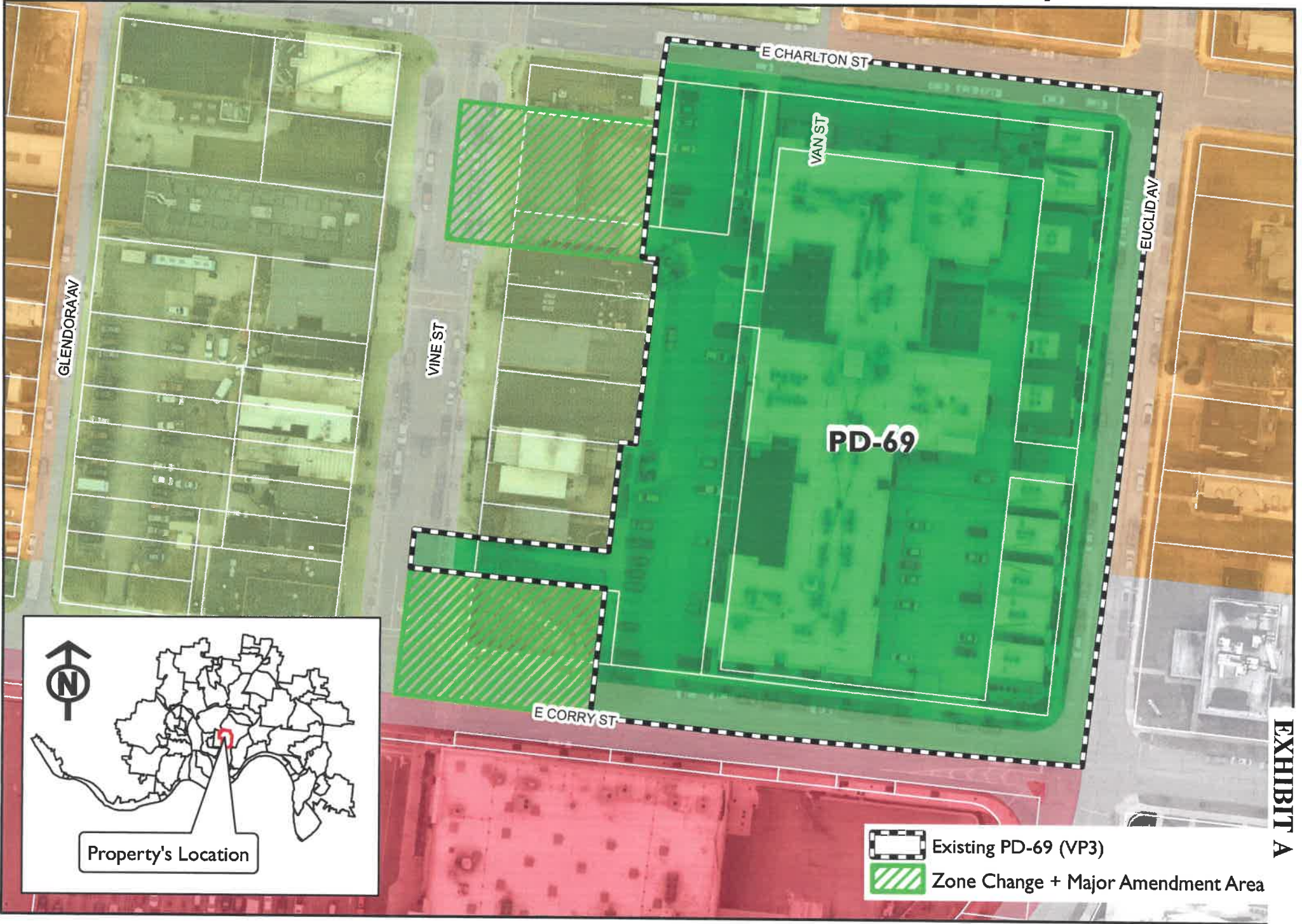
Samantha McLean, City Planner
Department of City Planning

Approved:



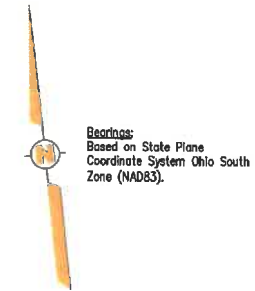
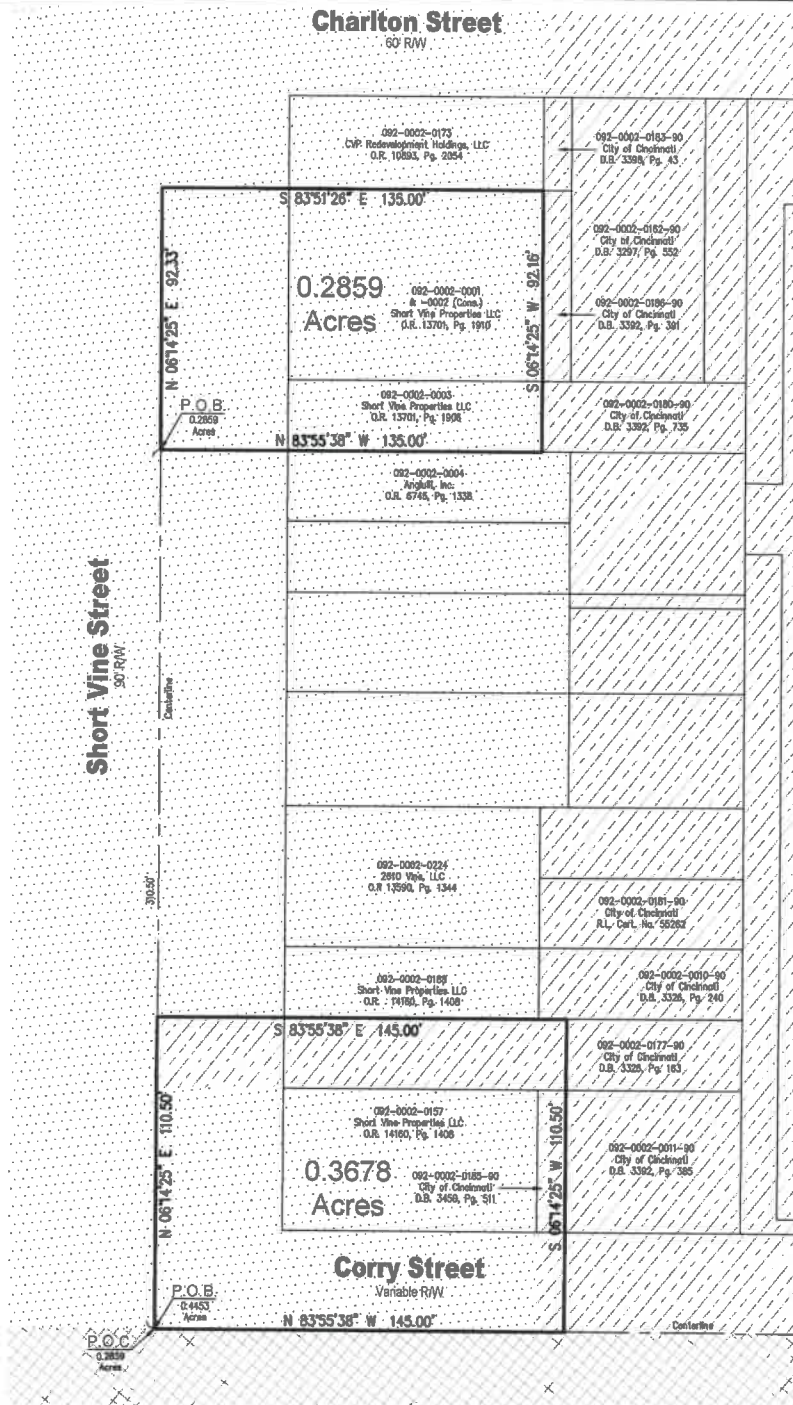
Katherine Keough-Jurs, AICP, Director
Department of City Planning

Proposed Zone Change from CN-P to PD-69 and Major Amendment to the Concept Plan for Planned Development #69 in Corryville







0.2859 Ac. - Gross
 0.0953 Ac. - R/W
 0.1906 Ac. - Net

0.3678 Ac. - Gross
 0.1956 Ac. - R/W
 0.1722 Ac. - Net



LEGEND

-  Areas to be Reclassified
0.4453 Acres
0.2859 Acres
-  CURRENTLY ZONED CH-P
-  CURRENTLY ZONED PD-69
-  CURRENTLY ZONED CC-A



Zoning Change Plat
 Survey Type

Uptown
Short Vine Street
 Job Name

Section 14, Town 3, F.R. 2
 City of Cincinnati
 Hamilton County, Ohio
 Site Location

YTC | GJB | 1" = 30'
 Drawn By | Checked By | Drawing Scale

05/27/2020 | 19178
 Issue Date | Project Number



Gerard J. Berding
 Gerard J. Berding, P.S. - 6880
 berding@berdingsurveying.com
 05/27/2020
 Date

Berding Surveyii
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EXHIBIT B



May 28, 2020

Ms. Samantha McLean
City Planner
Planning Department
City of Cincinnati
Two Centennial Plaza
805 Central Avenue, Seventh Floor
Cincinnati, OH 45202

Via Hand Delivered

RE: 2600 and 2630 Short Vine

Dear Samantha:

As we have discussed, Uptown Rental Properties has acquired the properties located at 2600, 2622, and 2630 Short Vine Street in Corryville. All of the properties are currently zoned "CN-P" Commercial Neighborhood – Pedestrian District and are within "UD #6" Urban Design District. The three parcels are directly adjacent to the west of Planned Development District #69, which was developed by Uptown as a residential community. Although the property at 2600 is vacant ground, Uptown is requesting approval to demolish the two dilapidated structures at 2622 and 2630 Short Vine and rezone all three parcels into "PD-69". This would allow for the development of 19 new residences at "2632 Short Vine" and 8 new residences and 2,241 square feet of retail/restaurant space at "2600 Short Vine". Concept and Final Development Plan review and approval is also sought for these parcels, along with a portion of 2604 Short Vine, which is already included in "PD-69".

Per the requirements of the City, I am enclosing the following information:

- 1) Petition for Change of Zoning;
- 2) Zoning Plat;
- 3) Metes and Bounds Descriptions of the 0.2859 and 0.3678 acre (Gross) areas;
- 4) "PD-69" Exhibit;
- 5) Existing Conditions and Demolition Plan;
- 6) Concept/Final Development Site Plan;
- 7) Concept/Final Development Utility Plan;
- 8) Concept/Final Development Grading Plan;
- 9) Concept/Final Development Construction Details;
- 10) Concept/Final Development Landscape Plan;

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- 11) Building Floor Plans;
- 12) Building Elevations with material notes;
- 13) Program Statement;
- 14) Letter of Support from Corryville Community Council;
- 15) Letter of Support from the Short Vine Association; and
- 16) Application fee of \$6,000.00.

The proposed development has received Preliminary Design Review comments and has been submitted for Technical Design Review. Please let me know if you have any questions or need additional information prior to scheduling the Public Staff Conference.

Sincerely,



Anne F. McBride, FAICP

AFM/ss

Enclosures

cc: Uptown Rental Properties

MDC #4366

**PETITION FOR CHANGE OF ZONING OF PROPERTY
LOCATED IN THE CITY OF CINCINNATI, OHIO**

To: The Honorable Council of the City of Cincinnati

Date: 5/28/2020

I hereby request your Honorable Body to amend the Zoning Map of the City of Cincinnati by changing the area described in the attached legal documentation and depicted on the attached plat from the "CN-P" Zone District to the "PD 69" Zone District.

Location of Property (Street Address): 2600, 2622, and 2624 - 2632 Vine Street.

Area Contained in Property (Excluding Streets): 0.6537 acres (Gross) / 0.3628 acres (Net)

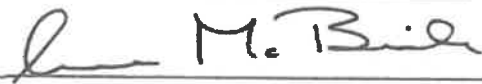
Present Use of Property: Vacant land and vacant retail/multi-family building.

Proposed Use of Property & Reason for Change: To develop a building with 8 multi-family units and 2,200 SF of commercial space, and a building with 19 multi-family units.

Property Owner's Signature: See attached

Name Typed: See attached

Address: See attached Phone: See attached

Agent Signature: 

Name Typed: Anne F. McBride, FAICP

Address: 5721 Dragon Way, Suite 300, Cincinnati, OH 45227 Phone: 513-561-6232

Please Check if the Following Items are Attached

Application Fee X

Copies of Plat X

Copies of Metes and Bounds X

Property Owners Signatures

2600 Short Vine Street
Hamilton County Auditors 092-0002-0157-00
Gaslight Ventures LLC
2718 Short Vine Street
Cincinnati, OH 45219
513-861-9394



Gaslight Ventures LLC

2622 Short Vine Street
Hamilton County Auditors 092-0002-0003-00
Short Vine Properties LLC
2718 Short Vine Street
Cincinnati, OH 45219
513-861-9394

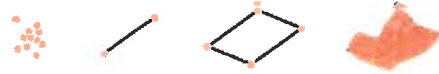


Short Vine Properties LLC

2624 - 2632 Short Vine Street
Hamilton County Auditors 092-0002-0001-00
Short Vine Properties LLC
2718 Short Vine Street
Cincinnati, OH 45219
513-861-9394



Short Vine Properties LLC



0.3678 Acres – Area to be Reclassified

Situated in City of Cincinnati, Hamilton County, Ohio, and being more particularly described as follows:

BEGINNING at the intersection of the centerline of Corry Street and the centerline of Short Vine Street.

Thence with the centerline of Short Vine Street, North 06°14'25" East, 110.50 feet;

Thence South 83°55'38" East, 145.00 feet;

Thence South 06°14'25" West, 110.50 feet;

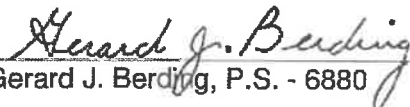
Thence North 83°55'38" West, 145.00 feet to the **POINT OF BEGINNING**.

CONTAINING 0.3678 Acres to be reclassified, of which 0.1956 acres is located within the public right-of-way of Short Vine Street and Corry Street.

Being all of Hamilton County Auditor's parcel 092-0002-0157 as conveyed to Short Vine Properties, LLC in Official Record 14160, Page 1408. Being all of Hamilton County Auditor's parcel 092-0002-0185-90 as conveyed to the City of Cincinnati in Deed Book 3450, Page 511. Being part of Hamilton County Auditor's parcel 092-0002-0177-90 as conveyed to the City of Cincinnati in Deed Book 3326, Page 163 of the Hamilton County Recorder's Office.

Bearings are based on State Plane Coordinate System Ohio South Zone NAD83.

Prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020. Based on a Zone Change Plat prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020.


Gerard J. Berding, P.S. - 6880

6-1-2020
Date



0.2859 Acres – Area to be Reclassified

Situated in City of Cincinnati, Hamilton County, Ohio, and being more particularly described as follows:

COMMENCING at the intersection of the centerline of Corry Street and the centerline of Short Vine Street; Thence with the centerline of Short Vine Street, North $06^{\circ}14'25''$ East, 310.50 feet to the **POINT OF BEGINNING**.

Thence North $06^{\circ}14'25''$ East, 92.33 feet;

Thence South $83^{\circ}51'26''$ East, 135.00 feet;

Thence South $06^{\circ}14'25''$ West, 92.16 feet;

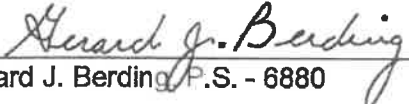
Thence North $83^{\circ}55'38''$ West, 135.00 feet to the **POINT OF BEGINNING**.

CONTAINING 0.2859 Acres to be reclassified.

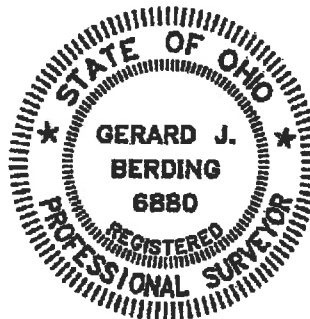
Being all of Hamilton County Auditor's parcels 092-0002-0001 & 092-0002-0003 as conveyed to Short Vine Properties, LLC in Official Record 13701, Page 1910 & Official Record 13701, Page 1906 of the Hamilton County Recorder's Office.

Bearings are based on State Plane Coordinate System Ohio South Zone NAD83.

Prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020. Based on a Zone Change Plat prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020.


Gerard J. Berding P.S. - 6880

5-27-2020
Date



2600 and 2630 Short Vine Program Statement

Uptown Rental Properties, through Gas Light Ventures LLC and Short Vine Properties LLC, own approximately 0.6537 acres (Gross) of property contained in Auditors Parcels 092-0002-0157, 0003 and 0001. The parcels are all zoned “CN-P” Commercial Neighborhood – Pedestrian Oriented District and are located within Urban Design Overlay District #6. A zone map amendment is being requested to allow these parcels to become part of “PD-69” Planned Development District, which is immediately adjacent to the east. Final Development Plan approval is also being requested for the two development areas.

The northeast corner of Corry Street and Short Vine (2600 Short Vine – Parcel 0157) is currently vacant land and would be consolidated with two City owned parcels (Parcels 092-0002-0185 and 0007) which are already a part of “PD-69”.



2600 Short Vine Street – Front View



2600 Short Vine Street – Corry Street View

This 0.3678 acres (Gross) would be developed with eight residential units (5 five bedroom units and 3 two bedroom units). Also included on the first floor would be 2,241 square feet of restaurant/retail space. The building would be three stories on the Short Vine Street elevation and have a partial lower walkout level on the east elevation. The building is located on the Corry Street sidewalk with a clipped corner entrance to the restaurant/retail space at the intersection. The building is located adjacent to the Short Vine sidewalk on the southern portion of the building, however, due to the location of a large transformer, the northern portion of the building is set back off the sidewalk but features a landscaped garden space to accommodate the transformers. The inclusion of the 0.37 acres (Gross) into “PD-69” will allow the corner to establish a presence as the south end of the Short Vine Business District and will complement the VP-3 development to the east, the recent Kroger/Walgreens to the south, and the established Short Vine business district to the west and north.

Further north on Short Vine Street is the 0.2859 acres (Gross) of property located at 2622 – 2632 Short Vine Street (Parcels 092-0002-0001 and 0003). These properties are also zoned “CN-P” Commercial Neighborhood – Pedestrian District and are located within Urban Design Overlay District #6. The properties have been offered for sale over the last several years without any significant interest and are in poor condition.



2624-2632 Short Vine Street – Front Elevation



2624-2632 Short Vine Street – Rear Elevation



2622 Short Vine Street – Front Elevation



2622 Short Vine Street – Rear Elevation

The properties are currently beyond repair, and a request is being made to allow for their demolition. The 0.2859 acres (Gross) would be redeveloped as a 19 unit residential development. The 19 units would be a mix of one bedroom (1 unit), two bedroom (9 units), three bedroom (4 units), four bedroom (1 unit), and two level five bedroom (4 units) residences. With a four-story presence on Short Vine and five stories to the west, the building will complement adjacent properties while being built to the Short Vine Street sidewalk with two recess points. Parking for the 27 residential units and the restaurant/retail space will be provided in the public parking lot, directly to the east within "PD-69" or within the VP-3 parking garage, which is also in "PD-69". The surface parking lot to the immediate east of the development is owned by the City and contains approximately 59 parking spaces and has access from both Corry and Charlton Streets. The VP-3 garage, in addition to providing 233 spaces for residents, also features 203 public parking spaces that can be accessed from Euclid or the adjacent City parking lot.

Relative to the new buildings being located in Urban Design District #6, the new buildings are compatible with their surroundings in terms of architectural style, massing, scale, and form. Both buildings respond to the pattern of window placement in the district and have an articulated rhythm of windows as they relate to the structural bay creating an appropriate articulation. As they are windows into apartment units, the ground floor windows in 2630 are not open storefront windows as the UD regulations encourage, however, the entries are recessed and covered.

The proposed inclusion of the two redevelopments into “PD-69” represents a \$7,000,000.00 investment in the Short Vine Business District. Provided approvals are obtained in a timely manner, Uptown would begin construction this fall making new residential units and key retail space available for occupancy in August 2021. The development of the mixed use building at 2600 Short Vine and the residential building at 2630 Short Vine are consistent with many of the goals of adopted plans, including:

“Plan Cincinnati”

- Build on the recommendation of the Plan Cincinnati Policy to help maintain Short Vine as a “Neighborhood of Choice”.
- Implement the Policy of Plan Cincinnati to strengthen community organizations in recognizing the Corryville Community Council and the Short Vine Association support of the proposed development.
- Continue to focus revitalization on “Centers of Activity” which includes Corryville.
- Maintaining a walkable neighborhood center with structures addressing the street in a consistent pattern with parking consolidated to the rear.
- Integrate more housing into our neighborhood business districts and increase pedestrian activity.
- “Support and stabilize neighborhoods”. “Reduce the supply of functionally obsolete 2 – 4 unit apartment buildings through conversion or demolition”.
- “Increase the stock of quality moderate and upper income housing to help increase population and expand our tax base”.
- “Improve the quality and number of moderate to high-income rental and homeowner units”.
- “Offer housing options of varied sizes and types for residents at all stages of life”.
- “Increase the supply of townhomes and multi-family living options around centers of activity and along transit corridors”.

- The proposed redevelopment locations, consistent with the sustainability and healthier environment goals, are easily accessible to walk-to colleges and employment centers and are within a short walk to a new urban Kroger providing fresh, healthy foods.

University Village Urban Renewal Plan:

- “Future housing should provide higher density to complement the commercial district and provide a transition to housing to the east”.
- “New homes should be comprised of townhomes, condos and apartments”.
- “Preserve the rear lots behind the existing buildings for surface and structured parking to support local retailers on Vine Street”.
- “Continue to promote private reinvestment into the neighborhood housing stock as a means to increase the economic diversity within the primary trade area population.

The proposed redevelopment of these two portions of Short Vine will fill voids in the existing streetscape, creating new residences, opportunities for new business development and support for existing businesses. Uptown has been working with the Corryville Community Council, and they explicitly support amending “PD-69” to include the new construction. Further, the Community Council believes they are aligned with Uptown Rental Properties in their priority of improving and populating Corryville’s largest business district. The Short Vine Association also supports the request to include these properties in “PD-69” and believes that they share with Uptown the priority of improving and populating the Short Vine Business District and supporting its merchants. Consistent with support of the Corryville Community Council and the Short Vine Association, we would ask that these two development areas be consolidated into “PD-69” and Final Development Plan be approved to allow Uptown’s redevelopment and revitalization work in the Short Vine area to continue.



NOTE: AREA SHADDED IN LIGHT GREEN IS PART OF PD-69 AS ESTABLISHED BY THE CITY OF CINCINNATI. AREAS SHADDED IN DARK GREEN ARE PROPOSED TO BE ADDED TO PD-69.

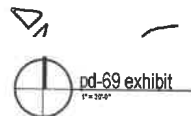


EXHIBIT D



2600, 2630-2622 SHORT VINE STREET
PD-69 EXHIBIT

m.a architects

2019.428
05/22/20
20.0

GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF CINCINNATI SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE SHORT VINE / CORRY ST. RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF CINCINNATI.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXPOSING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING. THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.18 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS, PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL, PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO DESIGN, IN ORDER TO RETAIN AND PREVENT THE SPREAD OF THE EMERALD ASH BORER. LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 9013-2-04. EXISTING REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE (HTTP://WWW.AGR.OHIO.GOV/CAO/).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT (513)871-0884, 8-1-1 OR 1-800-362-2784 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING RECORDS FOR EXISTENCE IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONNEL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER, PROPOSED STORM SEWERS "PI" SHALL BE PVC-SR-359 HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT ITEM 702.33 / OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, GLASS I.V. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 811.10, TYPE A (COLLECTORS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT). 811.08 BEDDING, TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 811.04.

USE TYPE 1 BEDDING FOR 706.02, OR 706.051 AND 706.052 CH SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706.02 PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECORDS SHAPED TO RECEIVE THE BELL OF BELL-AND-SPOOT PIPE. LEAVE THE BEDDING BELOW THE BELL AND-SPOOT PIPE UNCOMPACTED.

COMPACT THE REMAINING BEDDING ACCORDING TO 811.08.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET). DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

EXCAVATION/FILL:

SITE BUILDING PAD EXCAVATION AND EMBANKMENT SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION AND APPROVAL.



DUKE ENERGY (ELECTRIC)
BRIAN BACON
TEL: 513-419-1647

DUKE ENERGY (GAS)
CLAY ASHCRAFT
TEL: 513-978-5432

CITY OF CINCINNATI STORMWATER
MANAGEMENT UTILITY (SMU)
4747 SPRING GROVE AVENUE
CINCINNATI, OHIO 45202
TEL: 513-591-5050

CITY OF CINCINNATI
DEPARTMENT OF TRANSPORTATION
AND ENGINEERING (DOT)
801 PLUM ST., ROOM 450
CINCINNATI, OHIO 45202
513-352-2424

CITY OF CINCINNATI
FIRE PREVENTION BUREAU
430 CENTRAL AVE.
CINCINNATI, OHIO 45202
FRED PRATHER
513-352-1685

DEPARTMENT UTILITY TABLE:

CITY OF CINCINNATI
BUILDINGS AND INSPECTION AND
PERMIT CENTER (BUILDING & ZONING)
805 CENTRAL AVE.; 5TH FLOOR
CINCINNATI, OHIO
513-352-4845

GREATER CINCINNATI WATER WORKS
4747 SPRING GROVE AVE.
CINCINNATI, OHIO 45202
TEL: 513-591-7837

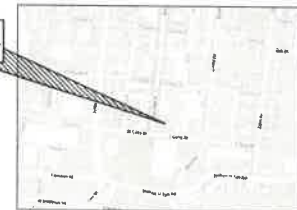
METROPOLITAN SEWER DISTRICT OF
GREATER CINCINNATI (MSD-SANITARY)
1500 GAST ST.
CINCINNATI, OHIO 45204
TEL: 513-244-1330

PLANS FOR THE CONSTRUCTION OF A NEW MULTI-FAMILY RESIDENTIAL BUILDING KNOWN AS:

2600 SHORT VINE MIXED USE

2600 SHORT VINE ST., CITY OF CINCINNATI, HAMILTON COUNTY, OHIO
MAY, 2020

PROPOSED SITE



LOCATION MAP

OWNER:

GASLIGHT VENTURES LLC
2718 SHORT VINE
CINCINNATI OH 45219

CIVIL ENGINEERING:

EVANS ENGINEERING
4240 AIRPORT RD., SUITE 211
CINCINNATI, OHIO 45226
(513)-321-2188
JONATHAN R. EVANS, P.E.

SURVEYING:

BERDING SURVEYING
741 MAIN STREET
HILFORD, OHIO 45150
(513)-551-5500
GERRY BERDING, P.S.

INDEX:

- C-1 TITLE SHEET & GENERAL NOTES
- C-1.1 SITE CONSTRUCTION DETAILS
- C-2 EXISTING CONDITIONS & DEMO PLAN
- C-2.1 SITE DIMENSION PLAN
- C-3.1 UTILITY SERVICE PLAN
- C-4 GRADING PLAN
- C-4.1 STORMWATER POLLUTION PREVENTION PLAN (SWPPP), NOTES

STANDARD DRAWINGS:

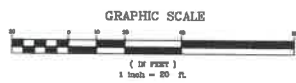
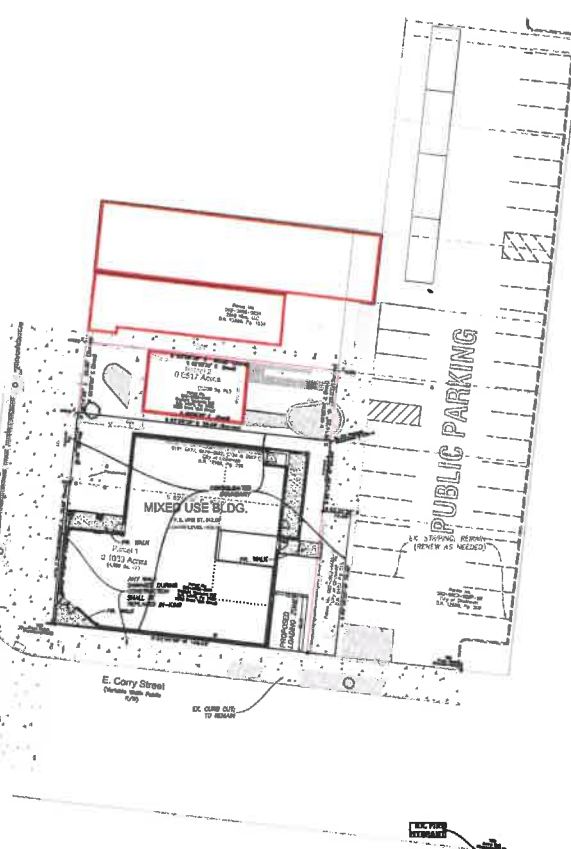
THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

- CB 1.1 (7-19-2019) CATCH BASINS Nos 2-2A & B
- CB 1.2 (1-16-2018) CATCH BASINS Nos 2-3 & 2-4
- CB 2.2 (7-20-2019) CATCH BASIN NO. 3A
- MH 1.2 (1-15-2018) MANHOLE NO. 3
- BP-7.1 (7-20-2019) NEW CURB RAMPS WITH TRUNCATED DOMES

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
4. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
5. INSTALL STORMWATER MANAGEMENT SYSTEMS.
6. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
7. SITE CONSTRUCTION.
8. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
9. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS	BY	NO. & DESCRIPTION
DATE		

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2188



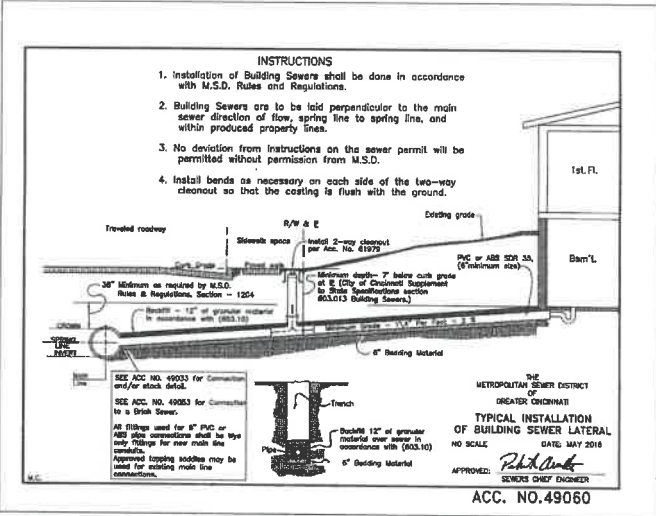
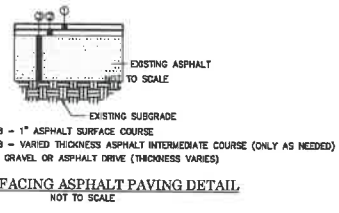
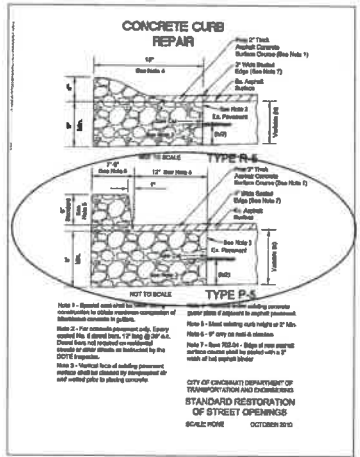
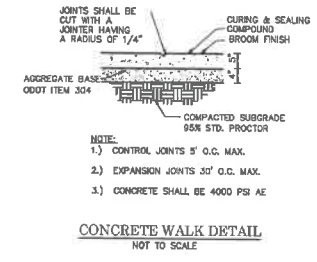
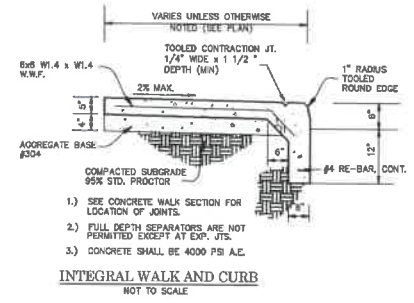
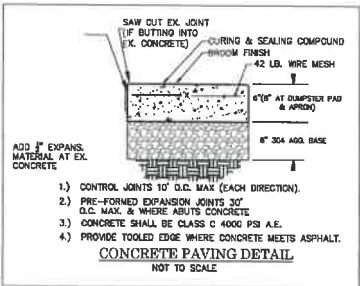
2600 SHORT VINE MIXED USE
TITLE SHEET & GENERAL NOTES
2600 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
1"=20'	N/A	N/A
REV NO.	19-103	
DATE	Jun. 1, 2020	

SHEET NO.

C-1

PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	BY	NO.	DESCRIPTION

EVANS ENGINEERING
4640 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2166

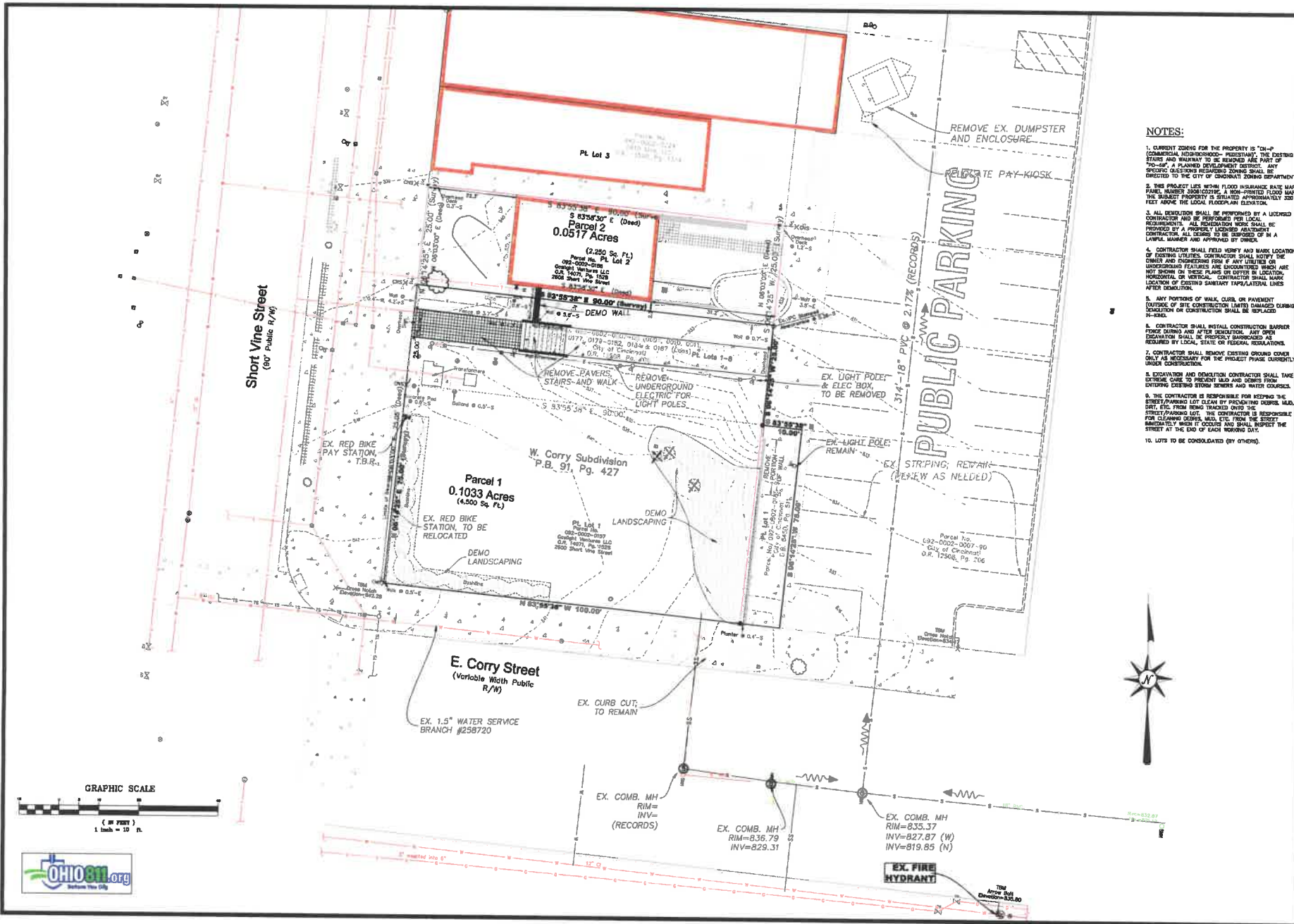


2600 SHORT VINE MIXED USE
SITE CONSTRUCTION DETAILS
2600 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

CALC.	REVISION	DATE

SHEET NO. C-1.1





- NOTES:**
1. CURRENT ZONING FOR THE PROPERTY IS "C-P (COMMERCIAL NEIGHBORHOOD - RESIDENTIAL); THE EXISTING STAIRS AND WALKWAY TO BE REMOVED ARE PART OF "P-24" A PLANNED DEVELOPMENT DISTRICT. ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE CITY OF CINCINNATI ZONING DEPARTMENT.
 2. THIS PROJECT LIES WITHIN FLOOD INSURANCE RATE MAP PANEL NUMBER UNDEVELOPED, A 100-YEAR FLOOD HAZARD. THE SUBJECT PROPERTY IS SITUATED APPROXIMATELY 300 FEET ABOVE THE LOCAL FLOOD-WAY ELEVATION.
 3. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REQUIREMENTS. ALL REMEDIATION WORK SHALL BE PROVIDED BY A PROPER LICENSED CONTRACTOR. ALL DEMO TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY CDDC.
 4. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEERING FIRM IF ANY UTILITIES OR UNDERGROUND FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR OFFER IN LOCATION, HORIZONTAL OR VERTICAL. CONTRACTOR SHALL MARK LOCATION OF EXISTING SANITARY TIE-INS/LINES AFTER DEMOLITION.
 5. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN-SITU.
 6. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER FENCE SURROUND AND AFTER DEMOLITION. ANY OTHER DEMOLITION SHALL BE PROPERLY BARICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.
 7. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
 8. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT SOIL AND DEBRIS FROM EXISTING EXISTING STONE SERIES AND WATER COURSE.
 9. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DIRT, SAND, GROUT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT, SAND, GROUT, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.
 10. LOTS TO BE CONSOLIDATED (BY OTHERS).

PRELIMINARY
NOT FOR CONSTRUCTION

DATE	BY	REV. #	DESCRIPTION

EVANS ENGINEERING
4540 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-6166



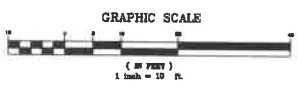
2800 SHORT VINE MIXED USE
EXISTING CONDITIONS & DEMOLITION PLAN
2600 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
	1"=10'	N/A

JOB NO. 18-103
DATE Jan. 1, 2020

SHEET NO.

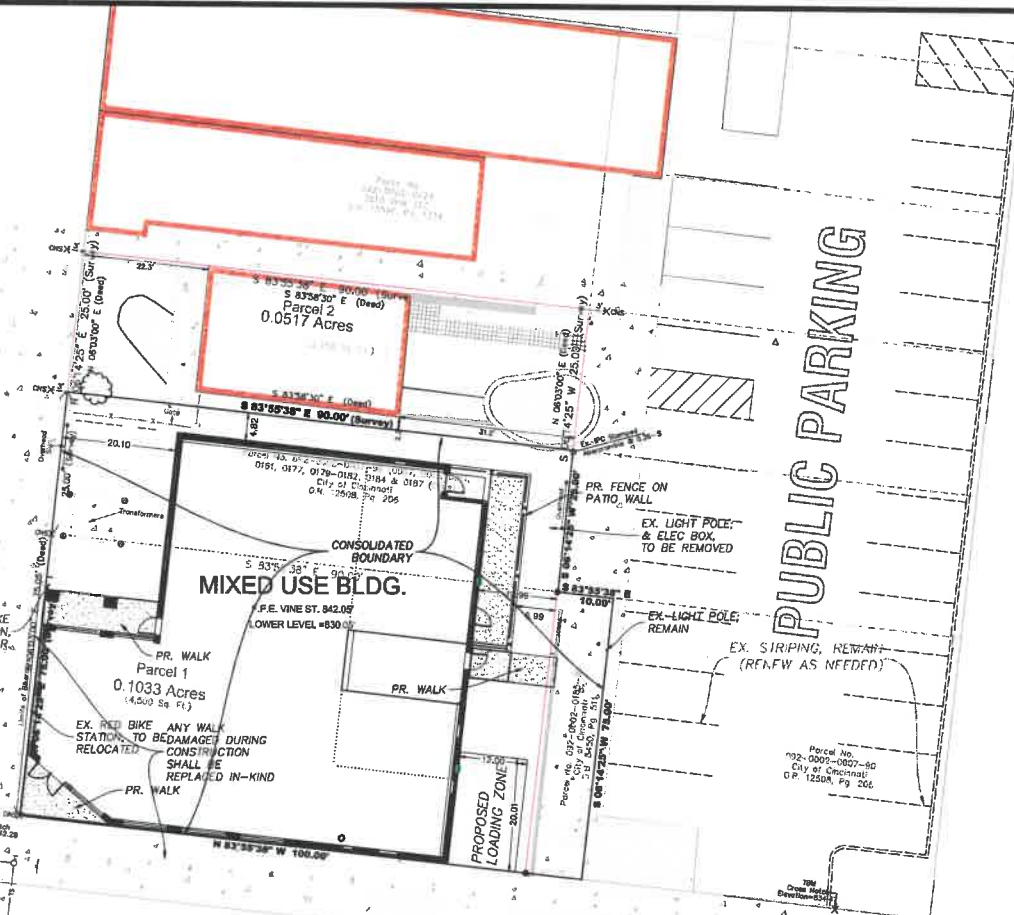
C-2





Short Vine Street
(80' Public R/W)

E. Cory Street
(Variable Width Public R/W)



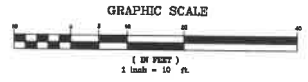
LEGEND-PROP. FEATURES

- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW PORTLAND CEMENT CONCRETE WALK

SEE LANDSCAPE PLAN BY OTHERS. ALL AREAS NOT PAVING OR BUILDING ARE TO BE COVERED WITH GRASS/NOF UNLESS OTHERWISE NOTED.

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIP, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
2. ALL CURB RADI ARE 5' UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
4. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
5. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
6. ALL CONCRETE FOR SITE WORK SHALL BE PER 0007 402, CLASS "C", 4,000 PSI, 5-78 AIR ENTRAINED.



EX. FIRE HYDRANT
The Arrow Set Drawing-838.00

PRELIMINARY
NOT FOR CONSTRUCTION

DATE	BY	REVISED

EVANS ENGINEERING
4540 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-3168



2600 SHORT VINE MIXED USE
SITE DIMENSION PLAN
2600 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ	VERT.
	1"=10'	N/A
JOB NO.	18-103	
DATE	Jun. 1, 2020	

SHEET NO.

C-3

BRANCH APPLICATION DRAWING VERIFY DISCLAIMER

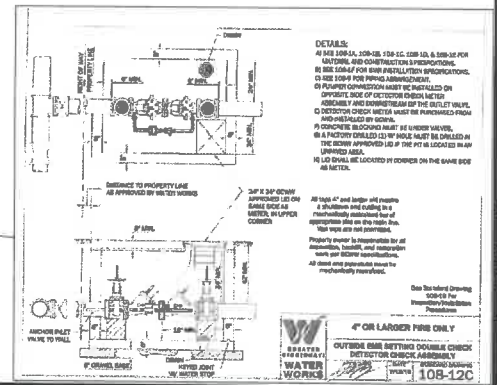
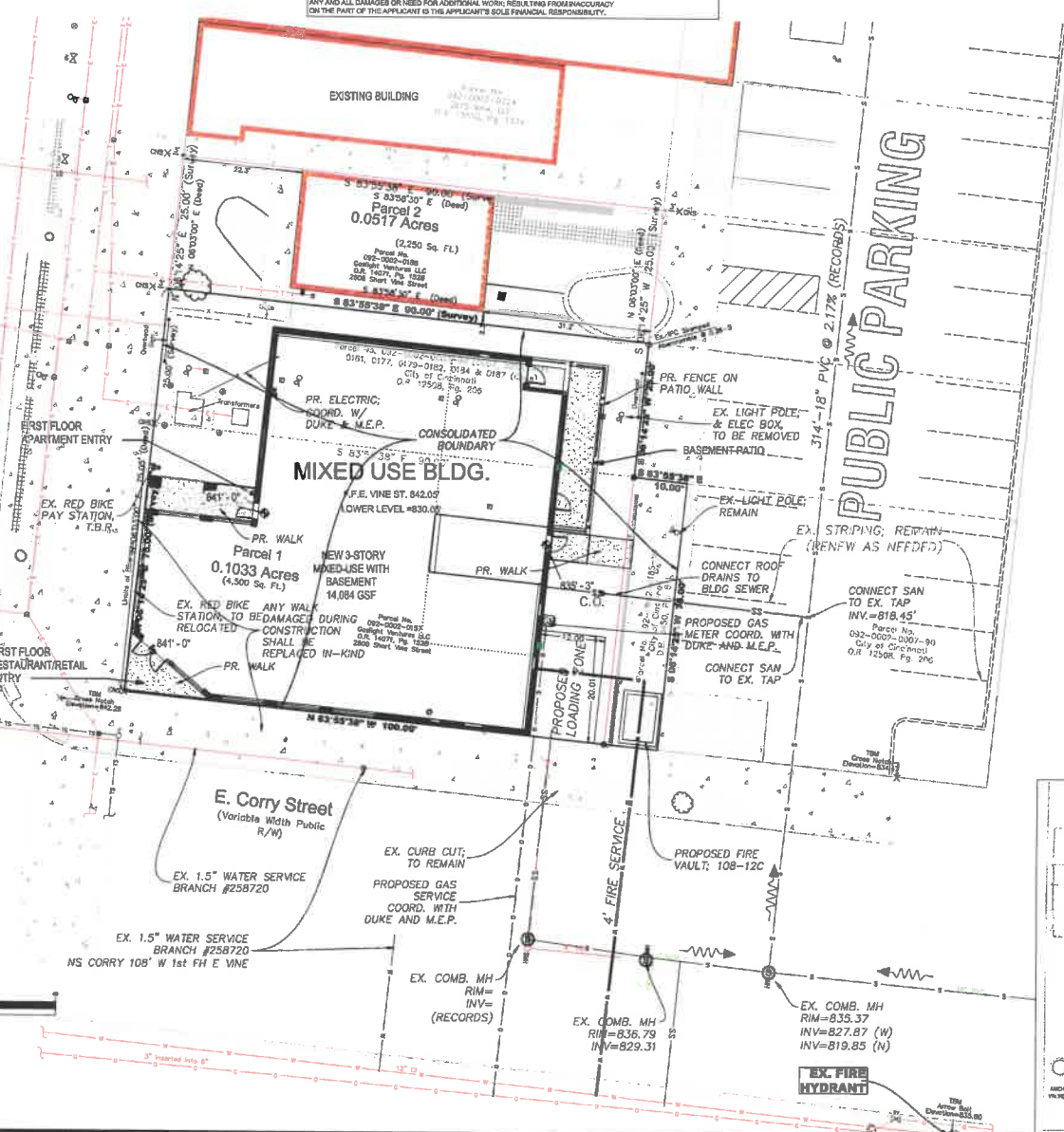
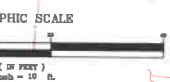
THIS DRAWING PLAT/SHEET HAS BEEN PREPARED BY THE APPLICANT FOR WATER SERVICE.
 ALL EXISTING UTILITY AND RECORD INFORMATION DEPICTED ON THIS DRAWING, INCLUDING BUILDING FOOTPRINT, TRUNK MUST SHOW ANY ENCROACHMENTS INTO THE PUBLIC RIGHT OF WAY INCLUDING, BUT NOT LIMITED TO, BASEMENT AREAS, ROOT CULMINS AND COAL CRUISERS, PAVES AND RESIDENT INFORMATION, ROADWAY AND RIGHT OF WAY LOCATION ARE THE RESULT OF RESEARCH BY THIS APPLICANT, ANY AND ALL DAMAGES OR NEED FOR ADDITIONAL WORK, RESULTING FROM INACCURACY ON THE PART OF THE APPLICANT IS THE APPLICANT'S SOLE FINANCIAL RESPONSIBILITY.

LEGEND-PROP. FEATURES

- S — EXISTING SANITARY MAIN OR COMBINED SEWER
- EXISTING WATER LINE
- EXISTING STORM
- OCC — EXISTING OVERHEAD ELECTRIC SERVICE
- EXISTING OVERHEAD TRAFFIC WIRES
- EXISTING GAS SERVICE
- T — EXISTING TELECOM SERVICE
- W — PROPOSED DOMESTIC WATER SERVICE (2" MET. 1.5" LINE)
- F — PROPOSED FIRE LINE 4", CONFORM WITH FIRE SUPPRESSION CONTRACTOR ALL WATER LINES TO HAVE A MINIMUM OF 42" OF COVER
- ES — PROPOSED 8" SANITARY LATERAL PVC 80 @ 2.00% MIN.
- E — PROPOSED UNDERGROUND ELECTRIC SERVICE
- TR — PROPOSED ELECTRIC TRANSFORMER
- T — PROPOSED UNDERGROUND TELEPHONE SERVICE
- G — PROPOSED GAS SERVICE (SIZE 180 BY USE)
- I — INSTALL 4" CONDUIT WITH PULL STRIPS AND LOCATOR WIRE
- DS — R.R. DOWNSPILT
- R — R. 1" 30R 35 ROOF DRAIN @ 1.00% (OR SLOPED AS NOTED)

NOTES:

1. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY BERING SURVEYING.
2. ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES SEE COVER SHEET FOR CONTACTS.
3. FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH EXISTING ARCHITECTURAL AND M.E.P. PLANS PRIOR TO STARTING CONSTRUCTION.
4. THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
5. IF LOWEST LEVEL ELEVATION IS BELOW MIN. ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
6. SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE MINIMUM R-1978 LID AND FRAME.
7. COORDINATE WITH OWNER AND USE FOR BUILDING WATER AND SEWER TAPS.
8. ROOF DRAIN, FOUNDATION DRAIN, COOLING WATER, SWIMMING POOL, WATER OR CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
9. ROOF DRAINS SHALL BE 30R 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
10. SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER LOCATION.
11. A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
12. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES, AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIR ANY DAMAGE DONE TO THE UTILITIES DURING PRODIGING OR CONSTRUCTION.
13. ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND/OR UTILITY OWNER, AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL TRENCHES, PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
14. SITE CONTRACTOR SHALL CLEAN ALL CONCRETE AND PIPES THAT COLLECT DIRT, MUD, CONCRETE, TRASH, ETC. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
15. SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
16. SITE CONTRACTOR TO REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS INCLUDING SITE LIGHTING, IRRIGATION, GAS, TELECOM, WIRELESS AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
17. DOWNSPILT DRAIN CONNECTION SHALL BE 2.0" MIN. BELOW FINISHED FLOOR ELEVATION. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECTURAL PLAN.
18. CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
19. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
20. WATER MAINS SHALL BE LAD IN A MINIMUM OF 4'-0" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER MAIN.
21. DOMESTIC WATER PIPE FROM MAIN TO METER SHALL BE COPPER TUBING, 1/2" PLASTIC PIPING, 300-200 PSI CAN BE USED FROM 27' CURBICE METER TO BUILDING.
22. SANITARY SERVICE SHALL BE 6" PVC 80R-35 @ 2.00% MIN.
23. CONTRACTOR SHALL MAINTAIN MINIMUM CLEARANCE OF 10" BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE SPECIFIED BY GOVERNING MUNICIPALITY UTILITIES REQUIREMENTS.



PRELIMINARY
NOT FOR CONSTRUCTION

DATE	BY	NO.	DESCRIPTION

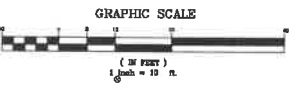
EVANS ENGINEERING
 4240 AIRPORT ROAD, SUITE 211
 CINCINNATI, OHIO 45226
 (513) 321-2168



2600 SHORT VINE MIXED USE
UTILITY SERVICE PLAN
 2600 SHORT VINE ST.,
 CINCINNATI, HAMILTON COUNTY, OHIO

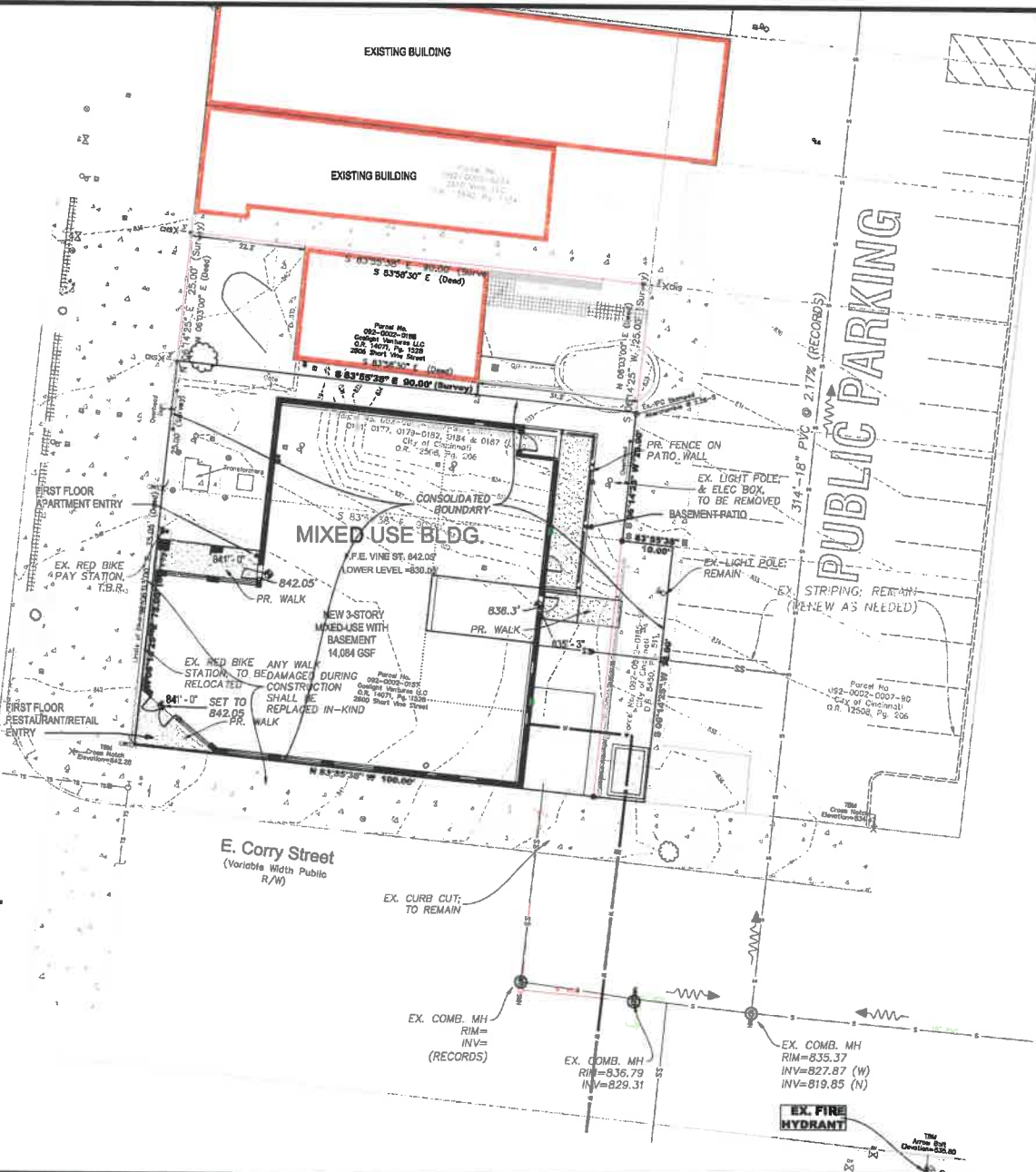
SHEET NO.	DATE	REV.
18-183	Jun. 1, 2020	N/A

SHEET NO.
 C-3.1



Short Vine Street
(90' Public R/W)

E. Cory Street
(Variable Width Public R/W)



GRADING LEGEND
TC=TOP OF CURB ELEVATION
P=FINISHED GRADE (PAVEMENT)
F=FINISHED GRADE
TW=TOP OF WALL
BW=BOTTOM OF WALL
B/C=EXISTING BACK OF CURB GRADE
B/W=EXISTING BACK OF WALL GRADE
EX=EXISTING GRADE

SPECIAL NOTES:
CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER BEFORE COMMENCING EARTHMOVING ACTIVITIES.
TOPSOIL, 4" SHOULD BE DISTRIBUTED BACK ACROSS LANDSCAPE AREAS PRIOR TO REGRADING.
CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. EXPORTED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED FILL AREA.

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NOT FOR CONSTRUCTION

DATE	BY	NO. & DESCRIPTION

EVANS ENGINEERING
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CINCINNATI, OHIO 45226
(513) 321-2168



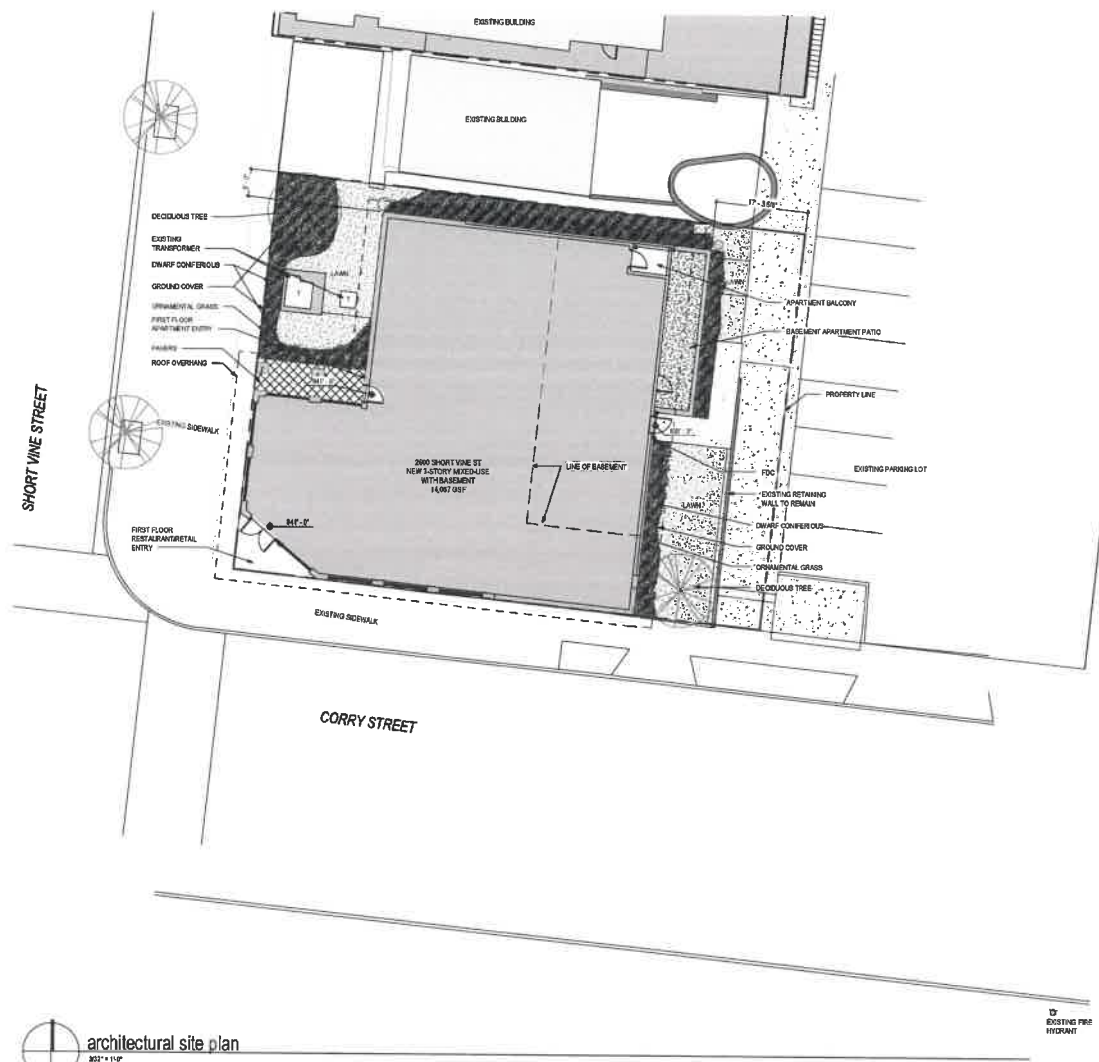
2600 SHORT VINE MIXED USE
GRADING PLAN
2600 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
	1"=10'	N/A

JOB NO. 19-103
DATE Jun. 1, 2020

SHEET NO.

C-4



architectural site plan
 3/27/19

© 2020 M+A Architects | 4040 | 8480 | 8480 | 8480 | 8480

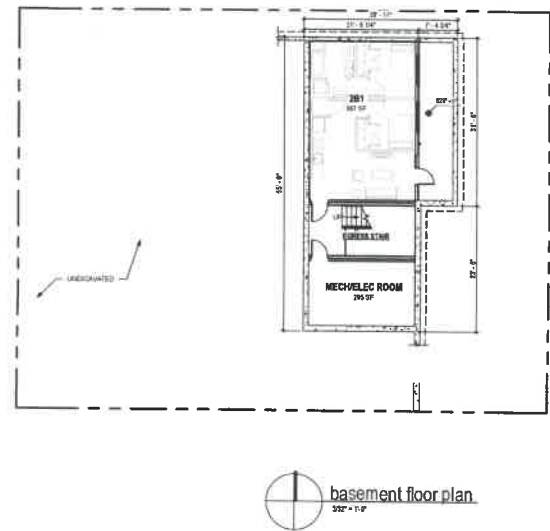
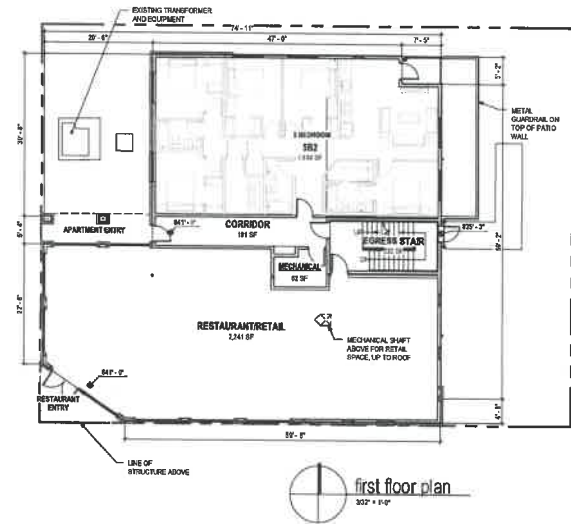


2600 SHORT VINE ARCHITECTURAL SITE PLAN

m+a architects

2019.428
 05/22/20
 Z1.0

2000 Short Vine Project Alerts	
NOI	DESCRIPTION
1	MECHANICAL SHU... (partially obscured)
2	MECHANICAL SHU... (partially obscured)
3	MECHANICAL SHU... (partially obscured)
4	MECHANICAL SHU... (partially obscured)
5	MECHANICAL SHU... (partially obscured)
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15	MECHANICAL SHU... (partially obscured)
16	MECHANICAL SHU... (partially obscured)
17	MECHANICAL SHU... (partially obscured)
18	MECHANICAL SHU... (partially obscured)
19	MECHANICAL SHU... (partially obscured)
20	MECHANICAL SHU... (partially obscured)



2600 SHORT VINE FLOOR PLANS



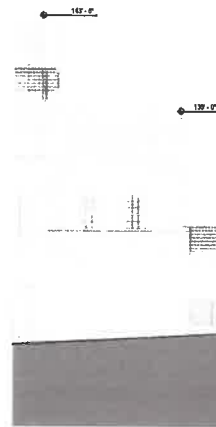
north elevation
18' x 12'



east (rear) elevation
10' x 14'



south elevation
14' x 14'



west (front) elevation
16' x 12'



2600 SHORT VINE EXTERIOR ELEVATIONS



NOTE: AREA HATCHED IN LIGHT GREEN IS PART OF PD-69 AS ESTABLISHED BY THE CITY OF CLEVELAND. AREAS HATCHED IN DARK GREEN ARE PROPOSED TO BE ADDED TO PD-69

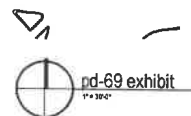


EXHIBIT E

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2600, 2630-2622 SHORT VINE STREET
PD-69 EXHIBIT

m+a architects

2019.426
05/22/20
20.0

GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF CINCINNATI SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE SHORT VINE, RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF CINCINNATI.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 2011 CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 100.18 AND 100.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 806.0A, IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER. LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 9013-3-06, EXERCISE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE (HTTP://WWW.AGR.OHIO.GOV/EA07).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING THIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT SHORTROLLS, 8-1-1 OR 1-800-382-3784 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SETWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT ENDEAVOR UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONNEL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS PER ITEM SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE) PER GOOT 707.33 / OR REINFORCED CONCRETE PIPE PER GOOT ITEM 708.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER GOOT ITEM 811.10, TYPE A (COLLECTORS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

811.06 BEDDING, TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 811.05.

USE TYPE 1 BEDDING FOR 708.04, OR 708.051 AND 708.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 708 RIGID PIPE CONDUITS AND 3 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPOUT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPA UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 811.05.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER COVERING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING GOOT ITEM 708.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET), DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

EXCAVATION/FILL:

SITE BUILDING PAD EXCAVATION AND EMBANKMENT SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION AND APPROVAL.

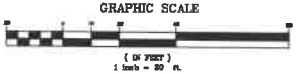
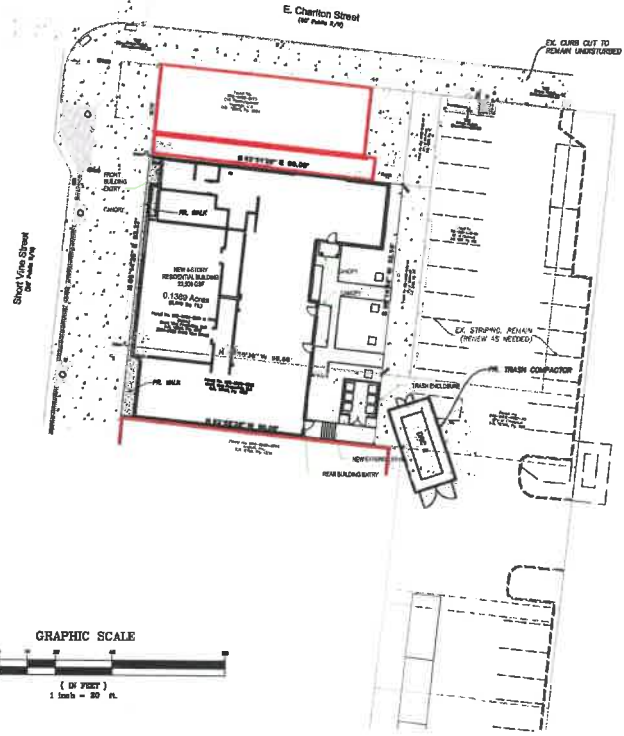


DEPARTMENT/UTILITY TABLE:

CITY OF CINCINNATI BUILDINGS AND INSPECTION AND PERMIT CENTER (BUILDING & ZONING) 805 CENTRAL AVE. 5TH FLOOR CINCINNATI, OHIO 513-352-4845	GREATER CINCINNATI WATER WORKS 4747 SPRING GROVE AVE. CINCINNATI, OHIO 45232 TEL: 513-591-7837	METROPOLITAN SEWER DISTRICT OF GREATER CINCINNATI (MSD-SANITARY) 1600 QEST ST. CINCINNATI, OHIO 45204 TEL: 513-244-1330	CITY OF CINCINNATI DEPARTMENT OF TRANSPORTATION AND ENGINEERING (DOT) 801 PLUM ST., ROOM 450 CINCINNATI, OHIO 45202 513-352-3424
DUKE ENERGY (ELECTRIC) BRIAN BACON TEL: 513-419-1647	DUKE ENERGY (GAS) CLAY ASHCRAFT TEL: 513-978-5432	CITY OF CINCINNATI STORMWATER MANAGEMENT UTILITY (SMU) 4747 SPRING GROVE AVENUE CINCINNATI, OHIO 45232 TEL: 513-591-5050	CITY OF CINCINNATI FIRE PREVENTION BUREAU 430 CENTRAL AVE. CINCINNATI, OHIO 45202 FRED PRATHER 513-352-1685

PLANS FOR THE CONSTRUCTION OF A NEW MULTI-FAMILY RESIDENTIAL BUILDING KNOWN AS:
2630 SHORT VINE RESIDENTIAL

2630 SHORT VINE ST., HAMILTON COUNTY, OHIO
MAY, 2020



OWNER:
SHORT VINE PROPERTIES LLC
2718 SHORT VINE ST
CINCINNATI OH 45219

CIVIL ENGINEERING:
EVANS ENGINEERING
4240 AIRPORT RD., SUITE 211
CINCINNATI, OHIO 45224
(613)-321-2168
JONATHAN R. EVANS, P.E.

SURVEYING:
BERING SURVEYING
741 MAIN STREET
MILFORD, OHIO 45150
(513) 831-5505
GERRY BERING, P.S.

- INDEX:**
- C-1 TITLE SHEET & GENERAL NOTES
 - C-1.1 SITE CONSTRUCTION DETAILS
 - C-1.2 EXISTING CONDITIONS & DEMO PLAN
 - C-1.3 SITE DIMENSION PLAN
 - C-3.1 UTILITY SERVICE PLAN
 - C-4 GRADING PLAN
 - C-4.1 STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

- STANDARD DRAWINGS:**
- THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:
- OB 1.1 (7-19-2019) CATCH BASIN NOS 2-2A & B
 - OB 1.2 (1-15-2016) CATCH BASIN NOS 2-3 & 2-4
 - OB 2.2 (7-10-2016) CATCH BASIN NO. 3A
 - MN 1.2 (1-15-2016) MANHOLE NO. 3
 - BP-7.1 (7-20-2014) NEW CURB RAMPS WITH TRUNCATED DOMES

CONSTRUCTION SEQUENCE:

- THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:
1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
 2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
 3. GRADING AND STOPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
 4. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SDP, PERMITS)
 5. INSTALL STORMWATER MANAGEMENT SYSTEMS.
 6. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
 7. SITE CONSTRUCTION.
 8. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
 9. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS	BY	NO. & DESCRIPTION

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45224
(513) 321-2168



2630 SHORT VINE RESIDENTIAL
TITLE SHEET & GENERAL NOTES
2630 SHORT VINE ST.
HAMILTON COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB NO.	19-194	
DATE	May 22, 2020	

SHEET NO.

C-1

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS
DATE BY NO. & DESCRIPTION

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4540 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168

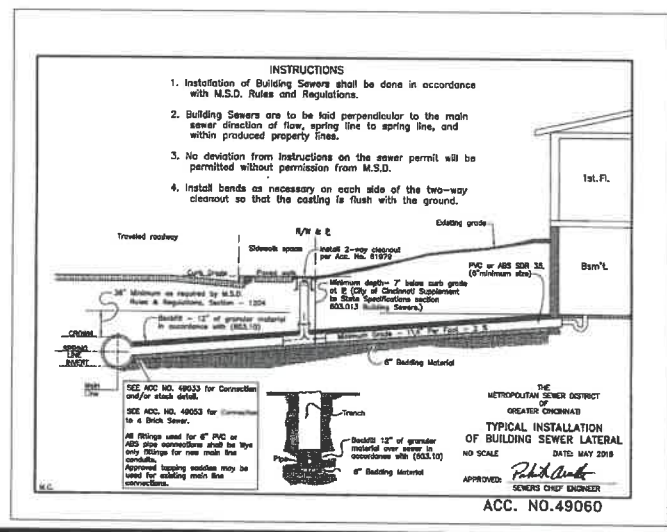
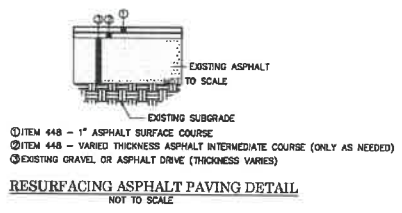
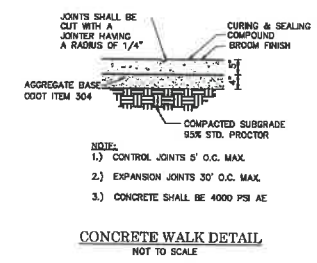
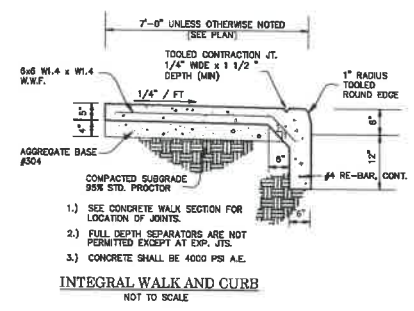
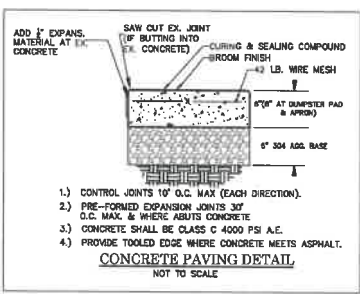


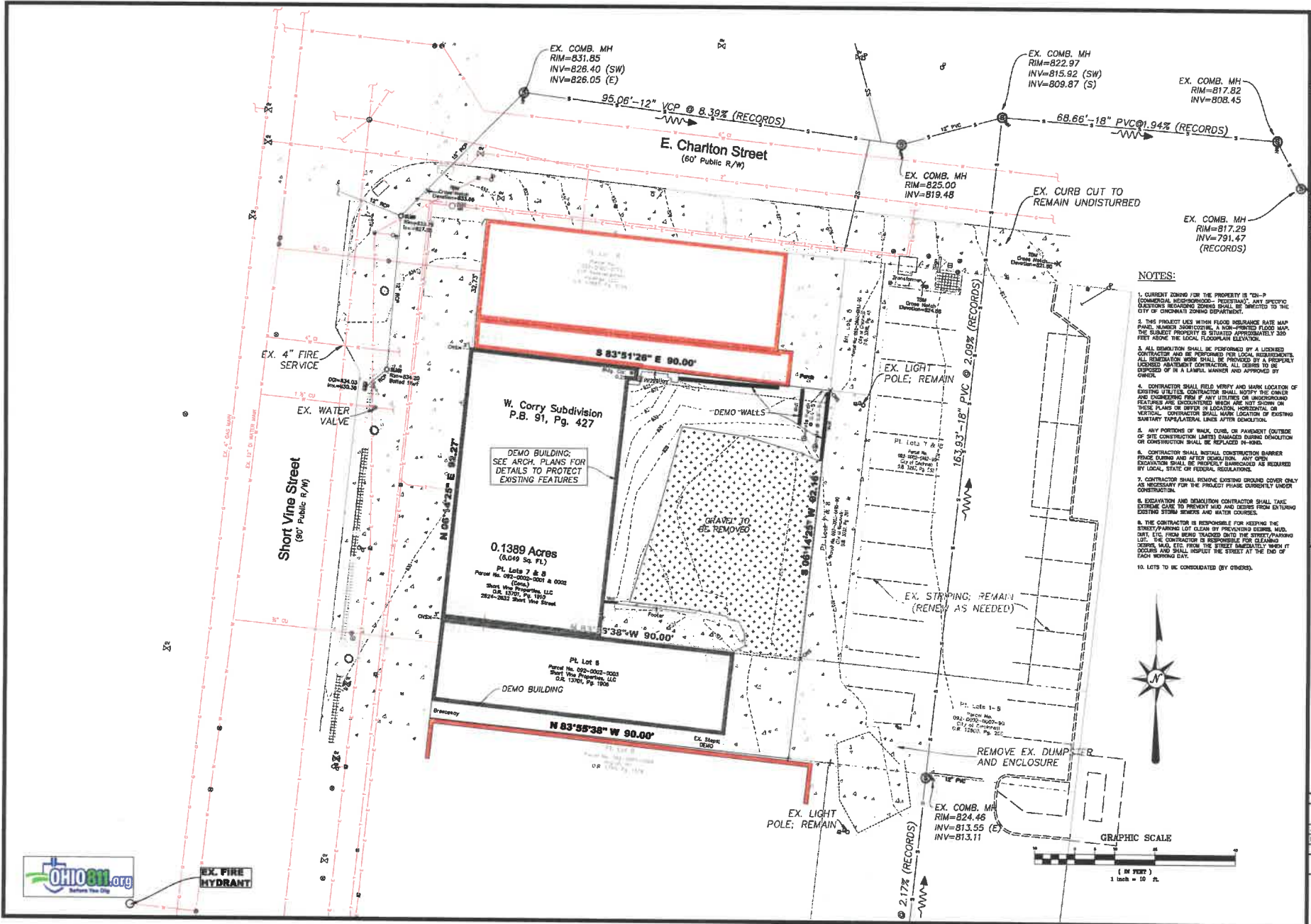
2630 SHORT VINE RESIDENTIAL
SITE CONSTRUCTION
DETAILS
2630 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
	N/A	N/A
JOB NO.	18-104	
DATE	May 22, 2020	

SHEET NO.

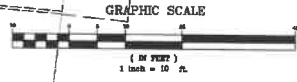
C-1.1





NOTES:

1. CURRENT ZONING FOR THE PROPERTY IS "C3-P" (COMMERCIAL INTERMEDIATE- PEDESTRIAN). ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE CITY OF CINCINNATI ZONING DEPARTMENT.
2. THIS PROJECT USES WITH FLOOD INSURANCE RATE MAP PANEL NUMBER 080000000000. A NON-PRINTED FLOOD MAP OF THE SUBJECT PROPERTY IS SITUATED APPROXIMATELY 300 FEET ABOVE THE LOCAL FLOODPLAIN ELEVATION.
3. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REGULATIONS. ALL DEMOLITION WORK SHALL BE PROVIDED BY A PROPERLY LICENSED ABANDONMENT CONTRACTOR. ALL DEBRIS TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY OWNER.
4. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND CONSIDERING POIN OF ANY UTILITIES OR INFRASTRUCTURE FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR OFFER IN LOCATION, HORIZONTAL OR VERTICAL. CONTRACTOR SHALL MARK LOCATION OF EXISTING SANITARY INFRASTRUCTURE LINES AFTER EXCAVATION.
5. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN-SITU.
6. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER PRIOR DURING AND AFTER DEMOLITION. ANY OPEN EXCAVATION SHALL BE PROPERLY BARRICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.
7. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
8. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COUCHES.
9. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, OILS, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL RESPECT THE STREET AT THE END OF EACH WORKING DAY.
10. LOTS TO BE CONSIDERATED (BY OTHERS).



PRELIMINARY
NOT FOR CONSTRUCTION

DATE	BY	NO. & DESCRIPTION

EVANS ENGINEERING
4040 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2166



2630 SHORT VINE RESIDENTIAL
EXISTING CONDITIONS & DEMOLITION PLAN
2630 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO



SCALE	HORIZ.	VERT.
1" = 10'	N/A	N/A

SHEET NO. C-2



EX. FIRE HYDRANT

LEGEND-PROP. FEATURES

-  NEW PORTLAND CEMENT CONCRETE PAVEMENT
-  NEW PORTLAND CEMENT CONCRETE WALK

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING OR BUILDING ARE TO BE COVERED WITH GRASS/Turf UNLESS OTHERWISE NOTED.

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIP, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
2. ALL CURB RADIUS ARE 5' UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
4. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
5. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPERVISORS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
6. ALL CONCRETE FOR SITE WORK SHALL BE PER DOT 662, CLASS "C", 4,000 PSI, 0-7% AIR EXTRACTED.

EX. CURB CUT TO REMAIN UNDISTURBED

EX. STRIPING; REMAIN (RENEW AS NEEDED)

PR. TRASH COMPACTOR

TRASH ENCLOSURE

NEW EXTERIOR STAIR

REAR BUILDING ENTRY

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

Short Vine Street
(60' Public R/W)

E. Charlton Street
(60' Public R/W)

S 83°51'26" E 90.00'

N 08°14'28" E 92.27'

PR. WALK

FRONT BUILDING ENTRY

CANOPY

PR. WALK

NEW 4-STORY RESIDENTIAL BUILDING
23,500 GSF
0.1389 Acres
(8,049 Sq. Ft.)

Parcel No. 092-002-0001 & 0002
(Cont.)
Short Vine Properties, LLC
D.S. 12/01, Pg. 1912
2525-2532 Short Vine Street

1.15

N 55°38" W 90.00'

PR. WALK

Parcel No. 092-002-0003
Short Vine Properties, LLC
C.A. 12/01, Pg. 1908

N 83°59'38" W 90.00'

S 06°14'15" W 92.16'

CANOPY

CANOPY



EX. FIRE HYDRANT

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS	DATE	BY	NO. & DESCRIPTION

EVANS ENGINEERING
4540 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



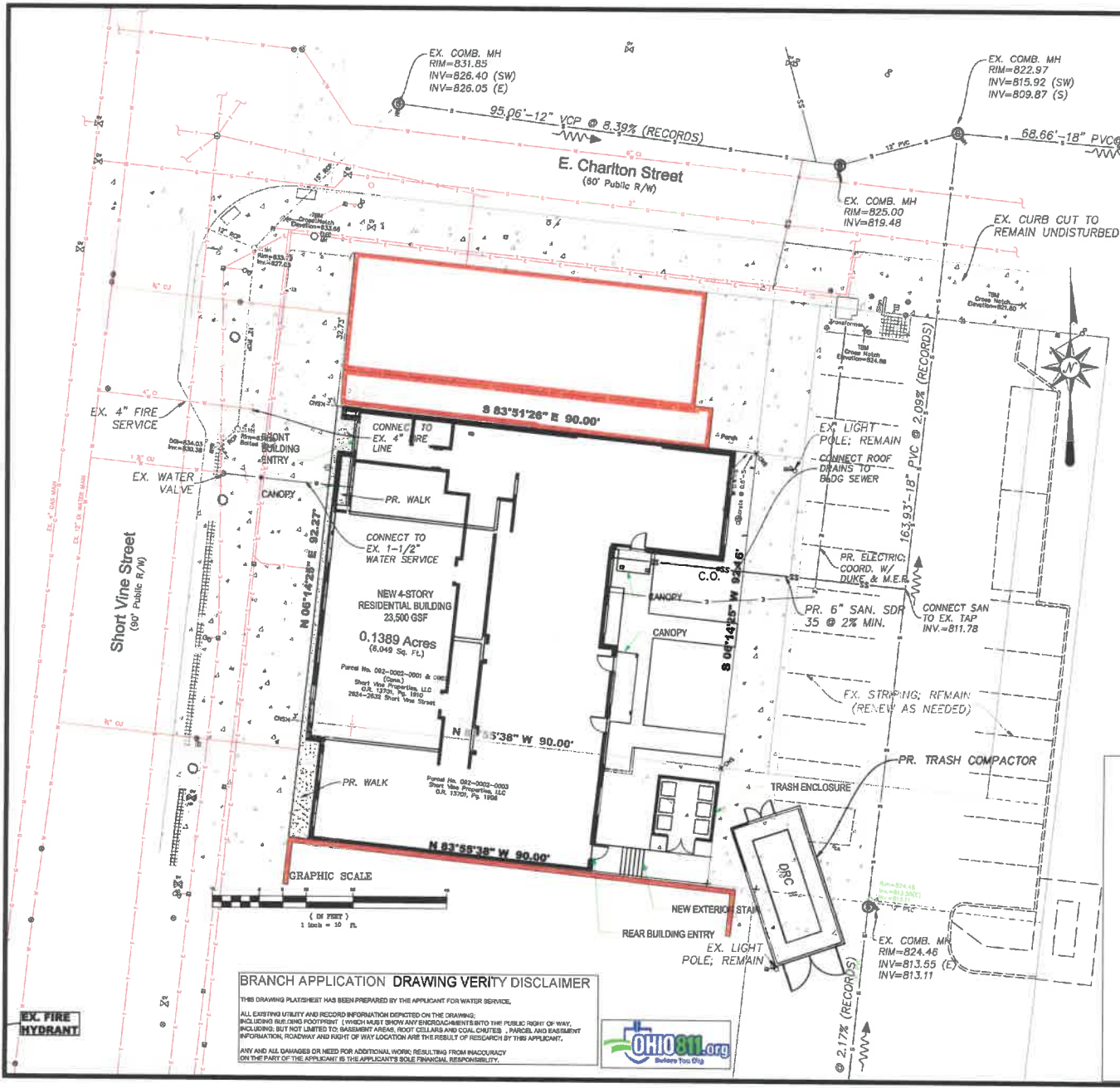
2630 SHORT VINE RESIDENTIAL
SITE DIMENSION PLAN
2630 SHORT VINE ST.,
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=4'	N/A

JOB NO.	19-194
DATE	May 22, 2020

SHEET NO.

C-3

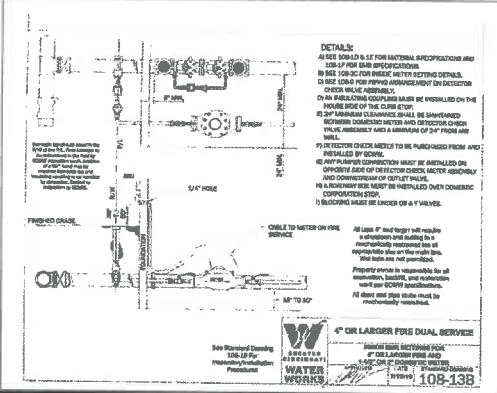


LEGEND-PROP. FEATURES

- EXISTING SANITARY MAIN OR COVERED SEWER
- EXISTING WATERLINE
- EXISTING STORM
- EXISTING OVERHEAD ELECTRIC SERVICE
- EXISTING OVERHEAD TRANS. WIRES
- EXISTING GAS SERVICE
- EXISTING TELECOM SERVICE
- PROPOSED DOMESTIC WATER SERVICE (1.5" METERS, 1.5" LINES)
- PROPOSED FIRE LINE 4", COMP/SM WITH FIRE SUPPRESSION CONTRACT
- ALL WATER LINES TO HAVE A MINIMUM OF 42" OF COVER
- PROPOSED 8" SANITARY LATERAL, PVC SER 35 @ 2.00% MIN.
- PROPOSED STORM SERVICE
- PROPOSED UNDERGROUND ELECTRIC SERVICE
- PROPOSED ELECTRIC TRANSDUCER
- PROPOSED UNDERGROUND TELEPHONE SERVICE

NOTES:

1. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRS OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY RECORDING SERVICES.
2. ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS).
3. FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL AND M.E.P. PLANS PRIOR TO STARTING CONSTRUCTION.
4. THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
5. IF LOWEST LEVEL ELEVATION IS BELOW FIN ELEVATION OF LIFETIME MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVE.
6. SANITARY CLEANOUTS WITHIN PAYMENT SHALL HAVE MINIMUM 8-1076 LID AND FRAME.
7. COORDINATE WITH OWNER AND USF FOR BUILDING WATER AND SEWER TAP.
8. ROOF DRAIN, FOUNDATION DRAINS, GOSBIE WATER, CHIMNEY WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
9. ROOF DRAINS SHALL BE SOR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
10. SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER PAKS.
11. A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
12. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXISTING UTILITIES, AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIR ANY DAMAGE DONE TO THE UTILITIES DURING PROGRESS OF CONSTRUCTION.
13. ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND FOR UTILITY CHECKS AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL RELOCATED, PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
14. SITE CONTRACTOR SHALL CLEAN ALL CONDUITS AND PIPES THAT COLLECT DEBRIS, MUD, CONCRETE, TRASH, ETC. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
15. SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
16. SITE CONTRACTOR TO REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS, INCLUDING SITE LIGHTING, IRRIGATION, GAS, ELECTRIC, MECHANICAL AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
17. DOWNSPOUT DRAIN CONNECTION SHALL BE 2.0" MIN. BELOW FINISHED FLOOR ELEVATION. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECTURAL PLAN.
18. CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
19. THE CONTRACTOR SHALL PROVIDE ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
20. WATER MAINS SHALL BE LAID IN A MINIMUM OF 4'-0" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER MAIN.
21. HYDROSTATIC WATER PIPE FROM MAIN TO WATER SHALL BE COPPER TUBING, TYPE K, PLASTIC PIPING, 200-250 PSI CAN BE USED FROM 3' OUTSIDE METE TO BUILDING FOOT.
22. SANITARY SERVICE SHALL BE 6" PVC SDR-35 @ 2.00% MIN.
23. CONTRACTOR SHALL ENSURE MINIMUM CLEARANCE OF 18" BETWEEN CROSSING UTILITIES UNLESS OTHERWISE REQUIRED BY CODE/REG.



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS
BY NO. & DESCRIPTION
DATE

EVANS ENGINEERING
4440 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-3160



2630 SHORT VINE RESIDENTIAL
UTILITY SERVICE PLAN

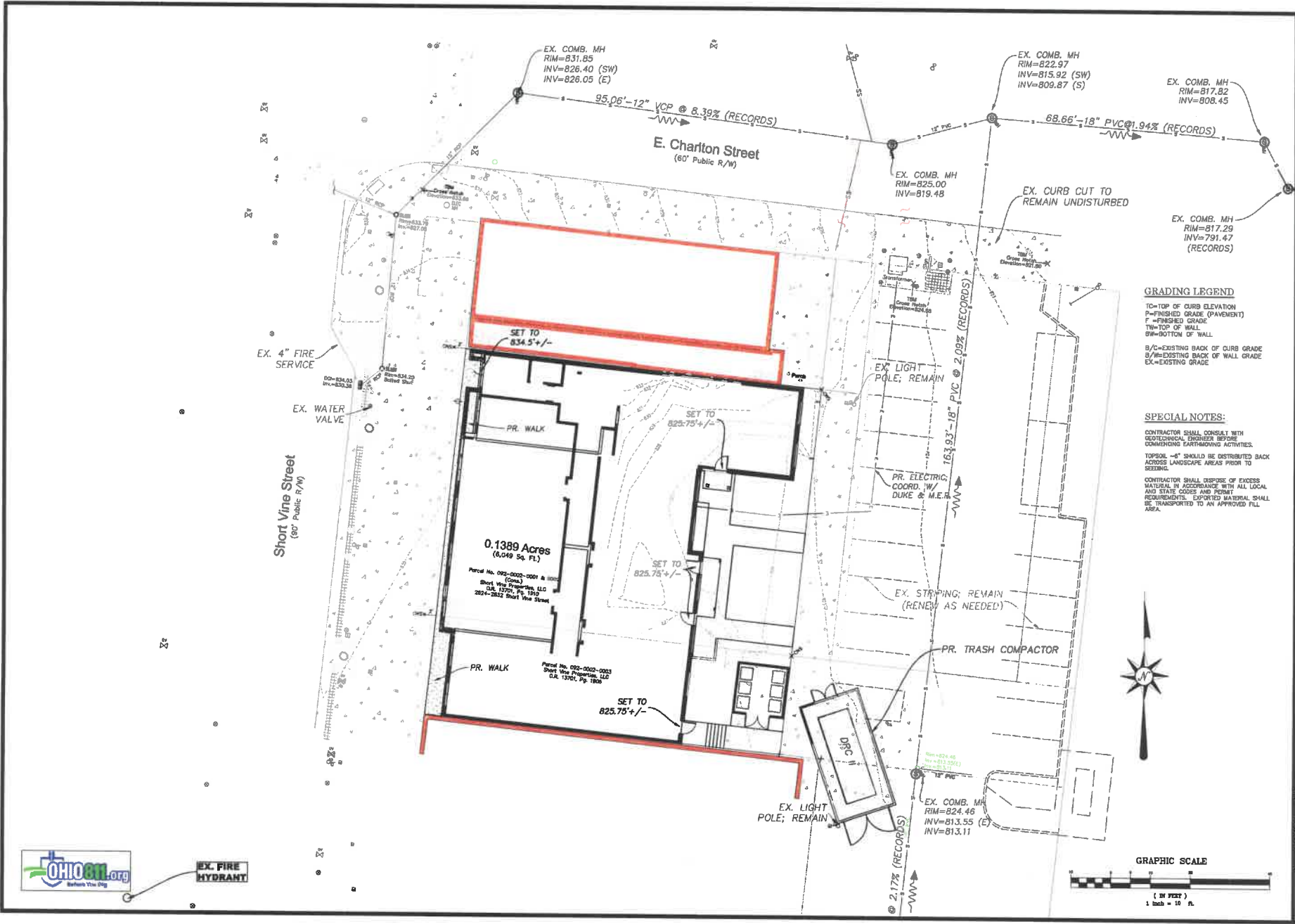
2630 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=10'	N/A

APP. NO. 19-194
DATE: May 22, 2020

SHEET NO.

C-3.1



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS	DATE	BY	INC. & DESCRIPTION

EVANS ENGINEERING
4540 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(913) 321-2166



2630 SHORT VINE RESIDENTIAL
GRADING PLAN
2630 SHORT VINE ST.,
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
	1"=10'	N/A

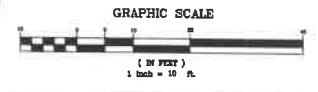
JOB NO. 19-184
DATE May 22, 2020

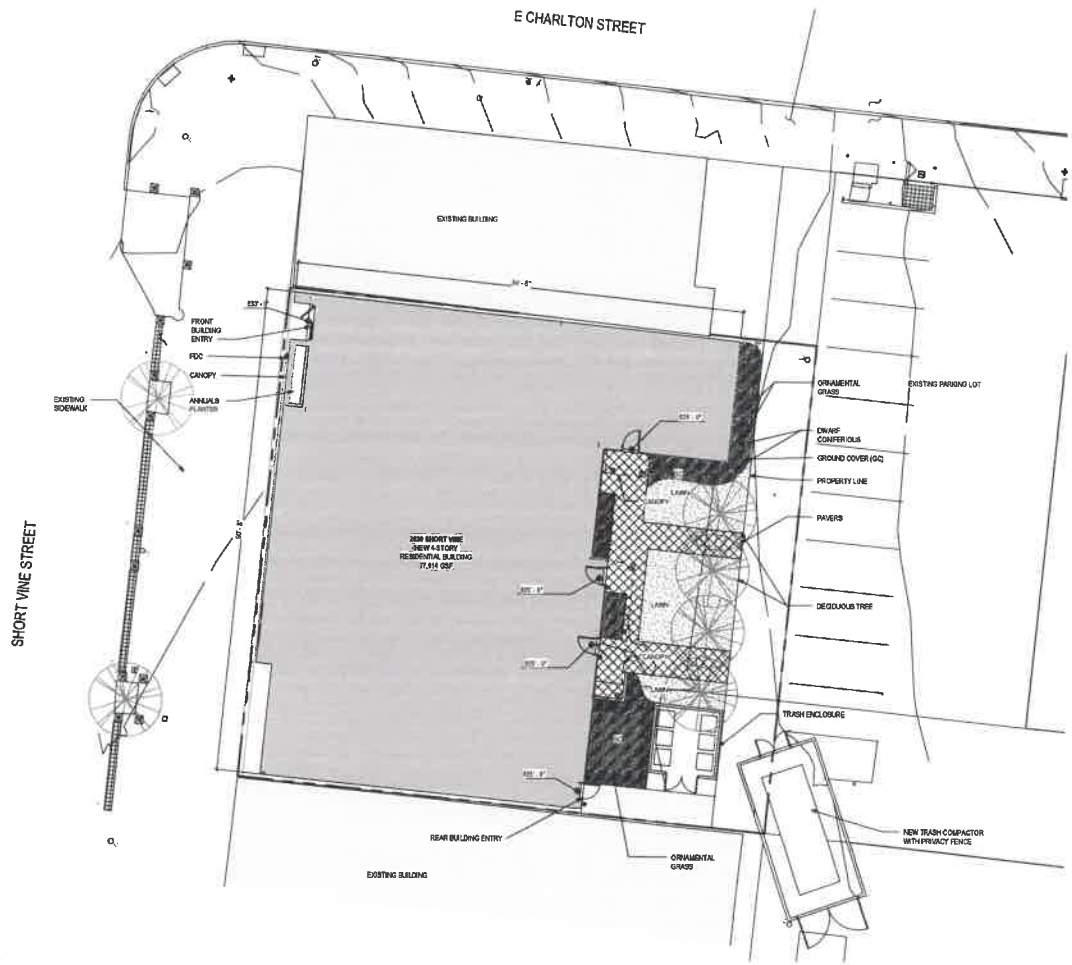
SHEET NO.

C-4



EX. FIRE HYDRANT






 architectural site plan
 3/27/19-P



2630-2622 SHORT VINE STREET
 ARCHITECTURAL SITE PLAN

ma architects

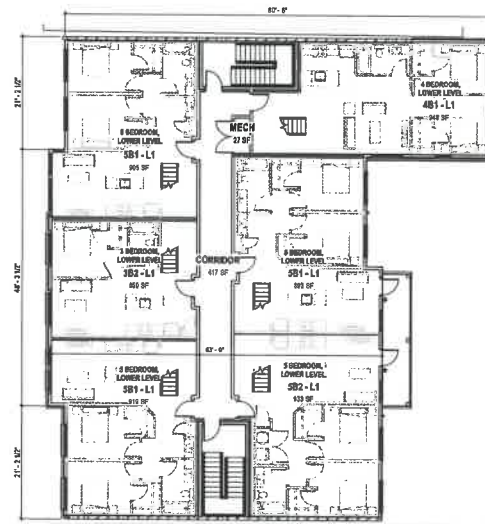
2019.428
 05/22/20
 Z1.0

2630-2622 Short Vine Project Interior

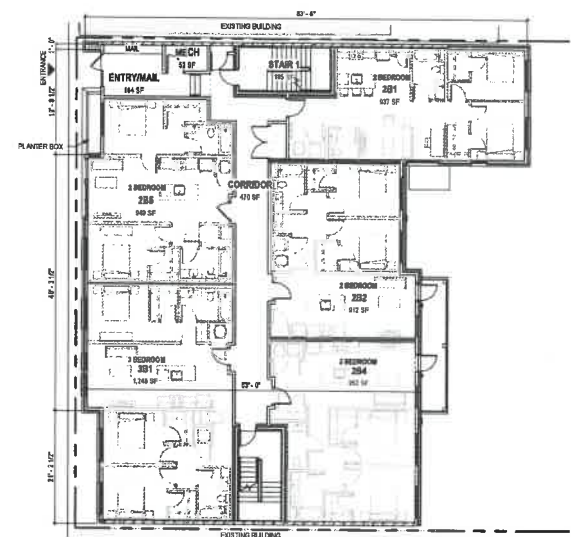
Room	Area	Notes
1	481-L1	4 BEDROOM LOWER LEVEL
2	481-L2	4 BEDROOM UPPER LEVEL
3	382-L1	3 BEDROOM LOWER LEVEL
4	382-L2	3 BEDROOM UPPER LEVEL
5	381-L1	3 BEDROOM LOWER LEVEL
6	381-L2	3 BEDROOM UPPER LEVEL
7	284	2 BEDROOM
8	283	2 BEDROOM
9	282	2 BEDROOM
10	281	2 BEDROOM
11	285	3 BEDROOM
12	MECH	Mechanical
13	ENTR	Entry
14	STAIR	Stair
15	CORR	Corridor
16	PL	Plumbing
17	ME	Mechanical
18	EL	Electrical
19	ENTR	Entry
20	STAIR	Stair
21	CORR	Corridor
22	PL	Plumbing
23	ME	Mechanical
24	EL	Electrical

ROOM TYPE

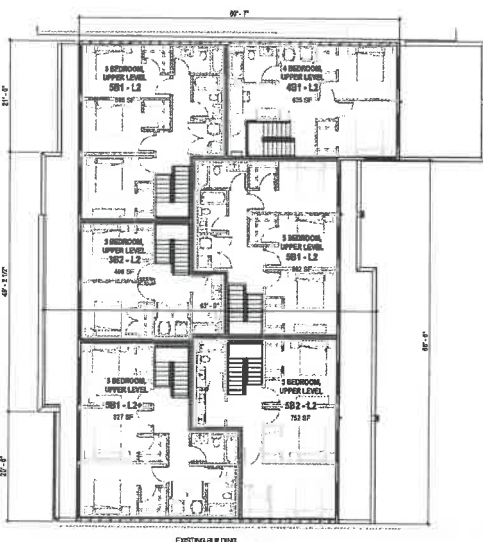
Room Type	Bedrooms	Bathrooms	Kitchens	Hallways	Stairways	Other
1	0	0	0	0	0	0
2	0	0	0	0	0	0
3	0	0	0	0	0	0
4	0	0	0	0	0	0
5	0	0	0	0	0	0
6	0	0	0	0	0	0
7	0	0	0	0	0	0
8	0	0	0	0	0	0
9	0	0	0	0	0	0
10	0	0	0	0	0	0
11	0	0	0	0	0	0
12	0	0	0	0	0	1
13	0	0	0	0	0	1
14	0	0	0	0	0	1
15	0	0	0	0	0	1
16	0	0	0	0	0	1
17	0	0	0	0	0	1
18	0	0	0	0	0	1
19	0	0	0	0	0	1
20	0	0	0	0	0	1
21	0	0	0	0	0	1
22	0	0	0	0	0	1
23	0	0	0	0	0	1
24	0	0	0	0	0	1



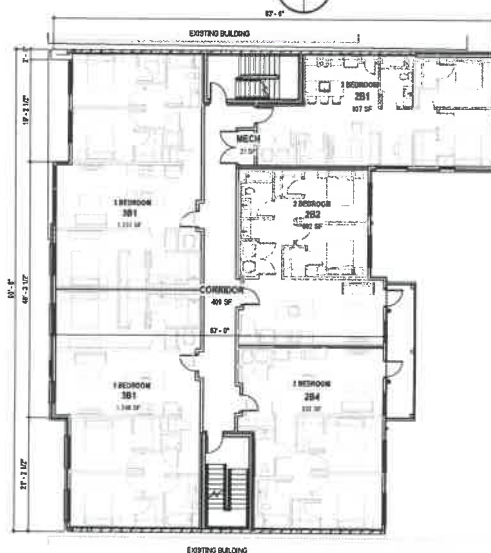
third floor plan
302' x 114'



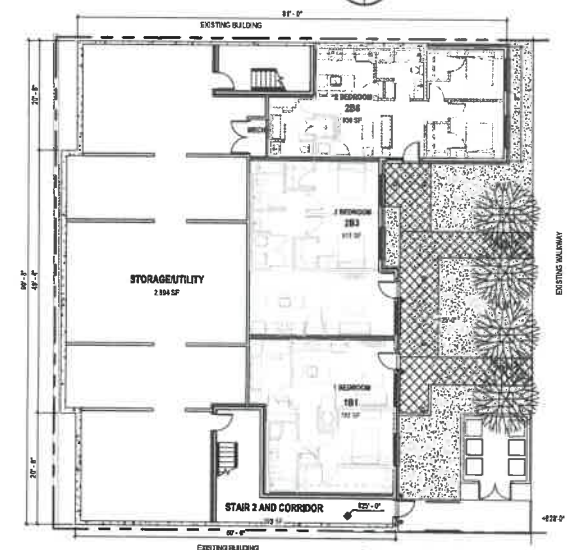
first floor plan
302' x 114'



fourth floor plan
302' x 114'



second floor plan
302' x 114'



basement level plan
302' x 114'

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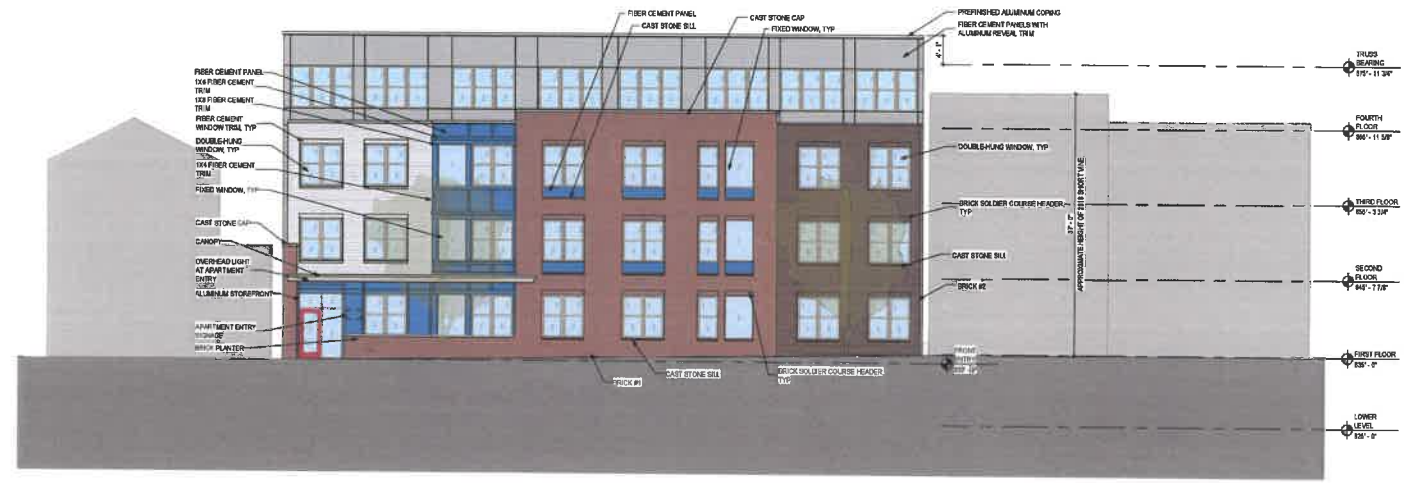
**2630-2622 SHORT VINE STREET
FLOOR PLANS**

m+a architects

2019.428
05/22/20
22.0



east elevation
80' x 14'



west elevation
80' x 14'

© 2022 m+a architects | 3000 Madison Ave. | in construction



2630-2622 SHORT VINE STREET ELEVATIONS

m+a architects

2019.428
05/22/20
Z3.0



Corryville Community Council, Inc.

May 12th, 2020

To: Mr. Byron Stallworth, Chair, Cincinnati Planning Commission

RE: Corryville Community Council Support for Short Vine Developments

Dear Mr. Stallworth,

The Corryville Community Council submits this letter of support for Uptown Rental Properties' major amendment to Planned Development (PD) District 69. The Uptown Rental Properties team has presented this pair of projects to both the Board and General Membership. Throughout their engagement, they have highlighted the historical challenges to this project, which is why we explicitly support amending the VP3 Planned Development (PD-69) to include new construction on the following parcels:

- 2600-2604 Short Vine & 4 E Corry (Corner building)
- 2622-2632 Short Vine (Mid-Block building)

We additionally support the intended uses of the new construction—a restaurant space and 27 units of student housing—to revitalize these currently vacant, blighted properties.

The Community Council and Uptown Rental Properties are aligned in their priority of improving and populating Corryville's largest business district, which is why we support the aforementioned changes and uses.

Sincerely,

Leah Hollstein
Secretary
Corryville Community Council



May 12th, 2020

To: Mr. Byron Stallworth, Chair, Cincinnati Planning Commission

RE: Short Vine Association Support for Short Vine Developments

Mr. Stallworth,

The Short Vine Association submits this letter of support for Uptown Rental Properties' major amendment to Planned Development (PD) District 69. The Uptown Rental Properties team has presented this pair of projects to both the Board and General Membership. Throughout their engagement, they have highlighted the logistical challenges to this project, which is why we explicitly support amending the VP3 Planned Development (PD-69) to include new construction on the following parcels:

- 2600-2604 Short Vine & 4 E Corry (Corner building)
- 2622-2632 Short Vine (Mid-Block building)

We additionally support the intended uses of the new construction—a restaurant space and 27 units of student housing—to revitalize these currently vacant, blighted properties.

The Short Vine Association and Uptown Rental Properties are aligned in their priority of improving and populating the Short Vine business district and supporting our merchants, which is why we endorse a major amendment and accompanying uses.

Sincerely,

Vice President, Short Vine Association



March 11, 2020

Mrs. Anne F. McBride
McBride Dale Clarion
5721 Dragon Way, Suite 300
Cincinnati, Ohio 45227

Re: 2600 & 2604 Short Vine Street and 4 Corry Street | 2600 Vine Mixed-Use (P) –
(CPRE200022) Initial Comments and Recommendations

Dear Mrs. McBride,

This Preliminary Design Review letter informs you that our Advisory-TEAM has reviewed your proposed project at **2600 & 2604 Short Vine Street and 4 Corey Street** in the Community of Corryville. We hope that the information provided below will help you move forward with your project. Please see our initial feedback listed below. We strongly recommend that you return to us for either a Development Design Review or Technical Design Review before you get ready for permitting. Thank you for developing within the City of Cincinnati.

City Planning Department

Immediate Requirements to move forward with project:

1. 2600 Short Vine Street is zoned CN-P. 2604 Short Vine Street and 4 Corry Street are zoned PD-69 (VP3). A zone changes from CN-P to PD is necessary and would be considered a Major Amendment to the Concept Plan for PD-69.

Requirements to obtain Permits:

1. Consolidation Plat required to be recorded with Hamilton County.
2. It appears that a subdivision of land would be required to divide the portion of the parcel fronting Short Vine from the existing parking lot.
3. Any sale of City-owned property will require review by the City Planning Commission.

Recommendations:

1. It is advised that the applicant engage with the Corryville Community Council.

Contact:

- **Samantha McLean** | City Planning | 513-352-4886 | samantha.mclean@cincinnati-oh.gov

Buildings & Inspections – Zoning

Immediate Requirements to move forward with project:

1. Assuming the site is re-zoned to a PD, the urban design, facade articulation, building placement, setbacks, parking and density would be reviewed and coordinated by the City Planning Department.
2. The zoning code definition of family limits the number of unrelated people living in the same unit to four people and thus each unit could have a maximum of four bedrooms assuming one person per bedroom and thus the design of the units should reflect a maximum of four bedrooms per unit.
3. Parcel consolidation prior to building permit.

Requirements to obtain Permits:

1. None.

Recommendations:

- None

Contact:

- **Weston Munzel** | Zoning | 513-352-2442 | weston.munzel@cincinnati-oh.gov

Metropolitan Sewer District (MSD)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. An approved site utility plan will be required to receive approved permit.
2. Your project may change flow to a sewer overflow. Please complete the Request for Availability of Sewer Service Form online. The link to the online form can be found at http://www.msdbg.org/customer_care/development_services/index.html
3. Your project will require a grease trap review. The application and instructions can be found at http://msdbg.org/customer_care/permits_and_records/index.html. Submit the application, plans, and menu to SewerUseApplications@cincinnati-oh.gov

Recommendations:

- None

Contact:

- **Jim Wood** | MSD | 513-352-4311 | jim.wood@cincinnati-oh.gov

Stormwater Management Utility (SMU)

Immediate requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Detention requirements:
 - Show C value composites for pre and post construction conditions. If post C-value shows an increase of 20% or more, SMU will require a detention system. See chapter 12 of SMU rules & regulations [https://www.cincinnati-oh.gov/stormwater/assets/File/smu_rules_and_regs\(1\).pdf](https://www.cincinnati-oh.gov/stormwater/assets/File/smu_rules_and_regs(1).pdf).
 - If detention is required, submit calculations, drainage map, section drawing of detention control structure and detention shop drawings. Site is located in combination sewers area; therefore, design calculations may follow MSD rules.
2. Pipes in the R/W must be RCP or DIP (RCP for covers 3' > only). Show profiles for all Stormwater pipes in public R/W.
3. Roof drainage: show downspouts connections to sewer system. Add note on site plan: "All downspouts to connect to sewer system."
4. Submit an approved Erosion/Sediment control plan for the entire site
5. Add SMU Standard Plan Notes (<https://cincinnati-oh.gov/stormwater/construction-and-design/standards/standard-plan-notes-updated-july-2017/>)

Recommendation:

- None

Contact:

- **Saidou Wane** | SMU | 513-591-7746 | saidou.wane@cincinnati-oh.gov

Water Works

Immediate requirements to move forward with project:

- None

Requirements to obtain Permits:

1. The subject development property is receiving water service from an existing 1-1/2-inch water service branch (H-258720) connected to the 12-inch public water main in Short Vine Street.
2. Any existing water service branch not to be used for this development, must be properly disconnected at the owner's / developer's expense. Owner would be required to fill out the online FOD form at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing removal of the existing water service branch before any new water service can be sold.
3. All new water service branches can be connected to the existing 12-inch public water main in Short Vine Street or the 12-inch public water main in E. Corry Street.

Recommendations:

1. Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded fire protection company and plumber to perform the private water service branch design work and installation.
2. Owner(s)/Developer(s) must have a licensed fire protection company and plumber that is bonded and certified with GCWW and fill out the Online Branch application <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/> for water service.

Contact:

- **Bill Morris** | WaterWorks | 513-591-7858 | bill.morris@gcww.cincinnati-oh.gov

Fire Department

Immediate Requirements to move forward with project:

1. Confirm that the closest two hydrants have fire flows of at least 1000 GPM at 20 PSI.

Requirements to obtain Permits:

1. For this structure confirm that there are at least two fire hydrants that are within 400' from all parts of each structure.
2. Closest hydrants are located at 2617 Short Vine Street, 1 W. Corry St. and 1 E. Corry
3. Confirm that the Fire Department Connection is within 50' of a fire hydrant.
4. Use of Hydrants and FDC placement are not to block fire apparatus access to the structures.

Recommendations:

- None

Contact:

- **Fred Prather** | Fire Dept. | 513-357-7595 | fred.prather@cincinnati-oh.gov

Office of Environmental Sustainability (OES)

Immediate Requirements to move forward with project:

- None

Requirements to obtain permits:

- None

Recommendations:

1. The development goal should be to earn at a minimum the LEED Certified rating level.
2. Rooftop solar should be considered in the design as a renewable energy source.
3. Site areas designated for trash dumpsters or carts should also have at least equal space designated for recycling dumpsters or carts in the design.
4. The use of trees in the landscape design should be included to enhance urban forestry.
5. The use of non-impervious surfaces should be maximized to the extent practical in the design.

Contact:

- **Howard Miller** | OES | 513-352-6999 | howard.miller@cincinnati-oh.gov

Police Department

Immediate Requirements to move forward with project:

- None at this time.

Requirements to obtain Permits:

- No Comments.

Recommendations:

- None

Contact:

- **Matt Hammer** | Police Dept. | 513-478-2257 | matt.hammer@cincinnati-oh.gov
- **Brandon Kyle** | Police Dept. | brandon.kyle@cincinnati-oh.gov

Health Department

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. A food facility plan review by the Cincinnati Health Department (CHD) will be required if future or current space (or tenant) is licensable (or is currently licensed) as a food service operation (FSO) or retail food establishment (RFE). If licensable, plumbing will not issue permits until CHD has completed the food facility review and approved the project.
2. Recommendations:

Recommendations:

1. For assistance in determining whether facility is licensable as an FSO/RFE or not, please contact Trisha Blake.

Contact:

- **Trisha Blake** | Health Dept. | 513-352-2447 | trisha.blake@cincinnati-oh.gov

Department of Transportation & Engineering (DOT E)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Work with Duke on the property transfer and the existing easement.
2. An easement is needed for the overhang of the building.
3. Work with Jason Barron (513-621-2453) on the location of the Red Bike station.
4. The 2 arches for the walkway need to be returned to the owner.
5. The City light poles on the City property along the walkway need to be returned. Contact Curtis Hines to coordinate at 352-3462.
6. Remove old driveway apron and restore to meet City Standards.
7. All work in the right of way requires a DOT E permit.
8. Addressing has been assigned as: 2600 Short Vine St for the commercial space; 2602 Short Vine St for the apartments. Please contact DTEaddress@cincinnati-oh.gov with any questions.

Recommendations:

- None

Contact:

- **Morgan Kolks** | DOT E | 513-352-5285 | morgan.kolks@cincinnati-oh.gov

Buildings & Inspections – Buildings

Immediate Requirements to move forward with project:

1. Plans lack information to enable a response.

Requirements to obtain Permits:

- None at this time.

Recommendations:

- None

Contact:

- **Robert Martin** | B&I Plans Exam | 513-352-2456 | robert.martin@cincinnati-oh.gov

Department of Community & Economic Development (DCED)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

- None

Recommendations:

1. DCED intends to sell City property to facilitate this project. However, before the sale can occur, we are recommending that the developer work with DCED, Planning, and DOT E to outline the steps necessary to complete a zone change, lot split, and sale of the City parcel.

Contact:

- **Bob Bertsch** | DCED | 513-352-7373 | bob.bertsch@cincinnati-oh.gov

Law Department

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

- None

Recommendations:

1. Submit plans that show property lines.
2. The proposed plan shows construction on a City-owned parcel that abuts 2600 Short Vine to the north.
3. The sale of city-owned property requires:
 - Coordinated Report
 - Appraisal
 - City Planning Commission approval
 - City Council approval.

Contact:

- **Charles Martinez** | Law | 513-352-3359 | charles.martinez@cincinnati-oh.gov

This letter is not intended as the City's final approval of your project, but rather as an initial review and consultation to provide feedback from the City's various departments and to better coordinate between the City and developer. We hope you find this process both forthcoming and helpful.

Sincerely,



Rodney D. Ringer
Development Manager

RDR: rdr



March 17, 2020

Mrs. Anne F. McBride
McBride Dale Clarion
5721 Dragon Way, Suite 300
Cincinnati, Ohio 45227

Re: 2622-2630 Short Vine Street | Multi-family (P) – (CPRE200030) Initial Comments and Recommendations

Dear Mrs. McBride,

This Preliminary Design Review letter informs you that our Advisory-TEAM has reviewed your proposed project at **2622-2630 Short Vine Street** in the Community of Corryville. We hope that the information provided below will help you move forward with your project. Please see our initial feedback listed below. This project will need to return to us for either a Development Design Review or Technical Design Review before you get ready for your zone change submittal and permitting. Thank you for developing within the City of Cincinnati.

City Planning Department

Immediate Requirements to move forward with project:

1. None. No subdivision appears to be proposed.

Requirements to obtain Permits:

1. Both properties (2622 and 2630 Short Vine Street) are zoned CN-P which allows multi-family development with some limitations. **A zone change from CN-P to PD-69 which adjoins the property on the east is necessary in order to address proposed demolition and variances to setbacks etc. Hence a Major Amendment to the Concept Plan for PD-69 need to be undertaken by the City's Department of City Planning.**

Recommendations:

1. The Department of City Planning recommends that the applicant engage with the Corryville Community Council to discuss the proposed plans for the site.

Contact:

- **Felix Bere** | City Planning |513-352-4846 | felix.bere@cincinnati-oh.gov

Buildings & Inspections – Zoning

Immediate Requirements to move forward with project:

1. Assuming the site is re-zoned to a PD, the urban design, facade articulation, building placement, setbacks, parking and density would be reviewed and coordinated by the City Planning Department.
2. The zoning code definition of family limits the number of unrelated people living in the same unit to four people and thus each unit could have a maximum of four bedrooms assuming one person per bedroom and thus the design of the units should reflect a maximum of four bedrooms per unit.

3. More info on parking is needed; 0.5 spaces per bed if rented by the bed; 1 space per unit if rented by the unit.

Requirements to obtain Permits:

- None

Recommendations:

- None

Contact:

- **Weston Munzel** | ZPE | 513-352-2442 | weston.munzel@cincinnati-oh.gov

Metropolitan Sewer District (MSD)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Detention will be reviewed by Jeff Chen at jeff.chen@cincinnati-oh.gov or 513-244-1357 per Section 303 of the MSD Rules and Regulations.
2. An approved site utility plan will be required for each residence to receive approved permit.
3. Your project may change flow to a sewer overflow. Please complete the Request for Availability of Sewer Service Form online. The link to the online form can be found at http://www.msdbg.org/customer_care/development_services/index.html

Recommendations:

- None

Contact:

- **Jim Wood** | MSD | 513-352-4311 | jim.wood@cincinnati-oh.gov

Stormwater Management Utility (SMU)

Immediate requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Site Plan, add note: "All downspouts to connect to underground sewer system."

Recommendation:

- None

Contact:

- **Saidou Wane** | SMU | 513-591-7746 | saidou.wane@cincinnati-oh.gov

Water Works

Immediate requirements to move forward with project:

- None

Requirements to obtain Permits:

1. The subject development property is receiving water service from existing 3/4-inch water service branch (H- 18424), 1-1/2-inch water service branch (H-57691), and a 4-inch Fire Branch (H-286561) which are connected to existing 12-inch public water main in Short Vine Street.

2. Any existing water service branch not to be used for this development, must be properly disconnected at the owner's / developer's expense. Owner would be required to fill out the online FOD form at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing removal of the existing water service branch before any new water service can be sold.
3. Please note the 3/4-inch and 1-1/2-inch water service branches, according to Water Works records indicate the existing private side of the water service line (H-18424) and (H-57691) at this site are a Lead Service line. In accordance with CMC Chapter 401 Division M, must be replaced with copper service line. Please contact the GCWW Lead Service Line Replacement Coordinator Kathleen Frey at (513) 591-5068 Please call 513-651-5323 and/or refer to <http://www.cincinnati-oh.gov/water/lead-information/>.

Recommendations:

1. Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded plumber to perform the private water service branch design work and installation.
2. Owner(s)/Developer(s) must have a licensed plumber that is bonded and certified with GCWW and fill out the Online Branch application <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/> for water service.

Contact:

- **Bill Morris** | WaterWorks | 513-591-7858 | bill.morris@gcww.cincinnati-oh.gov

Fire Department

Immediate Requirements to move forward with project:

1. Confirm that the closest two hydrants have fire flows of at least 1000 GPM at 20 PSI.

Requirements to obtain Permits:

1. Confirm that there are at least two fire hydrants that are within 400' from all parts of the structure.
2. Closest hydrants are located at 2617 Sort Vine Street, 21 E. Charlton St and 2715 Sort Vine Street,
3. Hydrants and FDC placement are not to block fire apparatus access to the structures.
4. Sec. 1229-5. - Location of Buildings and Structures.
5. Confirm that the Fire Department Connection is within 50' of a fire hydrant.
6. If the structure is greater than four stories the owner is to use Siamese connections for his FDC/s.
7. Bidirectional antenna for fire department communication maybe required for the structures.
8. Post indicator valves cannot be more than 40 feet from the building it services.

Recommendations:

1. For larger structures it is strongly recommended that the owner install a second Fire Department Connection on the structure, such connections should be remote from the other Fire Department Connection. This recommendation is based on the size and location of the structure.

Contact:

- **Fred Prather** | Fire Dept. | 513-357-7595 | fred.prather@cincinnati-oh.gov

Office of Environmental Sustainability (OES)

Immediate Requirements to move forward with project:

- None

Requirements to obtain permits:

- None

Recommendations:

1. Due to the age of the existing buildings, asbestos, lead based paint, and other hazardous building materials should be surveyed and, if needed, abatement should be conducted following all applicable regulations prior to their demolition.
2. The development goal should be to earn at a minimum the LEED Certified rating level.
3. Rooftop solar should be considered in the design as a renewable energy source.
4. Site areas designated for trash dumpsters or carts should also have at least equal space designated for recycling dumpsters or carts in the design.
5. The use of trees in the landscape design should be included to enhance urban forestry.
6. The use of non-impervious surfaces should be maximized to the extent practical in the design.

Contact:

- **Howard Miller** | OES | 513-352-6999 | howard.miller@cincinnati-oh.gov

Police Department

Immediate Requirements to move forward with project:

- None at this time.

Requirements to obtain Permits:

- No Comments.

Recommendations:

- None

Contact:

- **Matt Hammer** | Police Dept. | 513-478-2257 | matt.hammer@cincinnati-oh.gov
- **Brandon Kyle** | Police Dept. | brandon.kyle@cincinnati-oh.gov

Health Department

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. No need for Health review for project as proposed.

Recommendations:

- None

Contact:

- **Trisha Blake** | Health Dept. | 513-352-2447 | trisha.blake@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Restore the streetscape to match the existing.
2. A DOTE permit is needed for all work in the right of way.
3. Final addresses to be assigned by DTEaddress@cincinnati-oh.gov. Please contact.

Recommendations:

- None

Contact:

- **Morgan Kolks** | DOTE | 513-352-5285 | morgan.kolks@cincinnati-oh.gov

Buildings & Inspections – Buildings

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Show location of property lines.
2. Exterior walls must comply with OBC Table 602
3. Openings in exterior walls must comply with OBC Table 705.8
4. Show that building will be accessible per OBC Chapter 11
5. Show that building exits have access to the public-way per OBC 1028.5
6. Without easements - Building construction shall not project beyond property lines of the site, OBC Table 705.5.

Recommendations:

- None

Contact:

- **John Schueler** | B&I Plans Exam | 513-352-2481 | john.schueler@cincinnati-oh.gov

Department of Community & Economic Development (DCED)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

- None

Recommendations:

- None

Contact:

- **Roy Hackworth** | DCED | 513-352-6119 | roy.hackworth@cincinnati-oh.gov

Law Department

Immediate Requirements to move forward with project:

1. No comments at this time.

Requirements to obtain Permits:

- None

Recommendations:

- None

Contact:

- **Charles Martinez** | Law | 513-352-3359 | charles.martinez@cincinnati-oh.gov

This letter is not intended as the City's final approval of your project, but rather as an initial review and consultation to provide feedback from the City's various departments and to better coordinate between the City and developer. We hope you find this process both forthcoming and helpful.

Sincerely,



Rodney D. Ringer
Development Manager

RDR: rdr

2609 VINE LLC
5 W 8TH AVE
COLUMBUS OH 43201

2610 VINE LLC
1443 NORTH HIGH ST
COLUMBUS OH 43201

2701 VINE LLC
383 N FRONT ST
COLUMBUS OH 43215

2703 VINE STREET LLC
431 WARNER ST
CINCINNATI OH 45219

2717 VINE LLC
3808 LINCOLN RD
CINCINNATI OH 45247

A P & ASSOCIATES LTD
24602 MELDON BLVD
BEACHWOOD OH 44122-2338

AMEER PROPERTIES INC
2607 VINE ST
CINCINNATI OH 45219

ANCHOR CORRYVILLE GROCERY LLC
128 E SECOND ST
COVINGTON KY 41011

ANCHOR CORRYVILLE PHARMACY
PHARMACY LLC
128 E 2ND ST
COVINGTON KY 41011

ANGIULLI INC
2618 VINE ST
CINCINNATI OH 45219

APYAN ALEXANDER C & PAUL M
2628 JEFFERSON AVE
#5
CINCINNATI OH 45219

BAUER RICHARD A & LINDA J
2700 EUCLID AVE
CINCINNATI OH 45219-2113

BRICHACEK JOSHUA A
2614 EUCLID AVE
CINCINNATI OH 45219

CHURI RAHAMIM & GAYLE
PO BOX 19272
CINCINNATI OH 45219

CJR ISLAND HOLDINGS LLC
2582 GRANDIN ROAD
CINCINNATI OH 45208

CORRYVILLE PROPERTIES LLC
129 FOREST AVE
CINCINNATI OH 45219

CUTIE PIE PROPERTIES I LLC
2864 CRESCENT SPRINGS PK
ERLANGER KY 41018

CVP REDEVELOPMENT HOLDINGS LLC
629 OAK ST
UPTOWN CONSORTIUM INC STE 306
CINCINNATI OH 45206

DALLAS DAVID E & MELISSA D
3515 HEEKIN AVE
CINCINNATI OH 45208

DAMENE EGIGAYEHU
2704 EUCLID AVE
CINCINNATI OH 45219

DAOUD FAHID S & LEILA F
650 LUNKEN PARK DR
CINCINNATI OH 45226

DAOUD REALTY LLC
8124 WYCLIFFE RD
CINCINNATI OH 45244

DAVIS STEPHEN R & RENEE A
2815 INVERNESS PLACE
CINCINNATI OH 45209

DEERING PROPERTIES II LLC
3427 MANOR HILL DR
CINCINNATI OH 45220

DUVALL LOIS TR & DON TR
5334 WINDBROOK TRL
WEST CHESTER OH 45069

EDEN CORRY LLC
310 OAK ST
CINCINNATI OH 45219

EDEN CORRY LLC
PO BOX 8713
CINCINNATI OH 45208

EDEN CORRY LLC
2619 EDEN AVE
CINCINNATI OH 45219

EDENU LLC
359 RESOR AVE
CINCINNATI OH 45220

EJP GROUP LLC
6899 NORFOLK DR
WEST CHESTER OH 45069

ESIA LAND LLC
2606 JEFFERSON AVE
CINCINNATI OH 45219

EXCLUSIVE PROPERTY REALTORS INC
2720 VINE ST
CINCINNATI OH 45219

FLUEGEMAN VERNETTA S & MARCIA
LEE SMITH
4130 W UNIVERSITY AVE
MUNCIE IN 47304

FORTMAN ROBERT J & KATHRYN M
2632 JEFFERSON AVE
CINCINNATI OH 45219

GASLIGHT VENTURES LLC
2718 VINE STREET
CINCINNATI OH 45219

GASLIGHT VENTURES LLC
2718 SHORT VINE
CINCINNATI OH 45219

GODFREY RALPH JR & LANORA
3414 FITZGERALD WAY
MAINEVILLE OH 45039

GREGORY STEWART C & KATHLEEN D
2526 MADISON RD
CINCINNATI OH 45208

HEDLESTEN ROBERT C TR & SUSAN TR
3905 BEECH ST
CINCINNATI OH 45227

HF RENTALS LLC
529 WINDINGS CT
CINCINNATI OH 45220

HOVIOUS DARRELL N
21 W CHARLTON ST
CINCINNATI OH 45219-2056

HUTCIENDA LLC
8655 REMINGTON RD
CINCINNATI OH 45242

J F ROWLEY COMPANY OF
2729 VINE ST
CINCINNATI OH 45219

JEFFERSON VIEW PROPERTIES LLC
10124 CLIFFWOOD CT
CINCINNATI OH 45241

JOHNSON DAROLD & TOM KOETTER
10049 SONYA LN
WEST CHESTER OH 45069

KING HIGHLAND COMMUNITY URBAN
REDEVELOPMENT CORPOR
260 STETSON AVE
STE E
CINCINNATI OH 45219

KJR REAL ESTATE LLC
4633 LAMBS FERRY RD
COVINGTON KY 41015

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110 HOSEA AVE
CINCINNATI OH 45220

LEE DOLLEEN JUANITA
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CINCINNATI OH 45219-2113

LYLE CHRISTOPHER
2616 JEFFERSON AVE
CINCINNATI OH 45219

MASFI JAMES
PO BOX 230285
LAS VEGAS NV 89150

MCC ON NJ LLC
4821 READING RD
UNIT 11
CINCINNATI OH 45237

MORRIS SHERMAN
163 COMPTON RD
CINCINNATI OH 45215

MOSS ANNE M
2709 EUCLID AVE
CINCINNATI OH 45219-2112

MOUNT AUBURN PRESBYTERIAN
CHURCH
103 WILLIAM HOWARD TAFT RD
CINCINNATI OH 45219

NAZCA PROPERATIES LLC
PO BOX 198010
CINCINNATI OH 45219

NAZCA PROPERTIES LLC
P O BOX 332
BATAVIA OH 45103

P J C INC
1829 CAREW TOWER
CINCINNATI OH 45202

PENNINGTON RONALD L
2622 EUCLID
CINCINNATI OH 45219

PLATINUM PAR INVESTMENTS LLC
4221 S SHORE DR
MASON OH 45040

PRASAD LAKSHMI
2605 EDEN AVE
#4
CINCINNATI OH 45219

RICE ROBERT C
2612 EUCLID AVE
CINCINNATI OH 45219-2102

ROGERS DAVID F & LISA P
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FT MITCHELL KY 41017

S SQUARED PROPERTIES LLC
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CINCINNATI OH 45219

SAFI WALID & NAILA
10741 SEDCO DR
UNION KY 41091

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9402 TOWNE SQUARE AVE STE C
CINCINNATI OH 45242

SHORT VINE PROPERTIES LLC
2718 SHORT VINE ST
CINCINNATI OH 45219

SHOWERS PARKER & AMY CLINE
2610 JEFFERSON AVE APT
1
CINCINNATI OH 45219

SNELL LEONARD J
2892 OVERDALE DR
CINCINNATI OH 45251

SOHI SEAN & PARNEET S
2624 JEFFERSON
CINCINNATI OH 45219

SPENCER SHEELAH @3
3354 EVANSTON AVE
CINCINNATI OH 45207

SWIGERT ROGER
117 WILLIAM H TAFT RD
CINCINNATI OH 45219

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114 E CHARLTON ST
CINCINNATI OH 45219-2109

TAYLOR RICHARD P JR & ROBERT M
PO BOX 19037
CINCINNATI OH 45219

TOWER LEASING LLC
1418 CENTRAL PARKWAY
201
CINCINNATI OH 45202

UHL MARK
114 EAST CORRY ST
CINCINNATI OH 45219

VINE CHARLTON LLC
P O BOX 19967
CINCINNATI OH 45219

VP3 LLC
2718 VINE ST
CINCINNATI OH 45219

VP4 LLC @ 2
260 E UNIVERSITY AVE
CINCINNATI OH 45219

WANG JIANG & YING
3589 CARPENTERS GREEN LN
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WEBER WILLIAM G
110 E CORRY ST
CINCINNATI OH 45219

WELLS HANNAH RUTH
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CINCINNATI OH 45219

WELLS HANNAH RUTH
2708 EUCLID AVE
CINCINNATI OH 45219-2113

WYNN GAYLE DENICE
2721 EDEN AVE
CINCINNATI OH 45219-2201

ZHANG ENQI
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