



City of Cincinnati

801 Plum Street
Cincinnati, OH 45202

Agenda - Final

Equitable Growth & Housing

Chairperson, Jeff Cramerding
Vice Chairperson, Reggie Harris
Councilmember, Meeka Owens
Councilmember, Mark Jeffreys
Councilmember, Liz Keating
Vice Mayor, Jan-Michele Kearney
Councilmember, Victoria Parks
Councilmember, Scotty Johnson
Councilmember, Seth Walsh

Tuesday, May 9, 2023

1:00 PM

Council Chambers, Room 300

PUBLIC HEARING

ROLL CALL

PRESENTATIONS

Proposed Amendments to the Over-the-Rhine Local Historic District Guidelines

Alex Peppers, Deputy Director, City Planning

AGENDA

START OF PUBLIC HEARING

1. [202301201](#) **ORDINANCE** submitted by Sheryl M. M. Long, City Manager, on 4/19/2023, **AMENDING** certain provisions of the Over-the-Rhine Local Historic District Conservation Guidelines governing the conservation and development of the Over-the-Rhine Local Historic District in the Over-the-Rhine, Pendleton, and Mt. Auburn neighborhoods.

Sponsors: City Manager

Attachments: [Transmittal](#)
[Ordinance](#)
[Attachment A](#)
[Legislative Record](#)
[Other Legislative Record](#)
[CPC Memo to Clerk](#)

2. [202301337](#) **PRESENTATION** submitted by Sheryl M. M. Long, City Manager, dated 5/9/2023, regarding the proposed amendments to the Over-the-Rhine Local Historic District Guidelines.

Sponsors: City Manager

Attachments: [Transmittal](#)
[Presentation](#)

END OF PUBLIC HEARING

3. [202301243](#) **ORDINANCE (EMERGENCY)** submitted by Sheryl M. M. Long, City Manager, on 4/26/2023, **AMENDING** Ordinance 07-2021 to depict the actual artwork to be donated to the City in Exhibit A to the ordinance.

Sponsors: City Manager

Attachments: [Transmittal](#)
[Ordinance](#)
[Attachment I](#)
[Attachment II](#)

ADJOURNMENT

April 19, 2023

To: Mayor and Members of City Council 202301201
From: Sheryl M. M. Long, City Manager
Subject: Ordinance – Proposed Amendments to the OTR Local Historic District Guidelines

Transmitted is an Ordinance captioned:

AMENDING certain provisions of the Over-the-Rhine Local Historic District Conservation Guidelines governing the conservation and development of the Over-the-Rhine Local Historic District in the Over-the-Rhine, Pendleton, and Mt. Auburn neighborhoods.

Summary

The Over-the-Rhine Foundation (OTRF), a non-profit organization dedicated to the preservation of the Over-the-Rhine (OTR) neighborhood, began work in 2014 on a proposal to revise the Over-the-Rhine Local Historic District Conservation Guidelines to incorporate more detailed rules for new construction. The current guidelines were adopted in 2003 and have been utilized to guide development in the OTR Local Historic District since that time.

The OTRF's revised proposal was presented to the Historic Conservation Board (HCB) on August 3, 2020. Following an extended discussion, the HCB recommended adoption of the proposal with certain conditions recommended by the City's Urban Conservator, including that further review and revision to the proposal occur (specifically regarding the provisions around height) prior to its submission to the City Planning Commission for consideration.

On September 24, 2020, the City Planning Commission (CPC) reviewed a proposal to revise the Over-the-Rhine (OTR) Local Historic District Guidelines New Construction Section. This proposal was tabled with instruction for the Department of City Planning and Engagement (DCPE) staff to conduct additional community engagement prior to returning to the CPC with their revised proposal.

The revised submission from OTRF was submitted on November 18, 2022, and was subsequently scheduled for the City Planning Commission on December 2, 2022.

CITY PLANNING COMMISSION ACTION ON DECEMBER 2, 2022:

At the City Planning Commission meeting on December 2, 2022, representatives of the OTRF steering committee and historic preservationists spoke in favor of the OTRF's proposed revisions to the OTR New Construction guidelines. In addition, numerous architects, developers, contractors, consultants and the Department of Community and Economic Development Department (DCED) spoke in favor of DCPE staff's recommendation. After extensive testimony from both sides, the City Planning Commission voted in favor of staff's recommendation to:

PROVISIONALLY APPROVE the proposed New Construction Infill Guidelines on the condition that staff for the Department of City Planning and Engagement prepare and present the following documents to the City Planning Commission for final approval:

- a. A set of New Construction Infill Guidelines that incorporates the staff's proposed revisions reflected on Attachment O (Recommended Changes on 11/18/2022 submittal and new language for

- conditional approval), Attachment P (Revised Monumental Building List), and Attachment Q (Revised Glossary List); and
- b. A set of the existing Over-the-Rhine Local Historic District Guidelines modified to address guidelines that are obsolete or will be inconsistent with the New Construction Infill Guidelines upon their adoption.

The vote was as follows:

Moved to approve the staff's recommendation on the Legislative Discussion Agenda.

Motion:	Mr. Weber
Second:	Ms. Sesler
Ayes:	Mr. Eby, Ms. Sesler, Mr. Weber
Nays:	Mr. Samad, Ms. Smitherman
Absent:	Ms. Kearney
Excused:	Mr. Stallworth

DCPE staff and the applicants made the revisions approved by the City Planning Commission. The Law Department and the Urban Conservator have reviewed and amended the original existing historic guidelines by replacing the former new construction section with an incorporated reference to the approved new construction guidelines document. In addition, there were some other minor housekeeping adjustments made to the existing guidelines.

On April 7, 2023, the City Planning Commission voted unanimously to take the following actions:

1. ACCEPT the revisions made to the Over-the-Rhine Local Historic District New Construction Guidelines made by Department of City Planning and Engagement staff as directed by the City Planning Commission's motion at the meeting dated December 2, 2022; and
2. CONFIRM the approval of the New Construction Guidelines, as so revised by Department of City Planning and Engagement staff, as more particularly detailed in Attachment A; and
3. APPROVE the revisions made by Department of City Planning and Engagement staff to the Over-the-Rhine Local Historic District Guidelines, as more particularly detailed in Attachment B.

On April 7, 2023, the City Planning Commission voted unanimously to recommend approval of the amendments to the OTR Local Historic District Guidelines to City Council.

cc: Katherine Keough-Jurs, FAICP, Director, Department of City Planning and Engagement

AMENDING certain provisions of the Over-the-Rhine Local Historic District Conservation Guidelines governing the conservation and development of the Over-the-Rhine Local Historic District in the Over-the-Rhine, Pendleton, and Mt. Auburn neighborhoods.

WHEREAS, Council enacted Ordinance No. 195-2003, on June 18, 2003, to establish a consolidated Over-the-Rhine Local Historic District from the Over-the-Rhine (South) and Over-the-Rhine (North) Local Historic Districts and adopt conservation guidelines to promote the conservation and development of the consolidated Over-the-Rhine Local Historic District (the “OTR Historic District”) in the Over-the-Rhine, Pendleton, and Mt. Auburn neighborhoods; and

WHEREAS, Council enacted Ordinance No. 62-2017, on March 16, 2017, to authorize the Administration to apply for and accept grant monies through the Federal FY 2017 Certified Local Government Grant Program to revise and update the OTR Historic District Conservation Guidelines, enabling the Urban Conservator and community stakeholders, including the Over-the-Rhine Foundation, residents, developers, and design professionals to collaborate and develop comprehensive amendments to the OTR Historic District Conservation Guidelines; and

WHEREAS, following a public staff conference, the Historic Conservation Board, at its regularly scheduled meeting on August 3, 2020, and upon considering the factors outlined under Cincinnati Municipal Code Section 1435-07-2-B, recommended approval of the proposed amendments to the OTR Historic District Conservation Guidelines and further recommended adoption of the amended OTR Historic District Conservation Guidelines to govern the conservation and development of the OTR Historic District; and

WHEREAS, upon receipt of the recommendation of the Historic Conservation Board, the City Planning Commission, following two regularly scheduled meetings held on December 2, 2022, and April 7, 2023, and upon considering the factors outlined under Cincinnati Municipal Code Section 1435-07-2-B(c), recommended approval and adoption of the OTR Historic District Conservation Guidelines, as amended and attached to this ordinance as Attachment A and incorporated herein by reference (“Revised OTR Historic District Conservation Guidelines”), to govern the future conservation and development of the OTR Historic District; and

WHEREAS, Council finds that the Revised OTR Historic District Conservation Guidelines are in accordance with Cincinnati Municipal Code Section 1435-07-02-C and promote the conservation, development, and use of the OTR Historic District and its special historic, architectural, community, and aesthetic interest and value; and

WHEREAS, Council finds that the amended OTR Historic District Conservation Guidelines conforms to Plan Cincinnati (2012), particularly the “Sustain” goal, which aims to preserve the City’s built history as described on page 197, and the second and eighth policy principles, which seek to build on and preserve the City’s historic resources as described on pages 75 and 81; and

WHEREAS, Council considers the adoption of the amended OTR Historic District Conservation Guidelines to be in the best interest of the City and the general public's health, safety, and general welfare; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That, pursuant to Chapter 1435 of the Zoning Code of the City of Cincinnati, Council hereby adopts revised conservation guidelines for the Over-the-Rhine Local Historic District in the form attached to this ordinance as Attachment A and incorporated herein by reference ("Over-the-Rhine Local Historic District Conservation Guidelines"), which Over-the-Rhine Local Historic District Conservation Guidelines shall govern the conservation and development of the Over-the-Rhine Local Historic District in the Over-the-Rhine, Pendleton, and Mt. Auburn neighborhoods.

Section 2. That the Over-the-Rhine Local Historic District Conservation Guidelines adopted by Council pursuant to Section 1 of this ordinance shall take effect and be in force for all certificate of appropriateness applications submitted to the Administration from and after July 8, 2023.

Section 3. That the conservation guidelines for the Over-the-Rhine Local Historic District adopted pursuant to Section 4 of Ordinance No. 195-2003, approved by Council on June 18, 2003, shall continue in force and effect for all certificate of appropriateness applications duly submitted and deemed complete and accepted by the Administration on or before July 7, 2023.

Section 4. That the Over-the-Rhine Local Historic District Conservation Guidelines adopted by Council pursuant to Section 1 of this ordinance shall supersede the conservation guidelines for the Over-the-Rhine Local Historic District adopted pursuant to Section 4 of Ordinance No. 195-2003, approved by Council on June 18, 2003, in their entirety from and after July 8, 2023.

Section 5. That the Clerk of Council is hereby directed to notify the Historic Conservation Board, the City Planning Commission, the Director of City Planning and Engagement, the Director of Buildings and Inspections, and the City Solicitor of Council's adoption of the revised Over-the-Rhine Local Historic District Conservation Guidelines.

Section 6. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: _____, 2023

Aftab Pureval, Mayor

Attest: _____
Clerk

CONSERVATION GUIDELINES OVER-THE-RHINE HISTORIC DISTRICT

*Adopted by Ordinance No. 195-2003, and effective as of July 18, 2003,
as amended by Ordinance No. []-2023, and effective as of July 8, 2023*

New Construction

New construction will be reviewed using the Over-the-Rhine Historic Conservation Guidelines for New Construction attached hereto as Attachment A and incorporated herein by reference.

Additions

Intent and General Guidelines

1. Additions are allowed and should follow new construction guidelines. They should be compatible in character with the original. They should be sympathetic but not imitative in design.
2. Additions should be designed to relate architecturally to adjacent buildings in general and to the building they are a part of in particular.
3. Additions should not overpower the original building.
4. The appropriateness of design solutions will be based on balancing the program needs of the applicant with 1) how well the proposed design relates to the original building and neighboring buildings and 2) how closely the proposal meets the intent of these general guidelines and the specific guidelines for new construction.

Rehabilitation

A. Intent and General Guidelines

These guidelines are intended to assure that rehabilitation will maintain significant features of buildings. The guidelines are not hard-and-fast rules but are used by the Historic Conservation Board as a guide to assess the compatibility and the appropriateness of proposed changes. Reviews are limited to the exterior changes proposed for buildings; alterations made to the interior of buildings are not reviewed by the Historic Conservation Office.

1. Ordinary repair and maintenance which does not change the appearance of the building shall not be reviewed.
2. Existing features in good condition should be conserved, and damaged features should be repaired wherever possible.
3. Replace badly damaged or missing features sensitively to harmonize with the character of the original feature. Replication is appropriate, but it is not essential.
4. Completely new features and materials should be compatible with the building in design, color, detailing, texture, size, and shape. By their nature adaptively reused buildings may require more flexible and creative design approaches.

B. Specific Guidelines

1. **Materials:** Missing or deteriorated materials should be replaced with recycled or new materials that match the original as closely as possible with regard to the following: type, color, style, shape, and texture of material. The composition, type of joint, size of units, placement and detailing should be appropriate for the building. Synthetic materials such as aluminum or vinyl siding, imitation brick or plastic are inappropriate. Other types of synthetic materials such as split-face concrete block may be approved on a case-by-case basis.
2. **Door and Window Openings:** Among the most important features of any building are its openings – its windows and doors. The size and location of openings are an essential part of the overall design and an important element in the building's architecture. Don't alter or fill-in original openings. Roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.
3. **Door and Window Sash:** Repair original doors and window sashes rather than replace whenever possible. If replacement is necessary, the new door or window sash should match the original in material, size, and style as closely as possible. Synthetic replacement windows are generally discouraged. Consult with the Historic Conservation Office about acceptable replacement windows.
4. **Ornamentation:** Significant architectural features such as window hoods, decorative piers, quoins, bay windows, door and window surrounds, porches, cast-iron storefronts, and other ornamental elements should be preserved. These distinctive features help identify and distinguish the buildings in Over-the-Rhine. Don't remove or replace ornamentation with substitutes that are of a different scale or design or an incompatible material. Make replacement ornamentation match the character of the existing feature closely as possible with respect to type, color, style, shape, and texture of material. Some synthetic materials including fiberglass castings may be approved on a case-by-case basis.
5. **Roofs:** Chimneys, dormers or towers and other architectural features that give the roofline of an existing building its identifying character should be preserved. Most of the buildings in Over-the-Rhine have flat or single-pitch roofs. The addition of vents, skylights, and roof top utilities should be inconspicuously placed or screened where necessary. Retain and repair the original roof materials such as slate, which is common on churches, institutional buildings and buildings with mansard roofs, and standing seam metal roofs, which are common on smaller buildings with gable roofs. Do not use wood shakes and plastic roofing products, which are inappropriate materials in Over-the-Rhine. Simulated slate may be approved on a case-by-case basis.
6. **Cleaning:** Clean exterior surfaces with the gentlest method possible. For masonry structures, begin with scraping by hand or scrubbing with a bristle brush and mild detergent. Some types of chemical cleaning can be used, but test patches should be carried out in inconspicuous areas first. Don't sandblast or use other abrasive cleaning methods that destroy the surface of brick and stone and shorten the life of the building. Don't use wire brushes because they can also damage masonry surfaces.
7. **Repointing Masonry:** Repoint historic masonry with mortar that matches the existing in color, content, and texture and with joints that match in type and thickness. The mortar joints in masonry construction deteriorate for a variety of reasons. Repointing these joints can significantly aid the rehabilitation of a structure. Generally, buildings built prior to 1900 used a lime-based mortar. A typical lime-based mortar has the following formula: 8 parts sand, 2

- parts lime, and 1-part portland cement. This mortar is softer than the portland cement-based mortar of today. Hard modern mortar used on historic masonry causes bricks to crack or spall during the freeze-thaw cycle.
8. **Water-Repellent Coatings:** Don't use water-repellent coatings on historic masonry. Most historic structures have survived without the need of water-repellent coatings. Water-related damage on the interior of buildings is usually the result of a failing roof, deteriorated or faulty gutters and downspouts, deteriorated mortar, rising damp, or condensation. Water-repellent coatings will not solve these problems and may make them worse.
 9. **Painting:** Repaint buildings that were historically painted. Most buildings built before 1890 in Over-the-Rhine were originally painted. Paint is part of the aesthetic design of these buildings and should be maintained. Paint also protects porous nineteenth century masonry and masks alterations and inappropriate repairs. Masonry that has not been painted in the past should not be painted. Because color can have a significant impact on the neighborhood, use paint colors that are appropriate to your building's age and style. Historically, most paint schemes were relatively simple. The Historic Conservation Office can provide owners with color combinations that are appropriate for a building's age and style. Varying the choice of color between neighboring buildings is preferred.
 10. **Wood Siding:** Retain and repair original wood siding. When replacement is necessary, the new wood should match the original in size, shape, profile, and detail. All wood siding should be painted. Aluminum or vinyl siding is not appropriate for replacing or covering original wood siding. Artificial stone, asbestos, asphalt siding and other similar resurfacing materials are not acceptable. The use of composite cement siding may be approved on a case-by-case basis.
 11. **Shutters and other outside attachments:** Original shutters should be repaired and retained. Many buildings in Over-the-Rhine have or had wood shutters for the windows. Reintroducing missing shutters must be based on physical evidence and the shutters must fit the opening and be operable. Exterior light fixtures should be appropriate to the style of the building. Colonial "coach" lights are not appropriate. Mercury vapor and other streetlights are not appropriate for attachment to the façade. Exterior light fixtures should be mounted in a way that does not cast undue glare onto neighboring properties.
 12. **Storefronts:** Retain and repair the design and materials of storefronts in historic buildings. First-floor storefronts are common in Over-the-Rhine and are found in all types of architectural styles. Detailing and materials vary considerably. Each design should be considered individually, and original materials should be retained. If the storefront has been altered or if none of the original materials remain, old photographs may indicate the original design. Original masonry storefront materials should be cleaned with the gentlest method possible (see section on cleaning). Cast-iron storefronts may be cleaned by abrasive methods including sandblasting. Adjacent materials must be protected, and the pressure should be less than 100 p.s.i. Don't reduce the size of storefront openings. Transparency and scale are very important to storefronts and their relationship to the remainder of the building as well as to the streetscape. Don't cover or remove significant elements such as piers, lintels, transoms, original doors, or other similar details. Roll down shutters and metal bar systems installed on the exterior of the building are not appropriate.
 13. **Signs:** Signs should be designed for clarity, legibility and compatibility with the building or property on which they are located. Signs should be located above the storefront, on the storefront windows or on awnings and should not cover any architectural features. Signs should capitalize on the special character of the building and reflect the nature of the business. Wall

and projecting signs should be located above the storefront or first story and below the second story sills. The size of wall signs shall be limited to one square foot per lineal foot of building frontage. Projecting signs should be no larger than 3 feet, 6 inches in width or height. Small projecting signs such as symbol signs are appropriate. Billboards and internally illuminated signs are not permitted. Neon signs may be approved on a case-by-case basis.

14. **Awnings:** The installation of fabric awnings on storefronts is encouraged. Awnings add color and variety to commercial buildings and highlight the businesses. Awnings should be installed so they do not cover or require the removal of any original architectural feature. Awnings of metal, plastic, vinyl (not vinyl coated fabric) or wood will be reviewed on a case-by-case basis. Internally illuminated awnings are not acceptable.

Site Improvements

A. Intent and General Guidelines

1. Site improvements such as parking lots, parking pads, paving, fences, decks, and trees should be in character with the contributing buildings in the district and should respond to the colors, textures, materials and scale found in the area of the improvement.
2. The design of any site improvement should be compatible with district buildings and not detract from the character of the district.
3. The design of site improvements should capitalize on the unique character of the area and could incorporate elements from the district. Site improvements should enhance the experience of pedestrians in the district.

B. Specific Guidelines

1. **Parking Lots:** Cars in parking lots should be screened from public view. Appropriate screening includes low masonry walls in conjunction with planting areas and landscaping, low masonry walls with wrought iron fencing and planting areas with landscaping and wrought iron fencing. Chain link fence along sidewalks is inappropriate.

Parking lots with a capacity of 10 or more cars should contain trees within the lot as well as around the perimeter of the lot. Concrete curbs, not rolled asphalt bumpers, are appropriate edges for parking lots.

A lot used for surface parking of motor vehicles should be for the exclusive use of owners, occupants and customers of a building located within 300 feet of the lot and shall be subject to a restrictive covenant to implement this provision.

2. **Parking Pads:** Parking pads (parking for one or two cars) are permitted at the rear of the property, with access at alleys or existing curb cuts whenever possible. Parking pads in areas other than the rear yard shall be judged on a case-by-case basis and judged by their impact on the property and on the district.
3. **Fences and Walls:** Wrought-iron or cast-iron fences are encouraged along the sidewalks of vacant lots or where buildings are setback from the sidewalk. Fencing may be set between wrought iron and cast-iron posts, natural stone posts or pre-cast concrete posts. Fencing may also be set on a concrete curb or on top of a retaining wall. Landscaping in front of a fence is encouraged. Plain board fences (vertical boards nailed side-by-side on horizontal stringers) or wire fences are appropriate at the rear of the property or along the side of the property. Wood

fences should be painted or stained but not left to weather naturally. Chain link, stockade, shadow board, basket weave and lattice designs are not appropriate. Masonry privacy walls are not encouraged.

Retaining walls built along the front property line or along street frontage should be built of or faced with fieldstone or limestone. Retaining walls at other locations should be built of fieldstone, limestone, brick, or specialized masonry block such as split-face concrete block. Concrete products including cinder block, stucco and unfinished concrete masonry units should not be used as the finish material for any retaining wall.

4. **Decks:** Wood decks should be stained or painted. Rooftop decks should not be highly visible from the principal façade. Metal balconies should not be discouraged.
5. **Paving for sidewalks, patios, and other similar areas:** Materials used for paving should have the appearance of individual units to give the surface scale. Appropriate materials include brick, stone, scored concrete and unit pavers. Concrete should be limited to sidewalks and should not be used in large slabs over big areas, such as driveways and parking lots.
6. **Street Furniture and Amenities:** Existing historic elements in the right of way such as steps, mounting blocks, fences, paving, natural stone curbs and splash blocks should be retained. Historic materials such as pavers, curbs or steps shall be returned to their same location, even if they are to be paved over, when they are removed to install or repair utilities such as water, sewer, electric, gas, cable, security or for any other purpose. Flower boxes, planters, urns, and similar elements are encouraged but should be appropriate to the property where they are placed and with the district as a whole. The installation of these elements should not cover or require the alteration of any architectural details.
7. **Trees:** Street trees and trees on private property are encouraged. Don't cut down mature, healthy trees.

Demolition

No building or part of a building may be demolished except as provided below:

1. Inappropriate additions, non-significant portions of a building, and non-contributing buildings may be demolished provided the demolition does not adversely affect the integrity of a contributing building or the character of the streetscape or the district. In reviewing a proposed demolition of an addition, non-significant portion of a building, or non-contributing building and its impact on contributing buildings, the streetscape, and the district, the Historic Conservation Board may consider whether the applicant's plans for new improvements in place of the demolished structure or portion thereof are consistent with the "New Construction" and "Site Improvements" sections of this document, as applicable.

2. The demolition is necessary to carry out an Urban Design Plan, an Urban Renewal Plan, or a Planned Unit Development (PUD) approved by the City Council.

Non-Contributing Buildings

A. Intent and General Guidelines

1. A number of buildings in the district do not contribute to the historic character of the district. The Historic Conservation Board will review the proposed alteration or demolition of these buildings based on the guidelines in this section. These guidelines encourage changes in the

district that will reinforce its historic and architectural character but acknowledge that some buildings are of a different age or architectural period.

2. Buildings that do not contribute to the historic character of the district fall into two general categories:
3. **Newer buildings:** Most buildings that were built within the past fifty years do not fit the historic or architectural context of the neighborhood. Due to their more recent date of construction, these buildings did not contribute to the development of Over-the-Rhine as an urban, nineteenth-century neighborhood. The majority of these newer buildings differ architecturally from the district's historic buildings, especially in scale, building materials, and detailing.
4. **Significantly altered buildings:** Some older buildings have lost the integrity of their original design due to substantial, incompatible exterior alterations. Buildings in this category not only have been stripped of architectural details but have been altered completely in their appearance. The basic design, scale and rhythm of these buildings no longer relate to the historic buildings of the district.

B. Specific Guidelines

1. **Rehabilitation:** The rehabilitation of non-contributing buildings should comply with the guidelines for rehabilitation, as outlined in the "Rehabilitation" section of this document. These rehabilitation guidelines provide a framework for maintaining a building's basic architectural character; they do not suggest that a building be redesigned or altered to appear older than it is. Alterations to a newer building should be compatible with the original architectural character of that structure or should help the building to relate better architecturally to the surrounding historic district. The rehabilitation of an older, altered structure should restore elements of the building's historic character, whenever possible, based on remaining physical evidence, historic documentation, or similar buildings nearby. Alterations to non-contributing buildings should not create a false sense of history. In many cases it is preferable to rehabilitate and reuse a non-contributing building than to have a vacant parcel or parking lot.
2. **Additions:** Additions to non-contributing buildings should comply with the guidelines outlined in the "Additions" section of this document. Additions should be designed to relate architecturally to adjacent buildings and to the building of which they are a part. Additions should not overpower the original building.

List of Non-Contributing Buildings: The buildings identified on [Attachment B](#) incorporated herein by reference, are deemed to be non-contributing buildings that do not contribute to the historic or architectural character of the Over-the-Rhine Historic District.

OVER-THE-RHINE  HISTORIC DISTRICT

OTR

18



40





#THISISOTR

ACKNOWLEDGEMENTS

This document was developed through a community effort led by the Over-the-Rhine Foundation, the Over-the-Rhine Foundation's Infill Committee, and professional consultants. We wish to acknowledge the following:

Over-the-Rhine Foundation Board of Trustees:

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David Fatherree
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Andy Holzhauser, Treasurer
Marilyn Hyland
Danny Klingler, Infill Committee Co-Chair
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Sean Suder
Nancy Yerian

Consultation provided by the City of Cincinnati Office of the Urban Conservator:

Beth Johnson, Urban Conservator

Document design by:

Hyperquake
M+A Architects

Special thanks to:

Phil Armstrong
Matt DeRhodes
Adam Hartke
Chris Heckman
Clayton Wirtz

This document was funded in part by:

The Over-the-Rhine Foundation
The Carol Ann and Ralph V. Haile, Jr./U.S. Bank Foundation
Certified Local Governments Grant administered by Ohio History Connection from the U.S. Department of the Interior's Historic Preservation Fund (CFDA 15.904)

Over-the-Rhine Infill Design Competition:

Sanyog Rathod, Sol Design + Consulting, 1st Place
Maren Kuspan, 2nd Place
O'Sam Mardin, Professional Design Associates, Inc., Honorable Mention

Community Engagement was sponsored by:

The Over-the-Rhine Foundation
Cincinnati Preservation Association
3CDC
8K Construction Company
The University of Cincinnati's Niehoff Urban Studio
AIA Cincinnati
The Christian Moerlein Brewing Company
An Anonymous Donor

INTRODUCTION

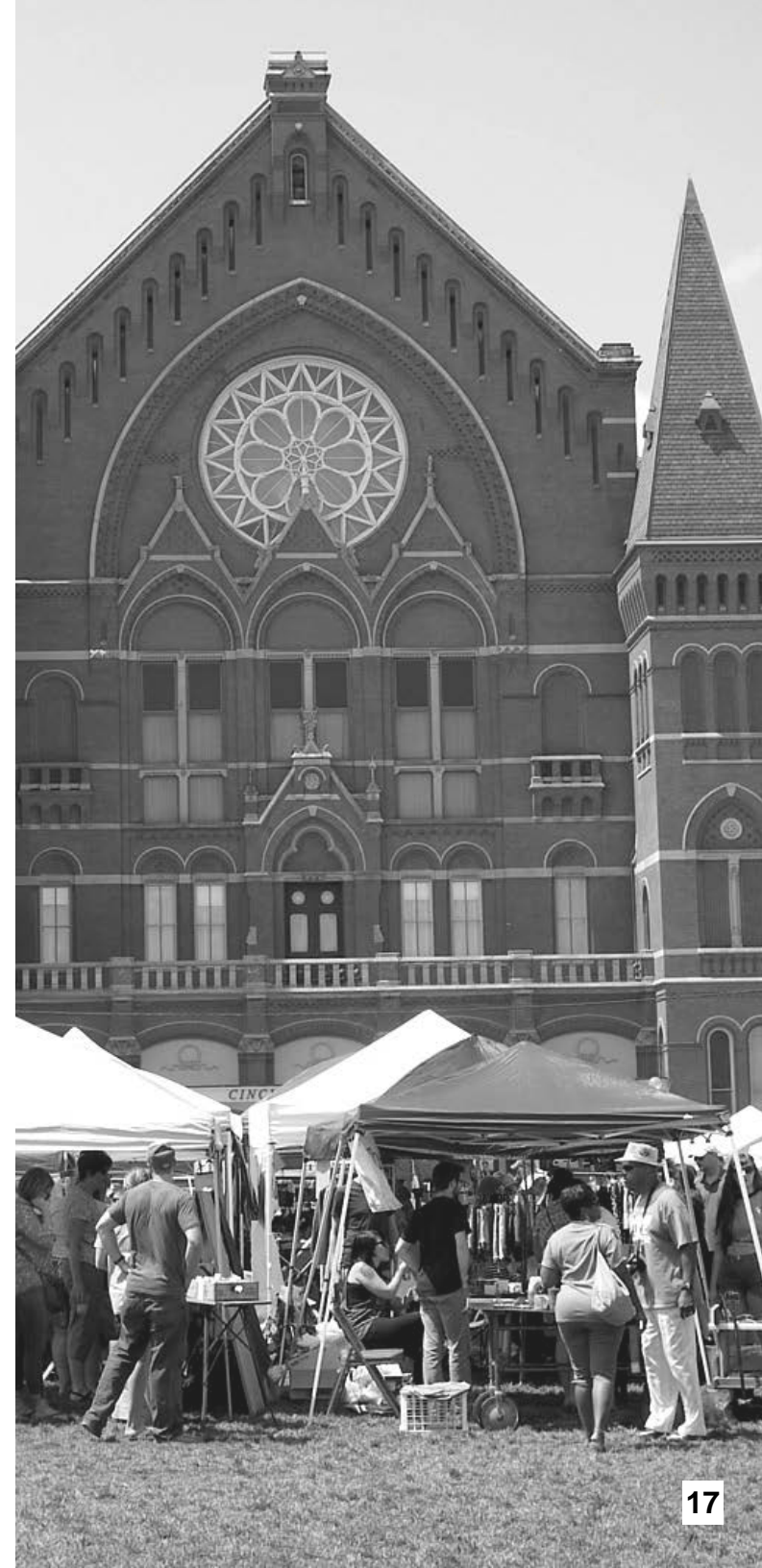
The Over-the-Rhine Historic District is Cincinnati's historic heart, and a national treasure. Few neighborhoods in America inspire like Over-the-Rhine, with its expansive collection of Italianate churches, breweries, and tenements providing one of the best surviving examples in the country of a 19th century urban neighborhood. The Historic District serves not only as the showpiece of Cincinnati's cultural heritage, but also as an economic engine and driver of the local economy. The famed travel historian Arthur Frommer said of the neighborhood, "When I look at [Over-the-Rhine], I see in my mind the possibility of a revived district that literally could rival similar prosperous and heavily visited areas."¹ Indeed, it is precisely the unique historic character of Over-the-Rhine and Pendleton that has fueled the renewal of the area and helped to facilitate a resurgence in the city as a whole.

As a national exemplar for what historic preservation can do, it is essential that the Over-the-Rhine Historic District continue to be preserved and protected so that its status as both a cultural and an economic asset for the city of Cincinnati is maintained. This includes protection not only from demolition of the historic structures that comprise the District, but also from insensitive new construction built on vacant sites in the neighborhood.

New construction has powerful impacts on the fabric and sense of place of the Over-the-Rhine Historic District, and can either enhance the historic character of the District, or damage it in harmful and irreparable ways. Moreover, due to demolition that occurred in the 20th century, new construction will ultimately comprise a very significant portion of the Historic District, and will thus play a substantial role in defining its sense of place.

Scant reference to new infill construction is present in the Revised Over-the-Rhine Historic District Conservation Guidelines of 2003. What is provided lacks clarity of intent and instruction. This document emerges from a need for a more comprehensive and illustrated set of guidelines dedicated to new infill construction, and is designed to provide extensive guidance to owners, architects, developers, city officials, citizen board members and others in the conception and review of appropriate new infill.

*The Over-the-Rhine
Historic District
is Cincinnati's
historic heart, and
a national treasure.*



These guidelines are intended to provide a regulatory framework for new construction that supports the existing historic architecture and protects the character of the Over-the-Rhine Historic District for current and future generations of Cincinnatians and visitors alike. Definitions of key items are found in the Glossary beginning on p. 57.

The following statements describe the intention of this document:

1. Language used throughout the document is intended to convey the level of importance of compliance with each guideline referenced. Guidelines containing the words “must” or “must not” indicate that the guideline ought to be complied with in all circumstances. Guidelines containing the words “should” or “should not” indicate the intention that the guideline is very important and should be complied with in most cases, while recognizing that some high caliber designs will still comply with the spirit and intent of the Guidelines without strict adherence to the guideline in question, and warrant exemption from these guidelines. Guidelines containing the word “may” indicate the intention that compliance is optional.
2. Illustrations provided in this document are intended to accompany and clarify language provided but do not supersede it.
3. New construction is allowed on vacant sites in the Over-the-Rhine Historic District, because gaps due to demolition weaken the streetscape and the overall character of the District.
4. New construction should support and enhance the historic architecture of the Over-the-Rhine Historic District, and should not overwhelm or detract from the character of the District. The exceptional quality of the existing historic buildings in the District provides an outstanding framework for new construction.
5. New construction should be well-designed, contemporary yet compatible with, and complementary to, the surrounding historic buildings in the District. The understanding and interpretation of patterns in the surrounding historic context is essential to infill design. New construction should honor the patterns found in the height¹, massing, shape, footprint, roofs, openings, and rhythm of the surrounding historic context, but must not replicate the architectural detailing found on historic buildings.
6. The Historic Conservation Board’s review of new construction will focus on the design compatibility with contributing historic structures located within the same block face.² At times, a dearth of extant historic buildings will make it necessary to expand consideration to include historic context on the opposing block face, and/or additional block faces in both directions. Design compatibility will be assessed based on common patterns among these contributing buildings, rather than conditions found on individual contributing buildings. Review of new construction will focus particular attention on massing, scale, height, rhythm, and setback.
7. These guidelines will be used to judge the design compatibility of new construction with the historic architecture of the District.

Note

- 1 See Height Character Map on page 12 to understand the height, scale, and massing characteristics of different parts of the Historic District.
- 2 See Context Hierarchy on page 8. Context reference is based on contributing structures in proximate block faces and blocks. Materials and Openings are exceptions and these may reference contributing structures located throughout the entire District.

HISTORY¹

The Over-the-Rhine Historic District is significant in the continuing history of Cincinnati and the United States. In 1983 the District was listed on the National Register of Historic Places, in recognition of both its exceptional nineteenth-century architecture and its association with the successive waves of German immigration to America in the nineteenth century.

The Historic District's collection of commercial, residential, religious and civic architecture is one of America's largest and most cohesive surviving examples of an urban, nineteenth century community. Similar neighborhoods in other cities have been decimated or lost entirely. The Over-the-Rhine Historic District, however, continues to display its original dense, urban development patterns and buildings of excellent architectural quality, imbuing the neighborhood with a "sense of time and place." Rows of three-to five-story brick buildings constructed along the sidewalk characterize the streetscape. Many buildings have storefronts on the first floor with residential space on the upper floors. The Italianate style is the predominant architectural style in the District. Other nineteenth-century styles, including Federal, Greek Revival, Second Empire, Queen Anne, and Renaissance Revival, add to the flavor of the District.

The District also has many simply designed, working-class buildings that display modest elements of the high architectural styles.

The Over-the-Rhine Historic District encompasses a dense, urban area that displays a visual continuity conveying a sense of time and place. The physical relationship of adjacent buildings in a dense environment is accentuated by the uniform faced lines imposed on the streets. The buildings' consistent scale and height, similar materials, and architectural detailing blend to create distinctive streetscapes reflecting the historic development of the area.

In the nineteenth century Over-the-Rhine and Pendleton were home to businessmen of means and their families, shop owners, working-class families, and the poorest of immigrants. Like other urban centers of the period, this area was part of the 'walking city,' in which most people could easily walk from their homes to places of employment, entertainment, and worship. Building exteriors were designed to be experienced and appreciated by pedestrians along the sidewalks, and buildings were placed at the front of their lots for easy pedestrian access.



PROCESS OF DEVELOPING NEW CONSTRUCTION

Prior to designing an infill building in the Over-the-Rhine Historic District, developers contemplating a new construction project should undertake the following pre-design steps.



01

Understand the historic neighborhood

All successful new construction will emerge from an understanding and respect for the significance of the Over-the-Rhine Historic District as a historical place; it is therefore essential that this understanding be in place before any design efforts have begun. It is recommended that developers and their designers tour the District on foot, and study written materials on the history and significance of Over-the-Rhine.¹

02

Understand the site and surrounding context

Each vacant site in the Over-the-Rhine Historic District is contextually related to the historic buildings in the micro-context surrounding the site. Successful new construction will sensitively integrate into this micro-context. Developers and their designers should tour the area surrounding the site extensively, studying the historic buildings within the same block face and their attributes, including height, massing, setback, proportion, rhythm of openings, composition, and roofscapes. This study should focus on broad patterns that bring cohesiveness to the block face, rather than isolated anomalies on individual buildings. If there is insufficient extant historic context within the block face, developers and their designers should expand their study to the opposing block face and additional block faces in either direction, as described in the Context Hierarchy on page 8. It is also helpful to review Sanborn Fire Insurance maps to gain an understanding of what previously existed on the site, as well as the Height Character Map on page 12 to understand the existing height, scale, and massing characteristics of the historic micro-context.

03

Thoroughly review these guidelines

Once a baseline understanding of the history of the District, the development site, and the surrounding historic micro-context has been achieved, developers and their designers should consult these guidelines to work toward a high-quality design that is compatible with the historic context.

04

Notify the Community

Early in the design process, developers and their designers are encouraged to notify the appropriate community councils and other neighborhood groups of their intent to build. These community groups can provide knowledge, context, and insight to a developer/designer that will aid in the design of the project and assist in obtaining community support. This step also provides an opportunity to enhance the developer/designer's understanding of the Over-the-Rhine Historic District through the transfer of information from long-standing stakeholders in the District.

05

Compliance with Building Codes

Nothing in these guidelines shall prevent new construction from complying with all relevant building codes, including the Americans with Disabilities Act. Building Code and ADA compliance should be a foundation of the design process.

¹ See, for example, Robert Wimberg, Cincinnati: Over-the-Rhine (Cincinnati: Ohio Bookstore, 1988); Don Heinrich Tolzmann, Over-the-Rhine Tour Guide: Cincinnati's Historic German District, Over-the-Rhine, and Environs (Milford: Little Miami Publishing Company, 2010)

CONTEXT HIERARCHY

LEVELS OF CONTEXTUAL REFERENCE

The foundational principal of this document is that the existing contributing historic buildings within the Over-the-Rhine Historic District provide an ideal framework for guiding compatible and sensitive new infill development. Accordingly, many of the guidelines herein ask developers and their designers to look to the surrounding historic micro-context to inform key aspects of infill design, such as height, setback, composition, rhythm, window openings, and roof shape.

The levels of contextual reference required in this document begin at the level of greatest proximity to the building site (i.e., the block face) and move outward as necessary.

Insufficient Extant Historic Context: If there are fewer than three (3) non-monumental contributing buildings located within the applicable Level of Contextual Reference, then there is Insufficient Extant Historic Context and the next level of contextual reference shall apply.



01

Block Face

The first level of contextual reference in this document shall be to “non-monumental contributing buildings located within the same block face”. The block face is given primacy because it is the most fundamental building block of development in the Over-the-Rhine Historic District. Buildings within the same block face were often developed at or around the same time, under similar site constraints, and as a rule they exhibit similarities in dimensionality, urban design, and architectural language. Due to demolition, however, in some cases there is insufficient extant historic context in a particular block face on which to base important decisions about infill development. In such cases, it is necessary to expand the frame of reference to capture a wider swath of historic context.

02

Block

If insufficient extant historic context is available, the second level of contextual reference shall be to “non-monumental contributing buildings located within the same block”. The block widens the contextual reference area to include not just those buildings located within the same block face, but also those contributing buildings located directly across the street on the opposing block face. While opposing block faces do occasionally exhibit significant differences in building typology, use, setback, and height, in general, buildings on opposing block faces share an underlying consistency of rhythm that makes them identifiable as cohesive blocks.

03

Additional Block Faces

After looking at the block, if there is still insufficient extant historic context available, the third level of contextual reference shall be to “non-monumental contributing buildings located within the same block plus the next block face on either side of the subject block face”. This is the next most coherent context to inform infill development, as homogeneity of form and design is generally expressed at the street level throughout the Over-the-Rhine Historic District, and adjacent block faces within streets exhibit greater commonality than block faces further down.

If there is still insufficient extant historic context available, the final level of contextual reference shall be to “non-monumental contributing buildings located within the same block plus the next block face on either side of both the subject block face and the opposing block face.”



TABLE OF CONTENTS

01 **MASSING,
HEIGHT & SCALE**

02 **SETBACK**

03 **COMPOSITION**

04 **RHYTHM**

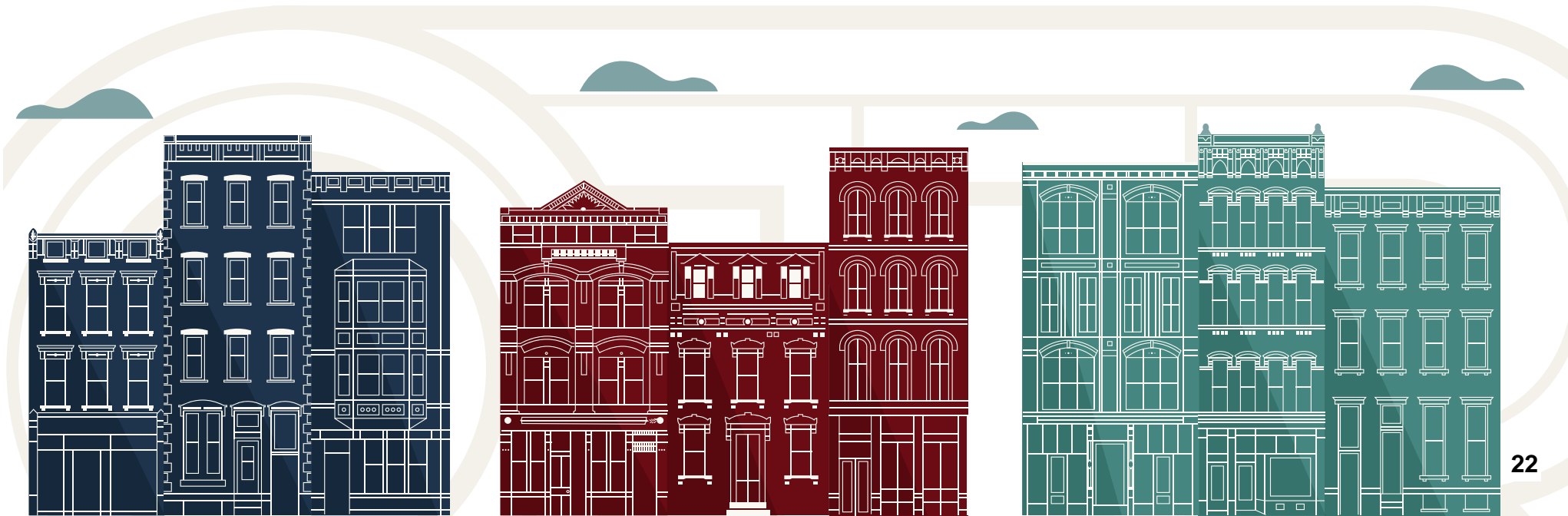
05 **OPENINGS**

06 **ROOF**

07 **MATERIALS**

08 **MISCELLANEOUS**

09 **APPENDIX**





MASSING, HEIGHT & SCALE

At right: 372 Lafayette Street in New York City demonstrates consistency in width, height, and massing with its historic context.



MASSING, HEIGHT & SCALE

HISTORIC CONTEXT

Massing, Height and Scale are fundamental to the unique identity and character of the Over-the-Rhine Historic District. The District was developed on long, narrow lots of land, resulting in the construction of tall, long, narrow buildings designed to maximize density. Thus, the quintessential building is significantly taller and longer than it is wide, with either a rectangular or “L” shape volume. The massing and height of each building varies from its neighbors, but within a limited range, resulting in the particular scale that defines each block.

The archetypal block in the Over-the-Rhine Historic District ranges from 2-3 stories, to 3-4 stories in height. Several blocks -primarily in the southern half of the District- feature a 3-5 story character. The edge of the Historic District along Central Parkway is distinctly different in character than the rest of the District and features some significantly taller buildings oriented toward the Central Business District and the West End.

Most buildings in the District are relatively narrow, 20-40 feet in width. The northwestern section of the District, reflecting the brewing heritage of the neighborhood, contains many larger footprint industrial buildings. Portions of Central Parkway are characterized by buildings of greater massing than is typical of the District.

The Height Character Analysis Map on the following page is provided to show the block-by-block height character of the Over-the-Rhine Historic District.











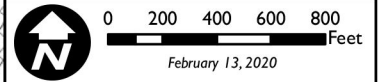
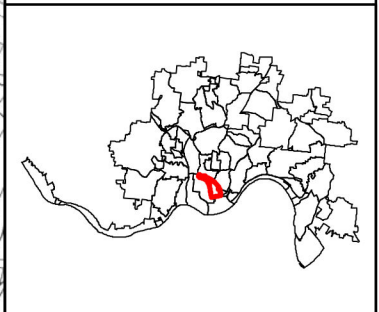
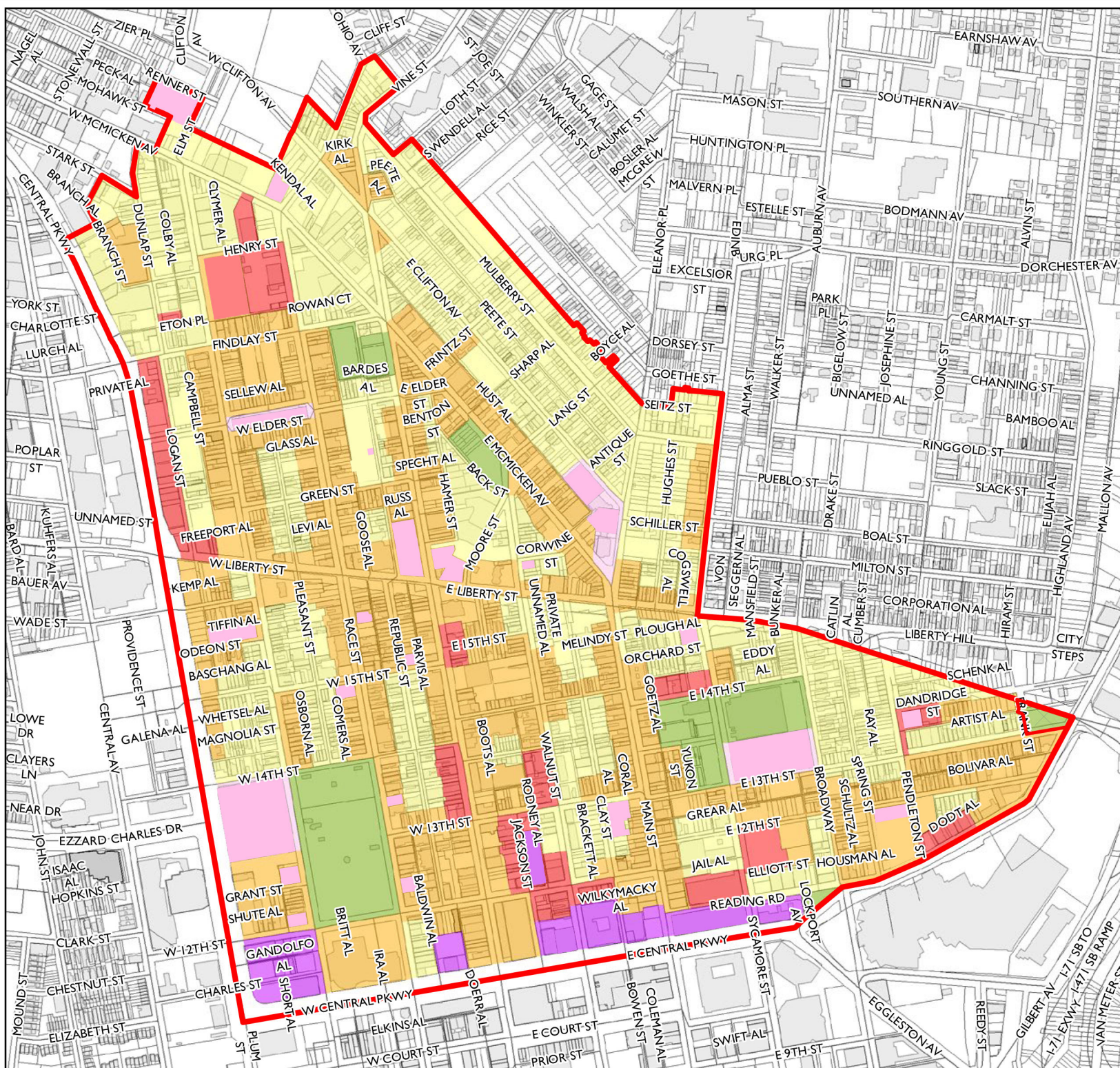
24-30 E. 15th Street typifies the massing, height, and scale of buildings found in the Over-the-Rhine Historic District.



1430-1438 Race Street typifies the massing, height, and scale of buildings found in the Over-the-Rhine Historic District.

Over-the-Rhine Historic District

-  Over-the-Rhine Historic District
-  Buildings
- Building Heights**
-  2 - 3 Stories
-  3 - 4 Stories
-  3 - 5 Stories
-  5+ Stories
-  Park
-  Monumental Buildings



February 13, 2020



MASSING, HEIGHT & SCALE

01

The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two and five stories.



SETBACK

At right: This building in central Amsterdam responds to its historic context by meeting the edge of all four property lines.



SETBACK

HISTORIC CONTEXT

The Over-the-Rhine Historic District was developed as a dense walking neighborhood with the vast majority of buildings built directly up to the sidewalk. This mostly zero setback environment presents a rich pedestrian experience full of vitality, visual interest, and public access to commercial property. A majority of buildings are also built up to the side lot lines, though some buildings have small side setbacks. In rare cases, small, detached residential buildings are set back from the street using a low, visually-permeable, decorative iron fence to mark the edge. Some larger iconic buildings such as schools, churches, and public buildings are set back from the street to provide public space, adding to their civic monumentality.

The Over-the-Rhine Historic District is dominated by zero setback streetscapes, as seen here in the 1400 block of Vine.



Some block faces have groups of buildings with small front and/or side setbacks, as seen here at 211-217 Orchard Street.



SETBACK

GUIDELINE INTENTION

New buildings are to respect the established setback pattern on the street. A zero lot line setback at the front and on the sides will be the first response to a new construction project unless a majority of other contributing buildings along the block face have setbacks.

01

Buildings should be built with zero setback from front lot lines, side street lot lines, and side alley lot lines, except as defined in 02.¹

02

Buildings should have a front setback if all of the following conditions exist:

- a. The building is a residential building.
- b. The building is not located on a corner lot.
- c. There are at least three non-monumental contributing buildings extant within the same block face, and a majority of these have a front setback of at least 2 feet.
- d. The depth of the setback is consistent with the setbacks of those contributing buildings defined in 02:c.

03

Buildings should be built with zero setback from all interior side lot lines for at least the first 20 feet of depth of the building, except as defined in 04.

04

Buildings should have an interior side setback on one or both sides if all of the following conditions exist:

- a. The building is a residential building.
- b. There are at least three non-monumental contributing buildings extant within the same block face, and a majority of these have an interior side setback on at least one side.
- c. The depth of the setback is consistent with the interior side setbacks of those contributing buildings defined in 04:b.

Note

¹ See Glossary on p. 57 for definition of *articulative recesses* and *setback*.

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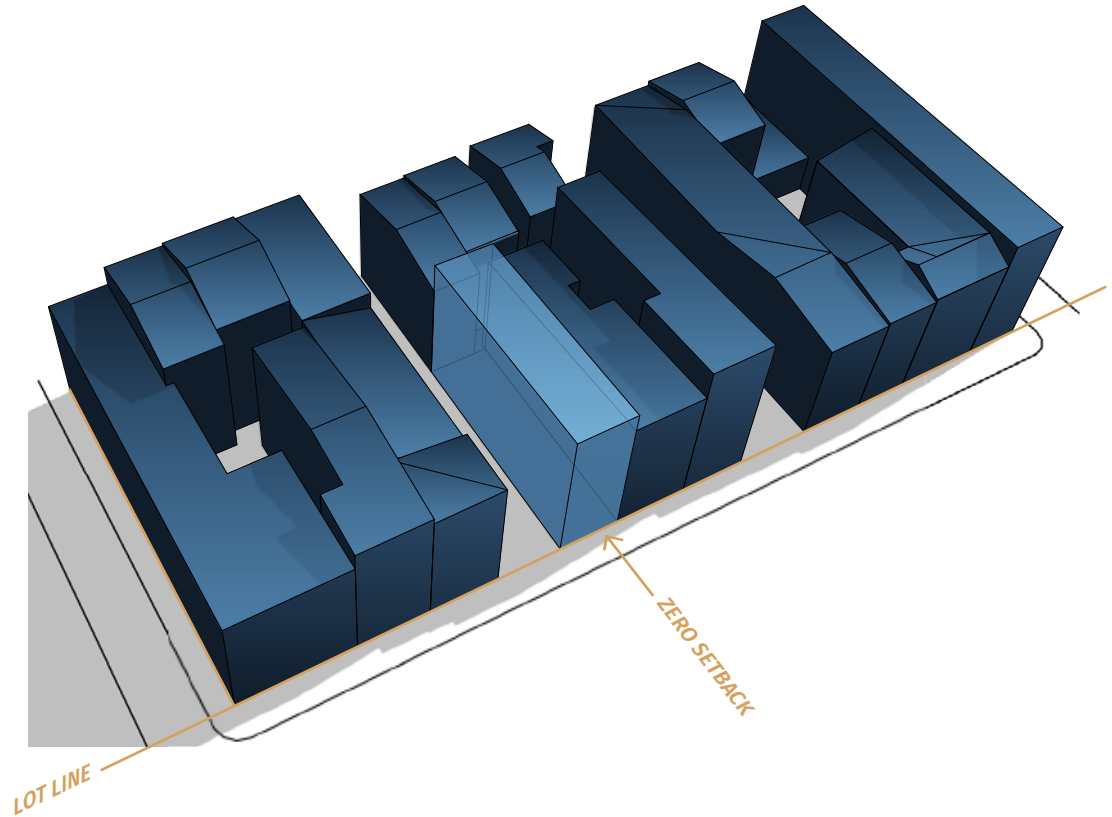
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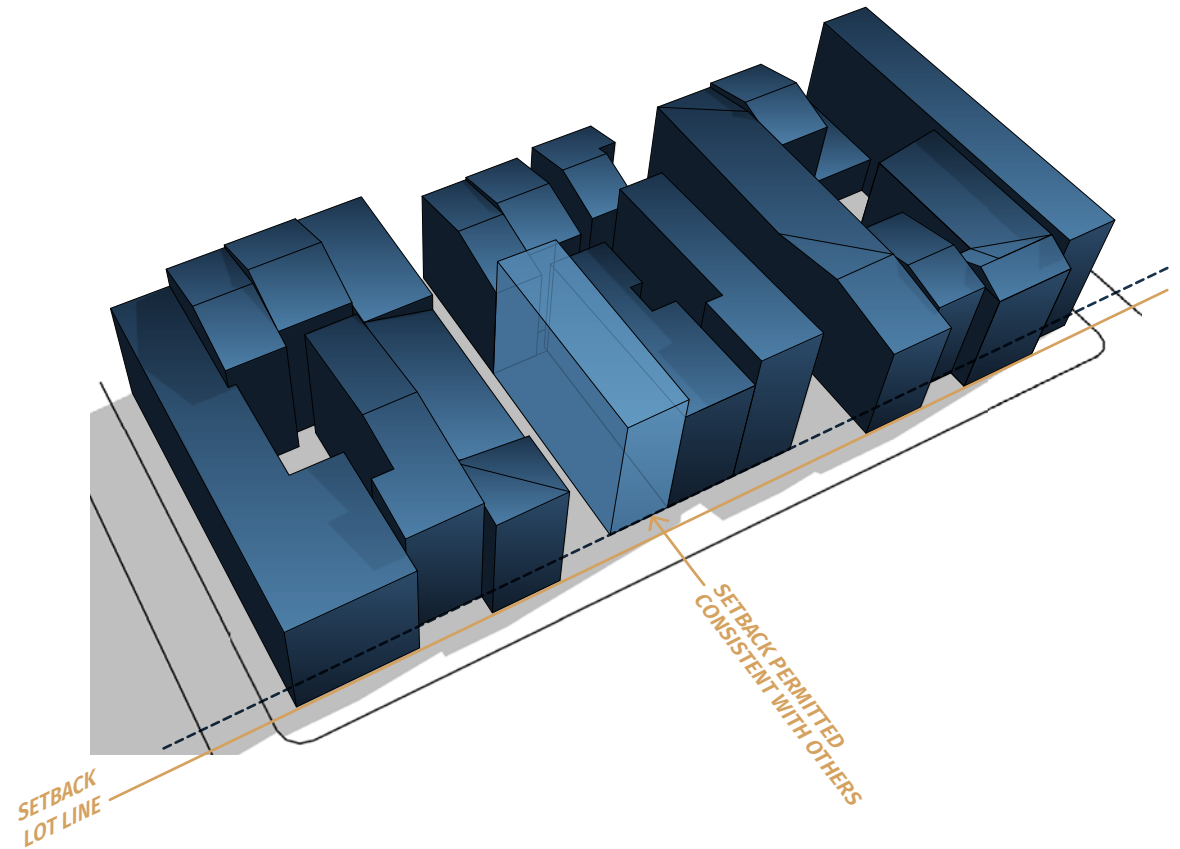
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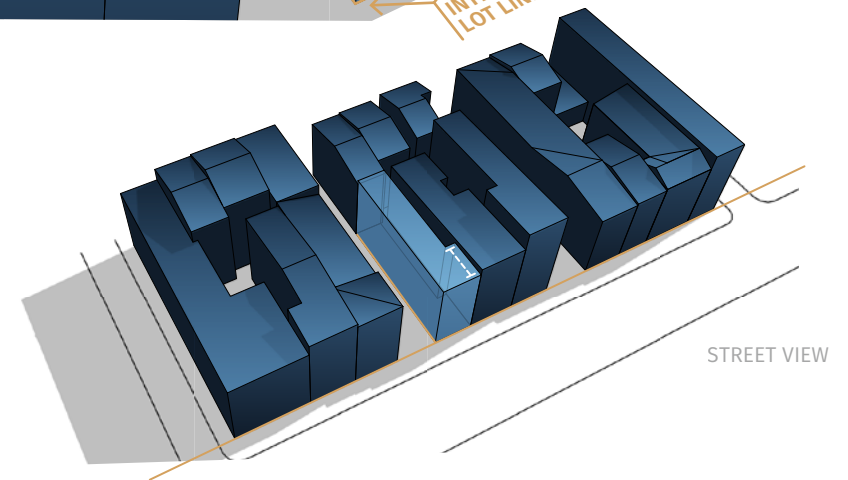
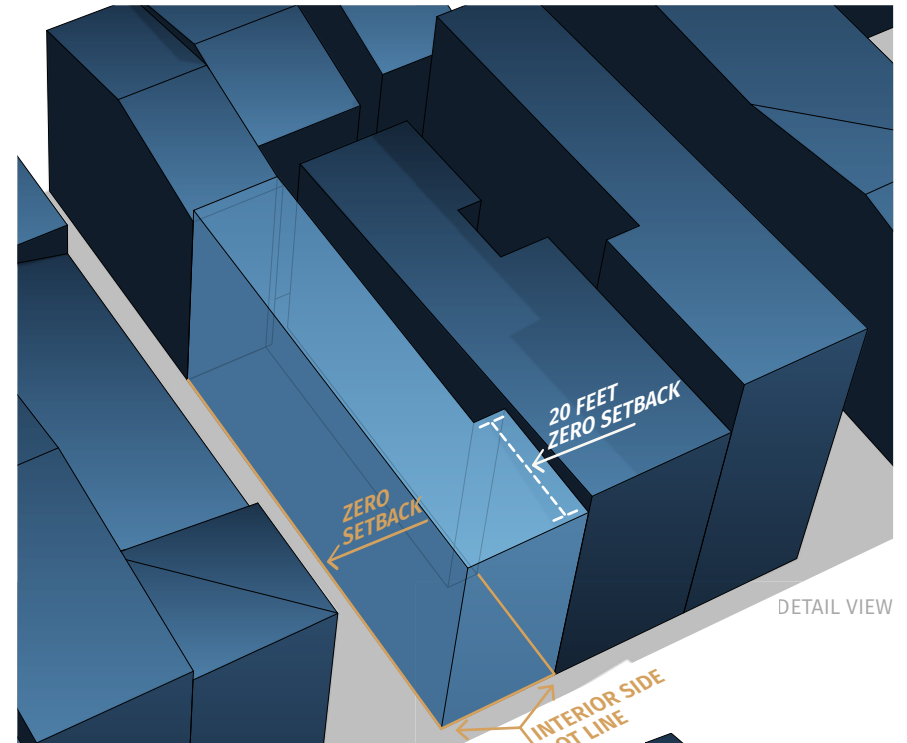
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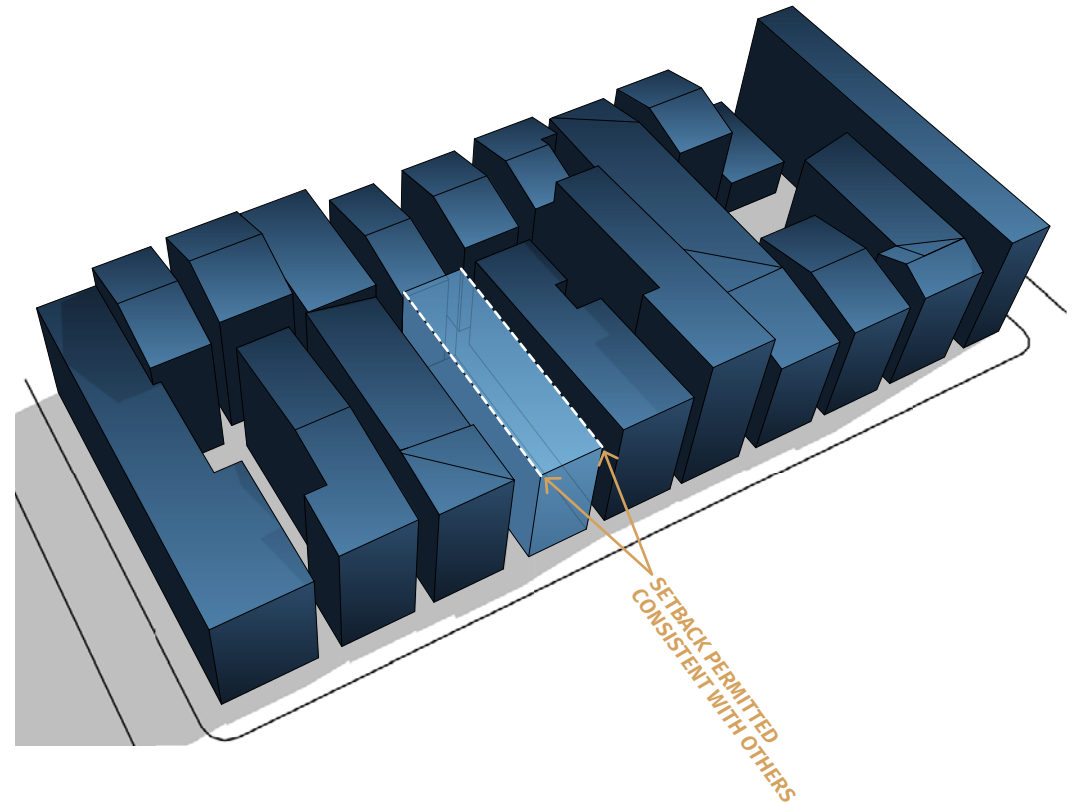
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C. TOP

B. MIDDLE

A. BASE

COMPOSITION



At right: 41 Bond Street in New York City features clearly delineated base, middle, and top components.

COMPOSITION

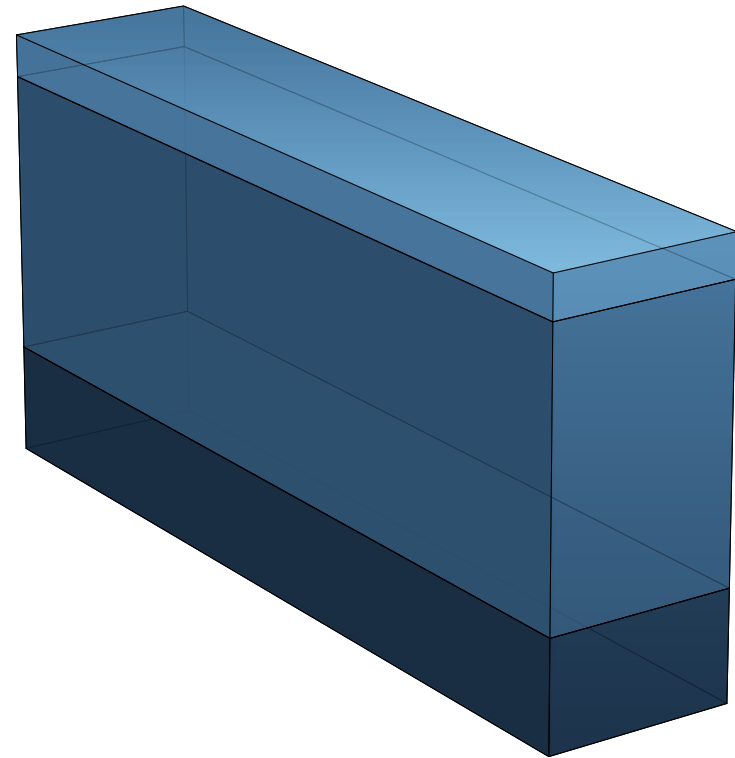
HISTORIC CONTEXT

The typical building in the Over-the-Rhine Historic District has a three-part organization consisting of a base, middle, and top. Each of these elements plays a specific role in the composition of the building.

While there is a distinct difference in the bases of commercial and residential buildings, the middle and top components of buildings in the District are similar across different uses.



1119 and 1121 Walnut Street illustrate the differences between commercial and residential bases.



COMPOSITION: BASE

HISTORIC CONTEXT

Commercial Storefronts

First-floor storefronts are common and are a significant architectural feature in the District’s commercial and mixed-use buildings. Storefronts take on a dual role. First, as the place where merchants display their wares, they allow customers to “window shop”, thus providing intimate contact with the pedestrian. Second, by forming the architectural base of the building, they also give scale, rhythm, and texture to the street.

Storefronts are prevalent on commercial arterials but are also found interspersed on predominantly residential streets – particularly on corner buildings. Corner storefronts typically wrap the primary façade to face both streets.

During the latter decades of the 19th-century, most storefronts in the District were built of brick columns faced with sandstone or cast iron pilasters. Architecturally, styles include Greek Revival, Italianate, and Queen Anne. Detailing ranges from very simple stone piers and lintels to very elaborate cast iron columns assembled in a variety of patterns. The exact size, scale and level of detail vary greatly from building to building, but most storefronts share a common design framework.

Residential Bases

Residential bases often consist of a stone foundation, typically rising 9 to 24 inches above grade and capped by a projecting sandstone or limestone water table. Some bases contain windows that provide ventilation and light to the building’s basement. Residential bases may also be characterized by the presence of stoops leading to an elevated entry. These stoops vary in height, but are generally consistent in form and height with other stoops within the same block face.



1708 Elm Street exhibits the characteristics of residential bases.



119 E 12th Street exhibits the characteristics of commercial storefronts.

COMPOSITION: BASE

COMMERCIAL/MIXED-USE BUILDINGS

GUIDELINE INTENTION

New storefronts will evoke the scale, verticality, shadow detail, rhythm, and proportionality of historic storefronts in the District.

01

Commercial/mixed-use buildings should have a storefront, and the storefront should conform to the following:

- a. Storefronts should feature the basic components of a storefront system, including a bulkhead, transom windows, display windows, substantial vertical divisions, header/continuous lintel, and primary entry door. They may also include components such as columns, pilasters, sills, and storefront cornice.
- b. Storefronts should span the full width of primary façades and may wrap the corner onto secondary façades.¹
- c. Storefront height should be consistent with the general height of contributing storefronts located within the same block face.²
- d. Storefront windows should be recessed nominally from the plane of the façade.
- e. The ratio of storefront glazing to total storefront area should be consistent with the ratio of storefront glazing to total storefront area on contributing storefronts located within the District.
- f. Storefront glazing should not be covered by systems that obscure the view of the glazing from the public realm.
- g. Storefronts may be operable provided that the division, configuration, orientation, and recess of windows is consistent with the division, configuration, orientation, and recess of windows on contributing storefronts located within the same block face.²

02

Storefronts should be taller than individual upper floors.

03

Commercial/mixed-use buildings may have vehicular entry. Vehicular entry may be placed on a street-facing wall if all of the following conditions exist:

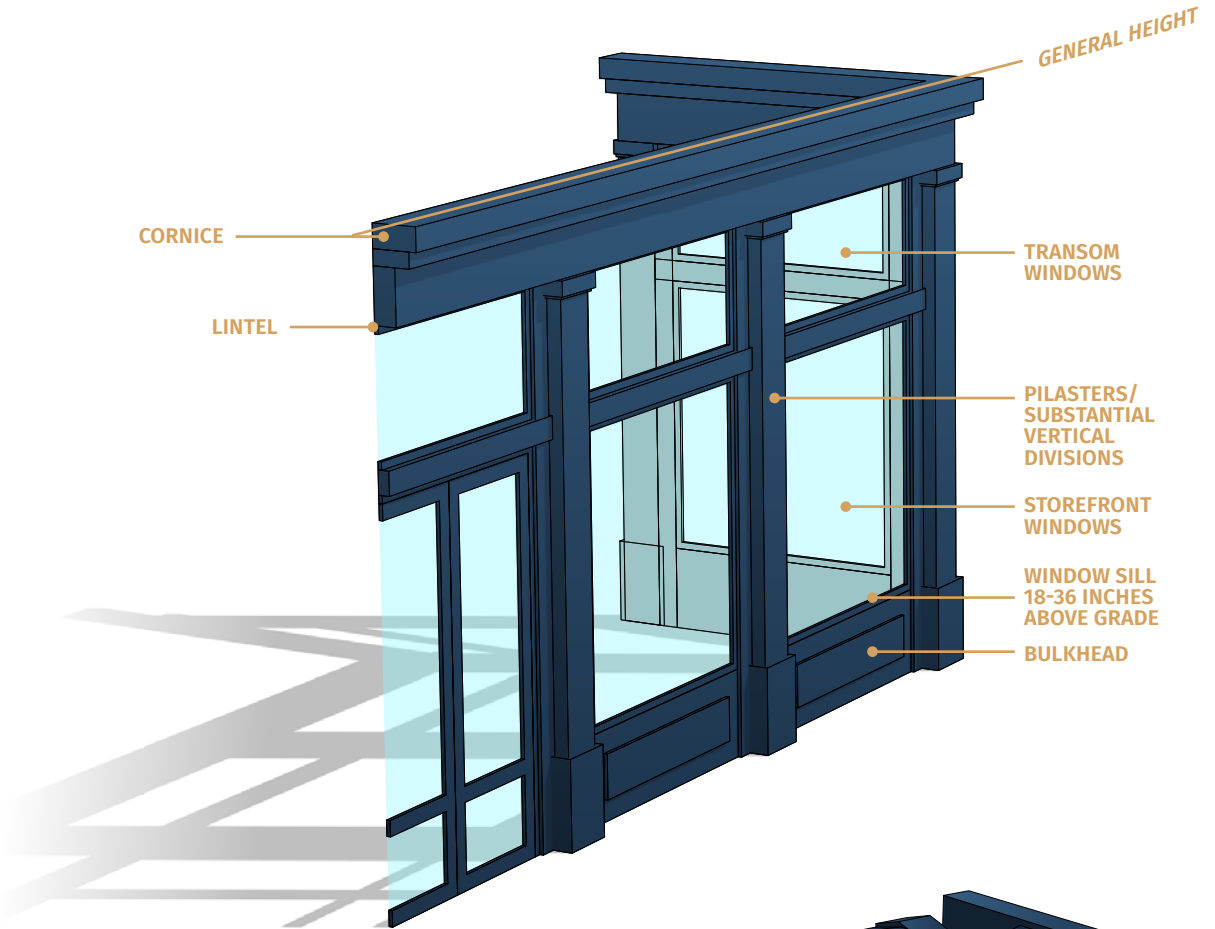
- a. The building is a garage or a commercial building for which parking is a significant part of the program.
- b. There is no feasible or practical alley access, as determined by the Department of Transportation and Engineering, that would permit the placement of vehicular entry on an alley rather than a street-facing wall.
- c. If garage doors are used, they are designed to blend inconspicuously into the wall system.
- d. If garage doors are not used, the vehicular entry and any associated equipment is set back from the plane of the façade.

Note

- 1 Storefront height on secondary façades should match the storefront height on the primary façade.
- 2 Must follow the rules for levels of context hierarchy defined on p. 8.

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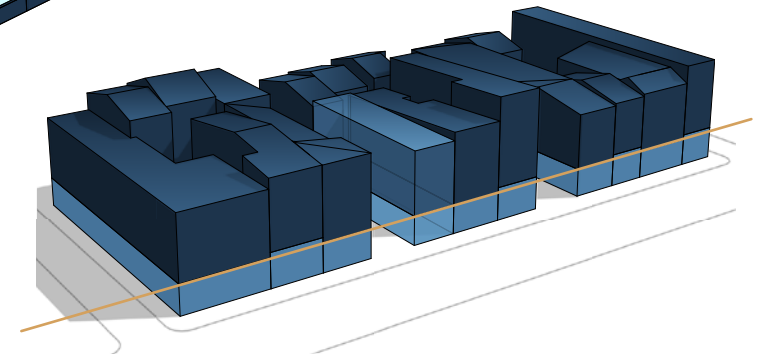
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Note

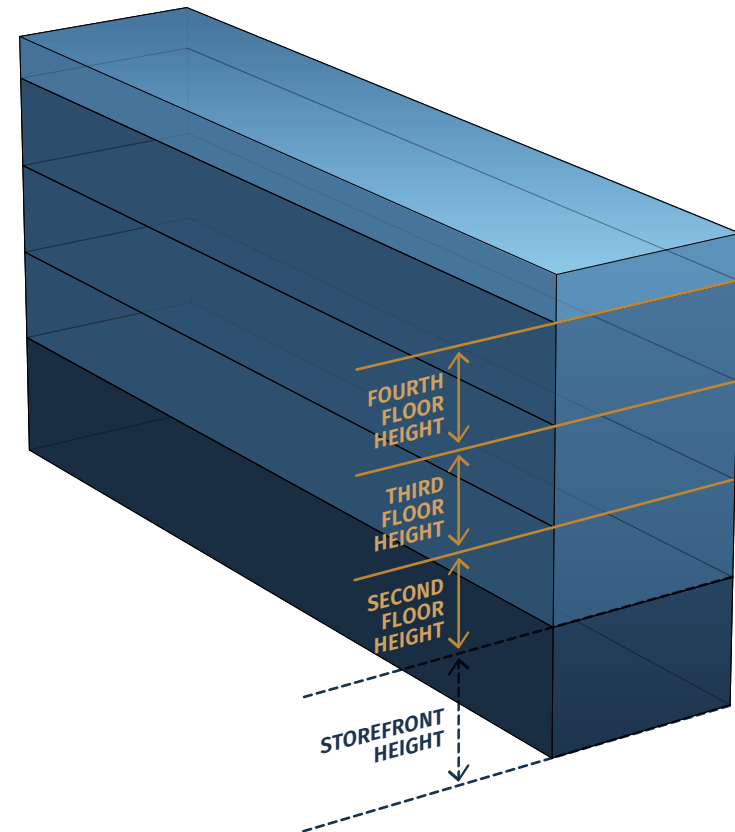
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02 Storefronts should be taller than individual upper floors.



COMPOSITION: BASE

RESIDENTIAL BUILDINGS

GUIDELINE INTENTION

Residential bases will be well defined and distinguishable from the middle component of a building.

01

Residential buildings should have a base component represented by a change in material and/or design that marks the transition from base component to middle component.

02

Base component height should be consistent with the general height of base components on non-monumental contributing residential buildings located within the same block face.¹

03

Residential buildings may have vehicular entry. Vehicular entry may be placed on a street-facing wall if all of the following conditions exist:

- a. The vehicular entry is not located on the primary façade.
- b. A majority of existing buildings located within the same block have vehicular entry.
- c. If garage doors are used, they are placed at the lot line, and are designed so as to blend inconspicuously into the wall system.
- d. If garage doors are not used, the vehicular entry and any associated equipment is set back from the plane of the façade.

Note

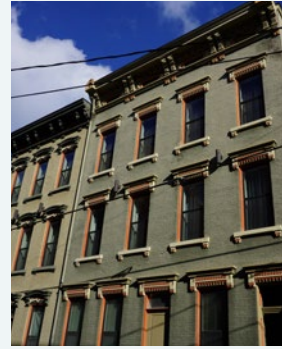
¹ Must follow the rules for levels of context hierarchy defined on p. 8.

COMPOSITION: MIDDLE

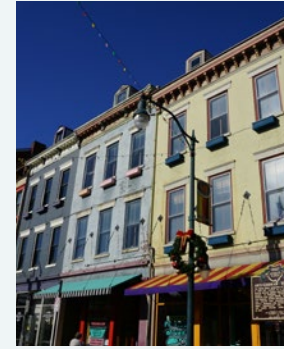
HISTORIC CONTEXT

The middle component of buildings in the Over-the-Rhine Historic District is the area between the top of the base component, and the bottom of the cornice. The middle component contains window openings, sills, lintels, and other detailing and articulation that contributes greatly to both the vertical emphasis and rhythm of the design.

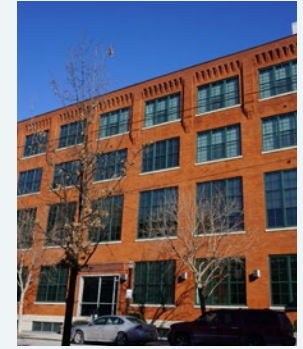
In commercial/mixed-use buildings, the middle component is typically distinguished from the storefront below through a strong horizontal element, such as a stone or cast iron lintel or cornice corresponding to a division in the use of the building. In residential buildings, the horizontal element dividing middle from base is the top of the stone foundation or water table that terminates below the building entry. In both building types, the middle component is distinguished from the more decorative top component through the application of a strong horizontal element.



1222 and 1224 Republic Street exhibit the characteristics of composition: middle in residential buildings.



118-128 W. Elder Street exhibit the characteristics of composition: middle in mixed-use buildings.



1212 Jackson Street exhibits the characteristics of composition: middle in industrial buildings.

COMPOSITION: MIDDLE

GUIDELINE INTENTION

The design of the middle component will provide a consistent architectural vocabulary along the streetscape.

01

Buildings should have a change in material and/or design that marks the transition from base component to middle component, and from middle component to top.

COMPOSITION: TOP

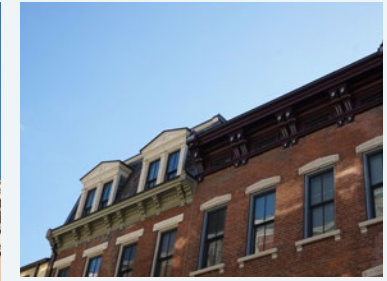
HISTORIC CONTEXT

Strong terminating elements at the tops of buildings are defining features of buildings in the Over-the-Rhine Historic District. Projecting cornices supported by decorative brackets and bold, decorative frieze panels are the quintessential tops found in the District. Historically, cornices projected over buildings to minimize rainfall on façades. Decorative cornices in the District often exhibit their own micro-composition of base, middle, top, while remaining consistent with an overarching theme throughout the District.

Some buildings feature less elaborate building tops – such as bracket-less box gutters and corbelled parapet walls – that nevertheless serve as strong terminating elements to the building. On other buildings the entire uppermost story serves as a top, realized by a mansard roof or a lower secondary cornice.



116 W. Elder Street exhibits the characteristics of composition: top.



213 and 219 Odeon Street exhibit the characteristics of composition: top.



8 Green Street exhibits the characteristics of early 20th-century composition: top.



1408 Elm Street exhibits the characteristics of composition: top.

COMPOSITION: TOP

GUIDELINE INTENTION

New buildings will provide a crowning visual termination to the composition.

01

Buildings should employ a strong top component that terminates the façade and creates shadow detail.

02

Top components should not imitate the District's historic cornices.

03

Top components should have a height that is consistent with the general height of historic top components on non-monumental contributing buildings located within the same block face.¹

04

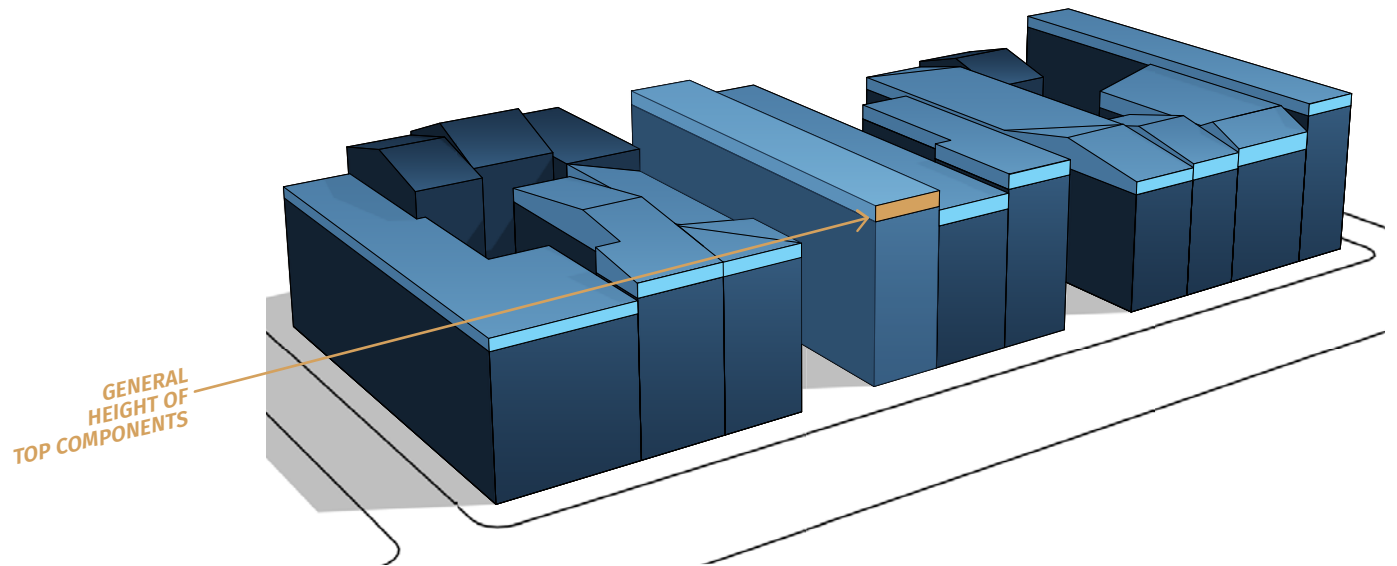
The projection (overhang) of top components beyond the plane of the façade must not exceed the furthest projection among top components on non-monumental contributing buildings located within the same block.

Note

¹ Must follow the rules for levels of context hierarchy defined on p. 8.

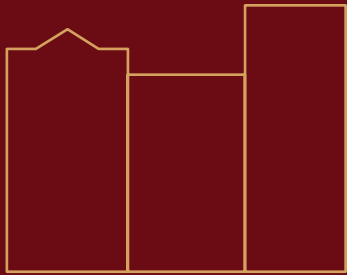
03

Top components should have a height that is consistent with the general height of historic top components on non-monumental contributing buildings located within the same block face.¹



Note

¹ Must follow the rules for levels of context hierarchy defined on p. 8.



RHYTHM

At right: This building in New York City maintains the historic rhythm of the streetscape by honoring the height, width, pattern of window openings, and planar articulation of its neighbors.



RHYTHM

HISTORIC CONTEXT

The “rhythm” formed by the repetition of buildings is one of the core elements that knits the Over-the-Rhine Historic District together into a cohesive fabric. Most buildings are tall and narrow – typically 20-40 feet in width and three to four stories in height – and exhibit a variation in height from one building to the next. Most buildings also feature regularly spaced, horizontally and vertically aligned, symmetrically placed window openings that display a remarkable consistency from one building to the next. Finally, buildings tend to have articulated wall surfaces (e.g., sills, lintels, and bracketed cornices), resulting in the consistent projection of elements from the plane of façades of buildings along the streetscape.

This repetition of tall, narrow buildings of varying height, consistent fenestration geometries, and articulated wall surfaces results in a particular pattern, or “rhythm”, that gives the District’s streetscapes harmony and coherence.

1405-1417 Main Street exemplifies the Over-the-Rhine Historic District’s distinctive rhythm.



529-541 E. 13th Street exemplifies the Over-the-Rhine Historic District’s distinctive rhythm.



RHYTHM

GUIDELINE INTENTION

New buildings will reflect the visual continuity established by the repetition of similarly designed and scaled contributing buildings along the streetscape.

01

Primary façade height should vary from the primary façade height of any neighboring buildings.

02

The rhythm of window openings should be consistent with the rhythm of window openings created by non-monumental contributing buildings located within the District.

03

Buildings should sensitively maintain the established rhythm created by non-monumental contributing buildings located within the same block face.¹

04

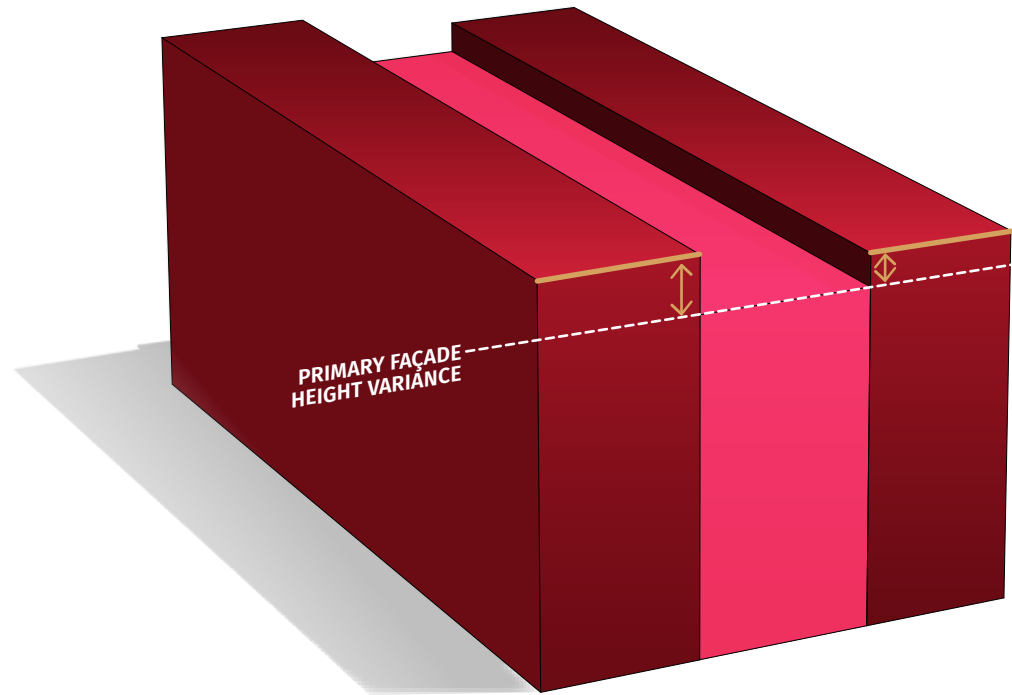
If primary façade width is greater than primary façade height, the façade design should be organized to create vertical emphasis.

Note

¹ Must follow the rules for levels of context hierarchy defined on p. 8.

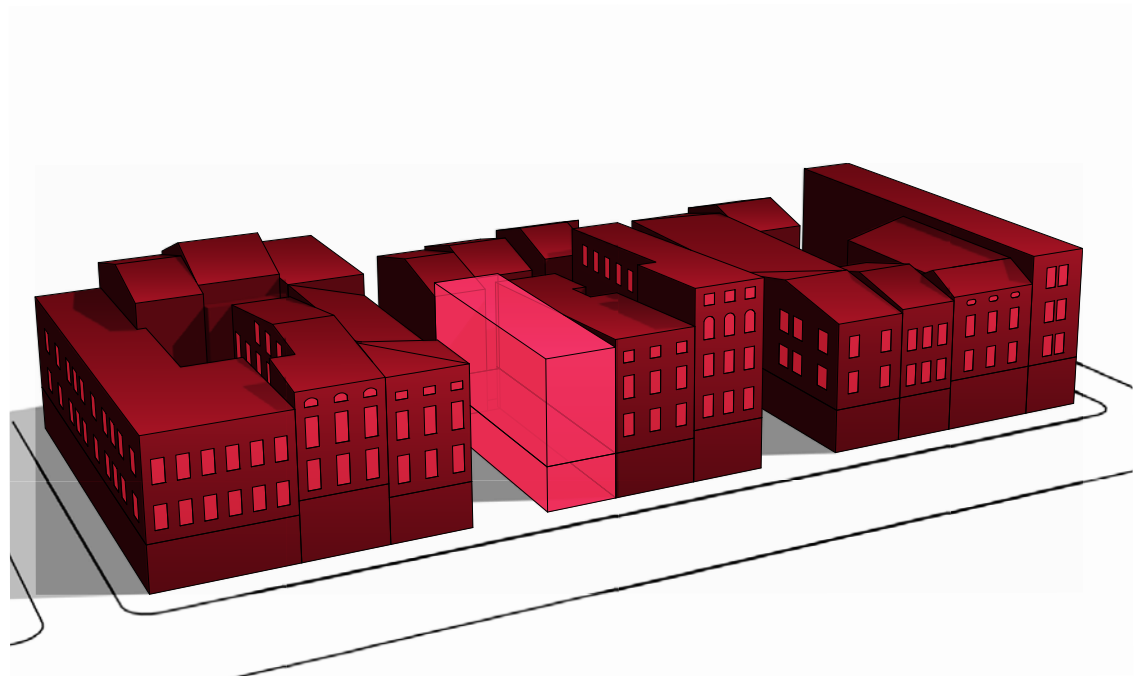
01 Primary façade height should vary from the primary façade height of any neighboring buildings.

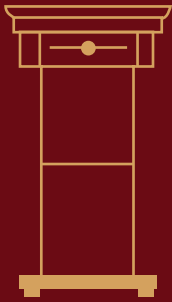
02 The rhythm of window openings should be consistent with the rhythm of window openings created by non-monumental contributing buildings located within the District.



01 Primary façade height should vary from the primary façade height of any neighboring buildings.

02 The rhythm of window openings should be consistent with the rhythm of window openings created by non-monumental contributing buildings located within the District.





OPENINGS

At right: Bahnhofstrasse 92 in Zurich, Switzerland has vertically oriented punched window openings arranged into rows and columns in reference to its historic surroundings.



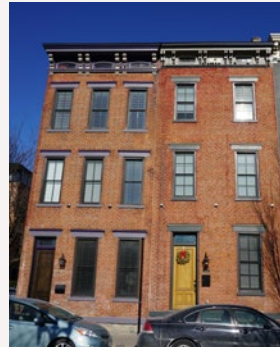
OPENINGS

HISTORIC CONTEXT

Openings are fundamental to the distinctive rhythm that defines the Over-the-Rhine Historic District. Openings are found both on primary and secondary façades as well as on non-street-facing walls. Most buildings feature regularly spaced, vertically oriented individual window openings formed into horizontally and vertically aligned, symmetrical rows and columns. Windows are typically recessed into the opening, creating a strong shadow detail. Windows are typically double hung and often have decorative stone sills and lintels.

Buildings with commercial uses on the upper floors and many built after the turn of the century often feature more variation in window openings, including groupings of openings that create more of a horizontal orientation.

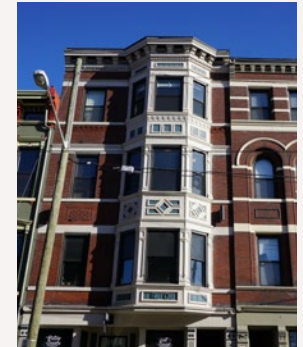
While oriel windows are not defining features of the Over-the-Rhine Historic District, they are present at a number of locations in both residential and mixed-use buildings. Oriels are designed to provide functional benefits to interior space and are also architectural expressions that add distinction and three-dimensionality to the District's typically planar masonry façades.



118 and 120 W. 14th Street exhibit the characteristics of window and door openings



1126 Walnut exhibits the characteristics of grouped window openings.



1428 Race exhibits the characteristics of oriel windows.

Door openings follow the patterns and characteristics of windows, accentuating the verticality and symmetry of buildings. Entries have different sizes, locations, and styles depending on the use and period of the building. Entrances to residential buildings usually feature a single wooden door, set off to one side of the primary façade and recessed into the brick. On mixed-use buildings, especially along north-south commercial arterials, entrances to the residential upper floors are placed either in one of the outermost bays of the primary façade, or on a side exterior wall of the building accessible through a narrow breezeway.

OPENINGS¹

GUIDELINE INTENTION

The openings of new buildings will establish a relationship with the size, placement, and configuration of openings found on non-monumental contributing buildings in the District.

01

Window openings should be taller than they are wide in a proportion consistent with the general proportions of window openings on non-monumental contributing buildings located in the District.

02

The ratio of window openings to total area of the middle component of the façade should be consistent with the ratio of window openings to total area of the middle components of façades on non-monumental contributing buildings located in the District.

03

Windows:

- a. Should be recessed nominally from the plane of the wall.
- b. Must not have internal-only grids.

04

Buildings may have oriel windows² under the following conditions:

- a. Oriels should be used only in limited instances, with a well designed and quality approach.
- b. The introduction of oriels should not disrupt the feeling of continuity of the wall surface.

Note

- 1 Storefront openings must follow the requirements set forth in Chapter 03: Composition: Base.
- 2 Oriels are found infrequently and are not intended to be a dominant feature within the District, nor are they intended to be a dominant feature within a facade design.
- 3 Must follow the rules for levels of context hierarchy defined on p. 8.



05

Window openings should be arranged into columns, as follows:

- a. The number of columns of openings should be consistent with the number of columns found on non-monumental contributing buildings of similar width in the District.
- b. Columns should be evenly spaced.
- c. Window openings should be vertically aligned with other openings within the same column.
- d. Columns should be symmetrical.

06

Window openings should be arranged into rows, as follows:

- a. Rows should be present for each story.
- b. Rows should be evenly spaced.
- c. Window openings should be horizontally aligned with other openings within the same row.

07

Buildings should have a door opening providing access to the sidewalk.

08

The size and proportions of door openings should be consistent with the general size and proportions of door openings found on non-monumental contributing buildings located within the same block face.³

09

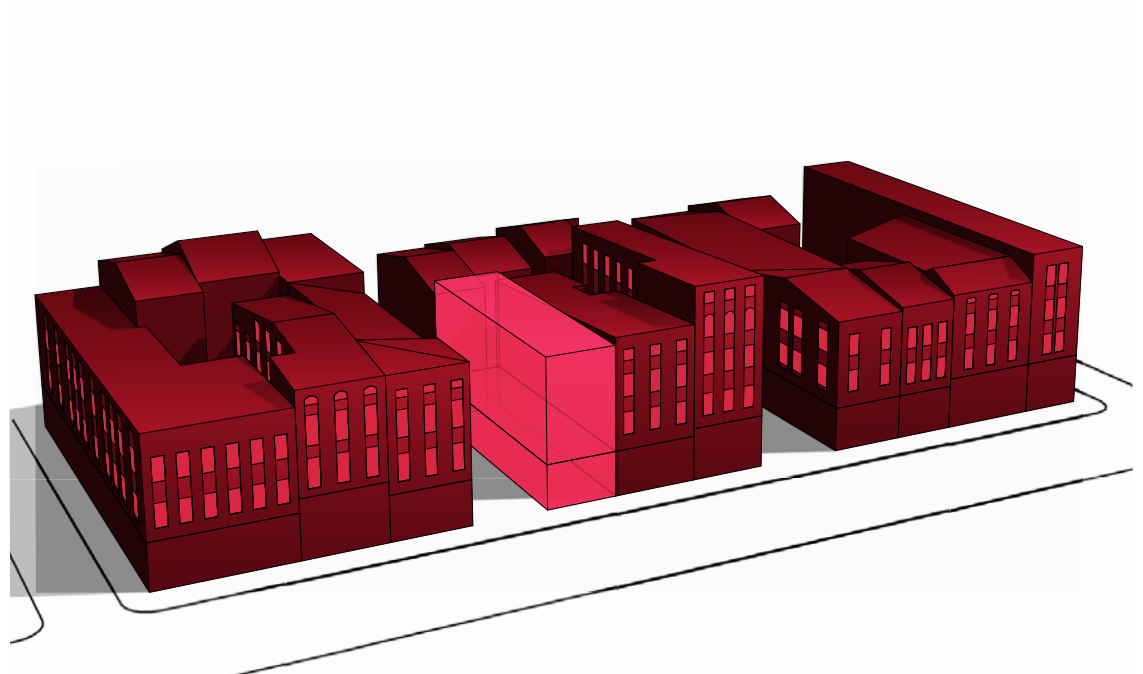
Door openings should not be sunken below grade. Door openings on residential buildings may be elevated but must not be substantially higher than the height of the base component.

05 Window openings should be arranged into columns, as follows:

- a. The number of columns of openings should be consistent with the number of columns found on non-monumental contributing buildings of similar width in the District.
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- d. Columns should be symmetrical.

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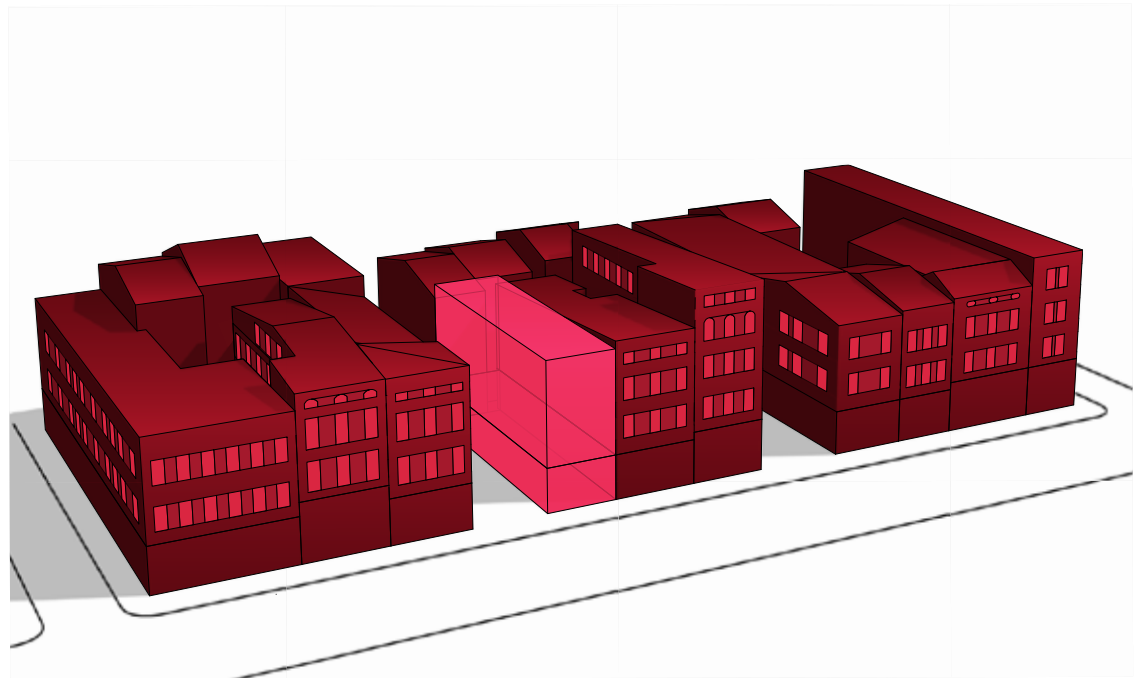


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ROOF

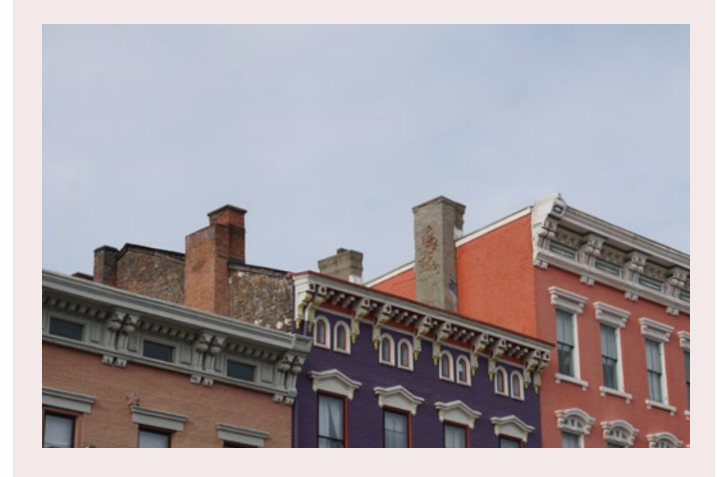
At right: The reception hall at the Musée de Cluny at 28 Rue du Sommerard in Paris, France draws inspiration from the roof forms of the adjacent Roman ruins – the Thermes de Cluny.



ROOF

HISTORIC CONTEXT

Roofs help define not only the pedestrian experience of the Over-the-Rhine Historic District from street level, but also the unique aerial views of the District from hillsides and rooftops. The roofs that are featured most commonly in the District are side-gabled roofs and low-pitched shed roofs. Mansard roofs and sawtooth roofs at the rear of buildings are found sporadically. Monumental buildings in the District feature a variety of roof shapes, including dormers, multiple gables, hip roofs, and towers.



1425 and 1427 Main Street typify roof forms commonly found in the Over-the-Rhine Historic District.

ROOF

GUIDELINE INTENTION

Roof profiles will reflect the roof profiles of contributing buildings within the block face. The impacts of rooftop appendages on street-level, aerial and elevated panoramic views of the District will be minimized.

01

Roofs should be built using a roof profile found on at least one non-monumental contributing building located within the same block face.¹ The following profiles are appropriate:

- a. Side-Gabled Roof
- b. Side-Gabled Sawtooth Roof
- c. Descending Low-Pitched Shed Roof
- d. Ascending Low-Pitched Shed Roof
- e. Flat Roof²

02

Roof pitch should be consistent with the pitch of corresponding roof profiles found on non-monumental contributing buildings located within the same block face.¹

03

Rooftop decks and roof access enclosures should be no more than minimally visible from abutting streets, and should not be highly visible from the public realm. Roof access enclosures should be no larger than the minimum size required for access when visible from the street and/or exceeding the permitted height.

04

Mechanical systems, elevated solar panel arrays, and other non-deck rooftop appendages should not be highly visible from contiguous streets at any point within 40 feet of the building and should not be highly visible from the public realm.

Note

- 1 Must follow the rules for levels of context hierarchy defined on p. 8.
- 2 Flat roofs may be used regardless of whether there are any flat roofs found in the surrounding historic context

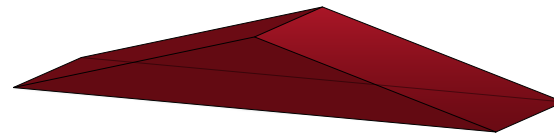
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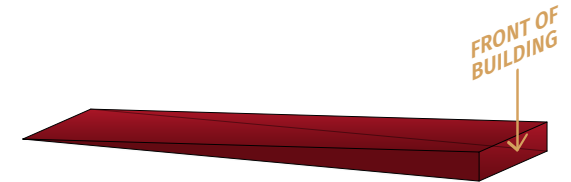
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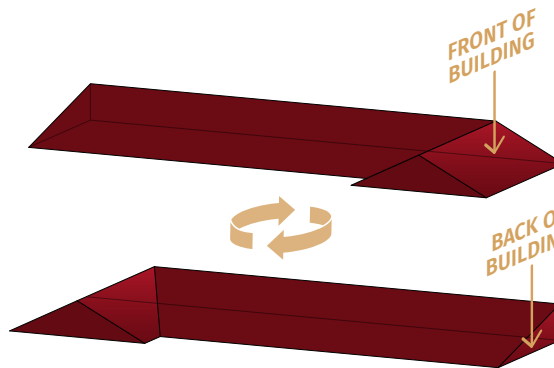
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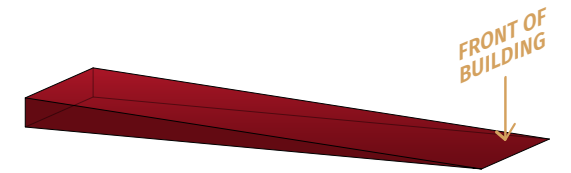
SIDE-GABLED ROOF



DESCENDING LOW-PITCHED SHED ROOF



SIDE-GABLED SAWTOOTH ROOF



ASCENDING LOW-PITCHED SHED ROOF

Note

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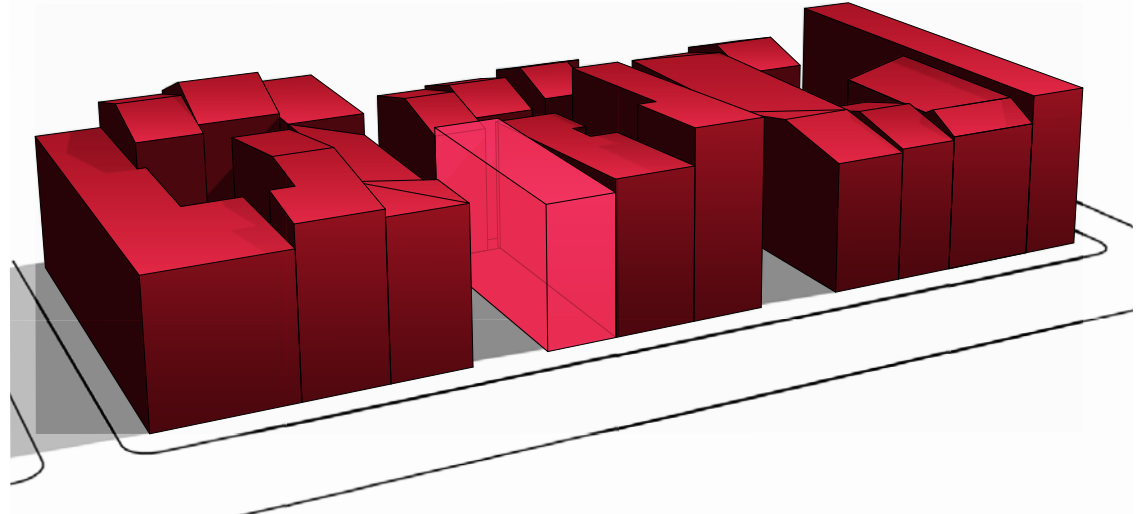
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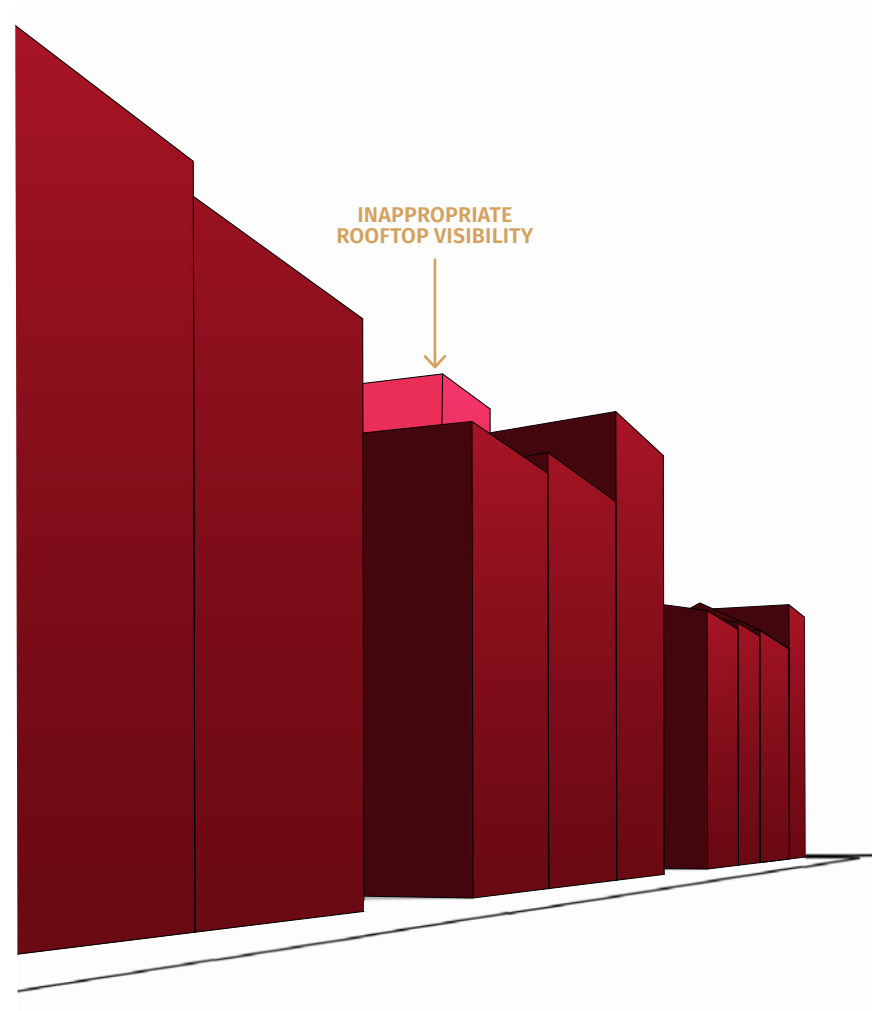
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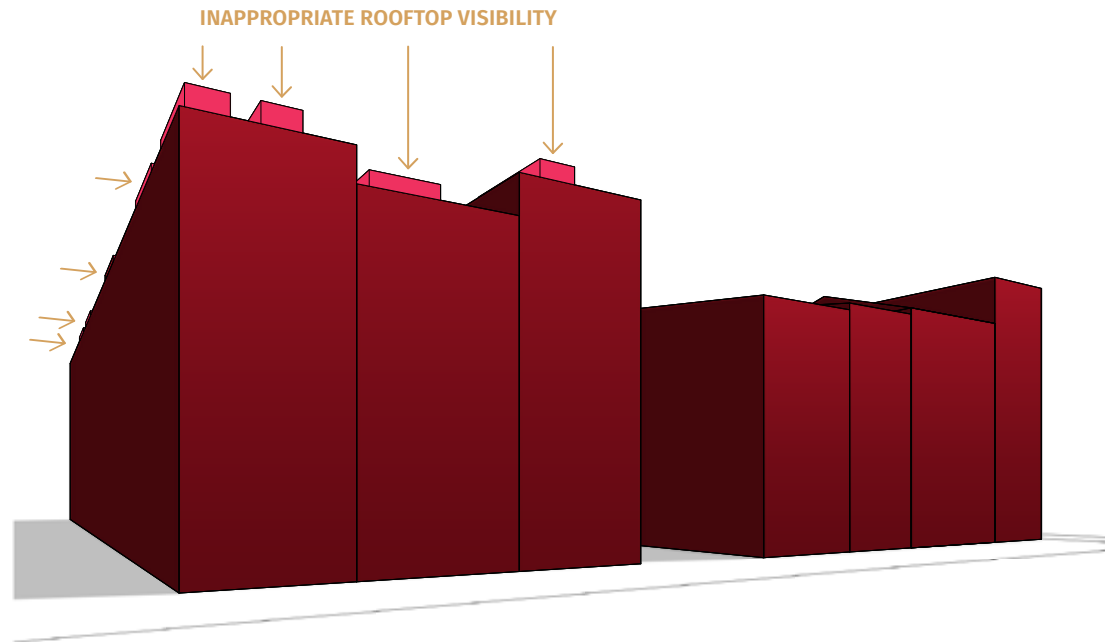
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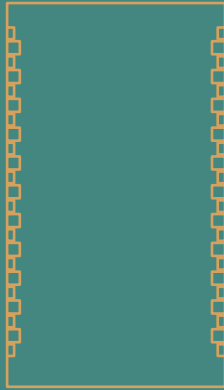
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MATERIALS

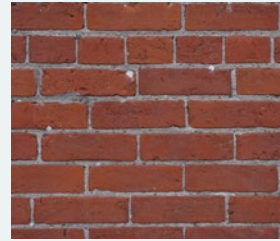
At right: This building in London, England successfully evinces the quality and solidity of materials on its historic neighbors by using a contemporary, modular brick cladding and a distinctive accent material on the oriel window and window surrounds.



MATERIALS

HISTORIC CONTEXT

Materials form an essential part of the identity of the Over-the-Rhine Historic District, and brick is the character-defining material of the District. The neighborhood evolved from primarily wood frame construction with wood clapboard siding in the earlier part of the 19th-century, to primarily brick masonry buildings in the mid-to-late 19th-century as the District entered what is considered to be its period of significance. Thus, the vast majority of Over-the-Rhine buildings are made of brick. Other materials characteristic of the District include limestone and sandstone (sills, lintels, and the occasional façade), wood (doors, windows, box gutters, cornices, and siding on early buildings), metal (lintels, sills, cornices, and roofs), cast iron (storefronts), and wrought iron (fire escapes, fencing).



Buildings in the District are primarily constructed of handmade, orange-red clay bricks stacked using the common bond pattern, as seen here at 1219 Sycamore Street.



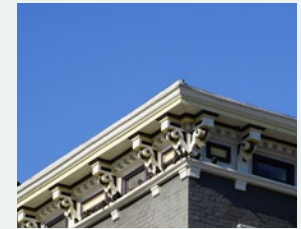
Decorative metal header at 1418 Elm Street.



Decorative stone lintel at 1431 Elm Street.



Decorative cast iron storefront at 116 East 14th Street.



Decorative metal brackets and wood trim form the cornice at 116 West 14th Street.

MATERIALS

GUIDELINE INTENTION

Materials used on new construction will rise to the standards of quality, authenticity, and durability set by materials found on contributing buildings in the District.

01

Buildings should use materials found on contributing buildings or materials that honor the best qualities of historic materials.

02

Materials should meet the quality standards of materials found on contributing buildings in the District. Quality of materials is based on the following criteria:

- a. Life span/durability.
- b. Authenticity.
- c. Visual continuity with non-monumental contributing buildings located within the District.
- d. Color, texture, design, dimension, reflectivity.

03

Brick used as exterior cladding should meet the following requirements:

- a. King and Queen sized brick are not appropriate and should not be used.
- b. Brick should have either historic (2½ x 8¼ inches) or modular (2¼ x 7⅝ inches) dimensions.
- c. At least one full wythe of 4 inches (depth) brick should be used.
- d. Faux-historic brick is not appropriate and should not be used. Brick should seek to root itself in its current time.

04

Materials should be used in a well-designed approach on all sides of the building

05

Lintels and sills should be made of limestone or sandstone, cast stone with a limestone veneer applied, or an appropriate alternate material.

06

Window components should be made of wood, aluminum clad wood, metal, or an appropriate alternate material.

07

Storefront systems should meet the following requirements:

- a. Lintels, pilasters, and vertical divisions should be made of cast iron, steel, limestone, sandstone, or cast stone with a limestone veneer applied. Brick is permitted where contributing brick storefronts are extant within the same block.
- b. Window framing and muntins should be made of wood, steel, or a dark colored alternate material.

08

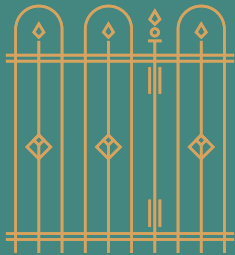
Residential bases should be made of stone or an appropriate alternate material.

09

Doors should be made of wood, metal, or a stain grade material.

10

Buildings must not use stucco, synthetic stucco, vinyl, CMU, or plastic as cladding materials.



MISCELLANEOUS

At right: This building at Oudeschans 53 in Amsterdam integrates balconets into the rhythm of openings on the façade.



MISCELLANEOUS

HISTORIC CONTEXT

A number of important features of buildings in the Over-the-Rhine Historic District fall within the Miscellaneous category, including porches, balconies, and stoops.

Porches

Side porches (veranda) are found on some buildings in the District. Typically, they are built into the “L” of the building, filling the void created by the building’s keyback. Front porches do not exist in the District.

Balconies

True balconies are rare in the District. Fire escapes are prevalent and often double as balconies.

Stoops

Stoops are common in the District on residential buildings with elevated entries. Stoops serve as a form of street furniture and foster increased pedestrian interaction in the public realm.

MISCELLANEOUS

PORCHES

01

Buildings should not have front porches.

02

Buildings may have side porches if they are placed in the void created by an interior side setback.

03

Side porches should be built in a rectangular geometry.

BALCONIES

01

Buildings may have protruding balconies if they are placed at the rear of the building, or on a non-street-facing wall in the void created by a keyback.

02

Buildings may have recessed balconies if they are placed on a non-street-facing wall.

03

Buildings may have balconets on any exterior building wall, provided that they are rectangular in form.

STOOPS

01

Residential buildings may have one or more stoops if a stoop is present on at least one non-monumental contributing building located within the same block.¹

02

Stoop height, width and depth should be consistent with the general height, width and depth of stoops on non-monumental contributing buildings located within the same block.¹

03

Stoops should not have railings; however, where railings are required by law, they should be simple metal railings similar in style, scale, thickness, and diameter to historic railings, fencing, or other iron work found on non-monumental contributing buildings located within the District.

ARCHAEOLOGICAL RESOURCES

01

Building sites should be evaluated for their potential for archaeological resources. If, after a survey of Sanborn Maps and consultation with staff, or if during construction archaeological resources are discovered, existing archaeological survey protocols must be followed.

Note

¹ Must follow the rules for levels of context hierarchy defined on p. 8.

APPENDIX



Abutting Having lot lines in common.

Abutting Street A street that is abutting a lot containing the subject building.

Alley A public or private way less than 21 feet in width that may provide vehicular access to abutting properties.

Articulative Recess A slight change in plane in part of an exterior wall, usually decorative.

Attic A story directly under the roof of a contributing building that is shorter than the other stories in the building.

Balconet A false, non-structural balcony or railing at the outer plane of a glazed window-opening reaching to the floor, and having, when the window or door is open, the appearance of a balcony.

Base Component The bottommost portion of a building, commonly represented in commercial buildings by a storefront, and in residential buildings by a foundation capped by a water table.

Block A block face and its opposing block face.

Block Face The properties abutting each other on one side of the street, and lying between the two nearest intersecting or intercepting streets.

Building Width The horizontal distance between the sides of the primary façade.

Cladding The outermost material layer covering the exterior of a building.

Commercial Building A building developed entirely for commercial purposes.

Composition The arrangement of a building into base, middle, and top components.

Contributing Building A historic building that is designated by the City of Cincinnati as contributing to the historic significance of the Over-the-Rhine Historic District.

Corner Lot A lot bounded on two or more adjacent sides by streets, or by portions of such streets.

Cornice A molded, decorative, projecting horizontal member that crowns the top of a building.

CORNICE COMPONENTS

Box Gutter A rectangular rain gutter built into the slope of a roof, above the cornice.

Bracket An angled structural and/or decorative element that actually or visually supports the box gutter/cornice soffit.

Corbel A type of bracket built into a wall and projecting outward to support the box gutter/cornice soffit.

Dentil One of a series of small, decorative rectangular blocks placed at regular intervals under the soffit of a cornice.

Frieze A decorative horizontal band typically containing rectangular trimmed panels and through-the-cornice windows.

Through-the-Cornice Windows
Attic windows built into the cornice.

Elevated Solar Panel Array An array of solar panels attached to a roof in which the panels are angled toward the sun, and do not lay flat against the roof surface.

Faux-Historic Brick Modern brick that attempts to match the color and texture of historic brick.

Front Lot Line A lot line dividing a lot from a street. On a corner lot only one street line may be considered as a front line; provided that, where the length of a shorter street line is less than 90 percent of the length of the longer street line, the shorter street line is considered as the front lot line.

Front Setback A space or gap between the front lot line and any portion of the primary façade, excluding articulative recesses.

Grade Ground level, as measured by the average of the slope between two points.

Historic Being from the period of significance (1840-1941) of the Over-the-Rhine Historic District, with special emphasis on the period 1840-1900.

Historic Lot A lot in the Over-the-Rhine Historic District as it existed historically, as represented on the 1904 Sanborn Insurance Maps of Cincinnati.

Historic Non-Monumental Corner Lot A historic corner lot with a depth of up to 90 feet.

Interior Side Lot Line A side lot line separating a lot from another lot or lots.

Interior Side Setback A space or gap between an interior side lot line and any portion of the side exterior wall(s), excluding articulative recesses.

Keyback An interior side setback beginning at a point at least 20 feet removed from the primary façade, typically extending back to the rear lot line, and resulting in a private breezeway, alleyway, or outdoor space.

Lintel A horizontal member, typically structural, that spans the top of a window or door opening.

Lot A parcel of land occupied or capable of being occupied by a use, building, or group of buildings and accessory buildings and uses, together with such open spaces as are required by the Cincinnati Zoning Code and having frontage on a street.

Lot Line The boundary enclosing a lot.

Massing The general shape and size of a building.

Materials The substances that are used to form the visible exterior of a building.

Mechanical Equipment Any device or apparatus used relating to heating, ventilation, air conditioning, plumbing, fire suppression, transportation, or any other building system.

Micro-Context The contributing buildings in closest proximity to the subject building, and defined at the smallest level as those contributing buildings located within the same block face.

Middle Component The area of a building located between the base component and the top component, typically constituting the largest bulk of the building and containing the majority of its design elements.

Mixed-Use Building A building developed for two or more types of end use.

Monumental Building Contributing buildings in the Over-the-Rhine Historic District recognized for their special cultural significance and/or distinctive qualities of height, massing, and scale.

Neighboring Building A building on a lot that shares an interior side lot line with the subject building.

Opposing Block Face The block face directly across from the subject block face.

Oriel Window A bay window projecting from an upper story (or stories) on a building façade.

Over-the-Rhine Historic District A geographic area covering parts of Over-the-Rhine, Pendleton, and Mount Auburn that is protected by the City of Cincinnati based on its cultural and architectural significance as a representation of the period in Cincinnati's urban development from 1840-1941, and particularly that period prior to 1900.

Primary Façade The street-facing wall that faces the primary street.

Primary Façade Height (New Construction) Primary façade height is measured from the established grade at the lot line or from the average natural grade at the building line, to the top of the primary façade, including any terminating ornamental/functional features.

Primary Street The abutting street with the widest right of way.

Public Realm Any portion of the Over-the-Rhine Historic District that is accessible to the public, including streets, alleys, rights of way, and public parks.

Rear Lot Line A lot line opposite the front lot line. In the case of an irregular, or triangular lot, it means a line within the lot, ten feet long, parallel to and at the maximum distance from the front lot line.

Residential Building A building that is entirely residential in use, single or multi-family, and does not have a storefront.

Rhythm A regularly recurring sequence or pattern within and among buildings.

Right of Way Real property for or devoted to (1) public transportation purposes; or (2) the placement of the city's municipal utility easements and other traditional uses along a transportation route. The definition of right of way includes, without limitation, public highways, streets, avenues, alleys, sidewalks, bridges, aqueducts, and viaducts within the city.

Roof The structure forming the upper covering of a building.

Roof Access Enclosure A small structure on or above the roof of a building whose exclusive purpose is to provide access to a rooftop.

Roof Deck A flat surface on or above the roof of a building that provides space for recreation, typically surrounded by railings.

Roof Pitch A numerical measure of the steepness, or slope, of a roof.

Rooftop Appendage Any structure, surface, fixture, equipment, furniture, or other item that is attached to the roof.

Scale The size of a building judged in relation to other buildings.

Secondary Façade Any street-facing wall that is not the primary façade.

Secondary Façade Height (New Construction) Secondary façade height is measured from the established grade at the lot line or from the average natural grade at the building line, to the top of the façade, including any terminating ornamental/ functional features.

Secondary Street An abutting street that is not the primary street.

Shadow Detail An area of darkness cast on an exterior building wall caused by a protrusion or recession in the plane of the wall.

Side Alley Lot Line A side lot line separating a lot from an alley.

Side Lot Line A lot line that is not a front lot line or a rear lot line. A side lot line separating a lot from a street is a side street lot line. A side lot line separating a lot from another lot or lots is an interior side lot line.

Side Street Lot Line A side lot line separating a lot from a street.

Significant Part of the Program (Parking) Where there are at least 50 onsite parking spaces, or at least 50% of the total project square footage is dedicated to parking.

Sill A horizontal member that spans the bottom of a window opening.

Stoop A small uncovered exterior stair ending in a platform at the entrance to a building.

Storefront The ground floor façade of a retail store, restaurant, bar, personal services establishment, or other commercial enterprise.

STOREFRONT COMPONENTS

Bulkhead/Knee Wall The portion of a storefront that serves as a platform for the display windows.

Column A vertical structural member designed to support compressive loads in a storefront system.

Display Windows Large windows in a storefront used to attract attention to a business and its merchandise or services.

Pilaster A projecting, non-load bearing vertical member having the appearance of a column, with a capital and a base, but being purely ornamental in function.

Storefront Cornice/Lintel A horizontal member that terminates the uppermost portion of the storefront, separating it from the upper floors above.

Transom Windows Windows located above the main display windows and separated by a transom.

Story/Floor That portion of a building included between the upper surface of a floor and the upper surface of the floor or roof next above.

Street A public or private right-of-way 21 feet or more in width whose primary function is to furnish the chief means of access to properties abutting it.

Street-Facing Wall An exterior building wall that faces an abutting street.

Subject Building A building or structure being considered for a Certificate of Appropriateness.

Top Component The uppermost horizontal terminating element of a building façade, often represented by a change in both plane and material.

Transom A horizontal crosspiece separating the top of a window or door from a smaller window above.

Use The type of human activity for which a building is purposed.

Water Table A horizontal projecting string course, molding, or ledge placed at the top of the foundation so as to divert rainwater from a building.

Window Opening An opening in the wall of a building for admission of light and air.

Wythe A single thickness of brick in masonry construction.

Definitions taken from the following resources:

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"Glossary of Architectural Terms". *Make History, Preserve Manitoba's Past*, www.gimliheritage.ca/pdfs/Glossary%20of%20Architectural%20Terms.pdf. PDF download.

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"Ohio Building Code", 2017, *Ohio Revised Code*, 2018, <http://codes.ohio.gov/oac/4101%3A1>.

OxfordDictionaries.com. Oxford University Press, 2018.

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LIST OF MONUMENTAL BUILDINGS

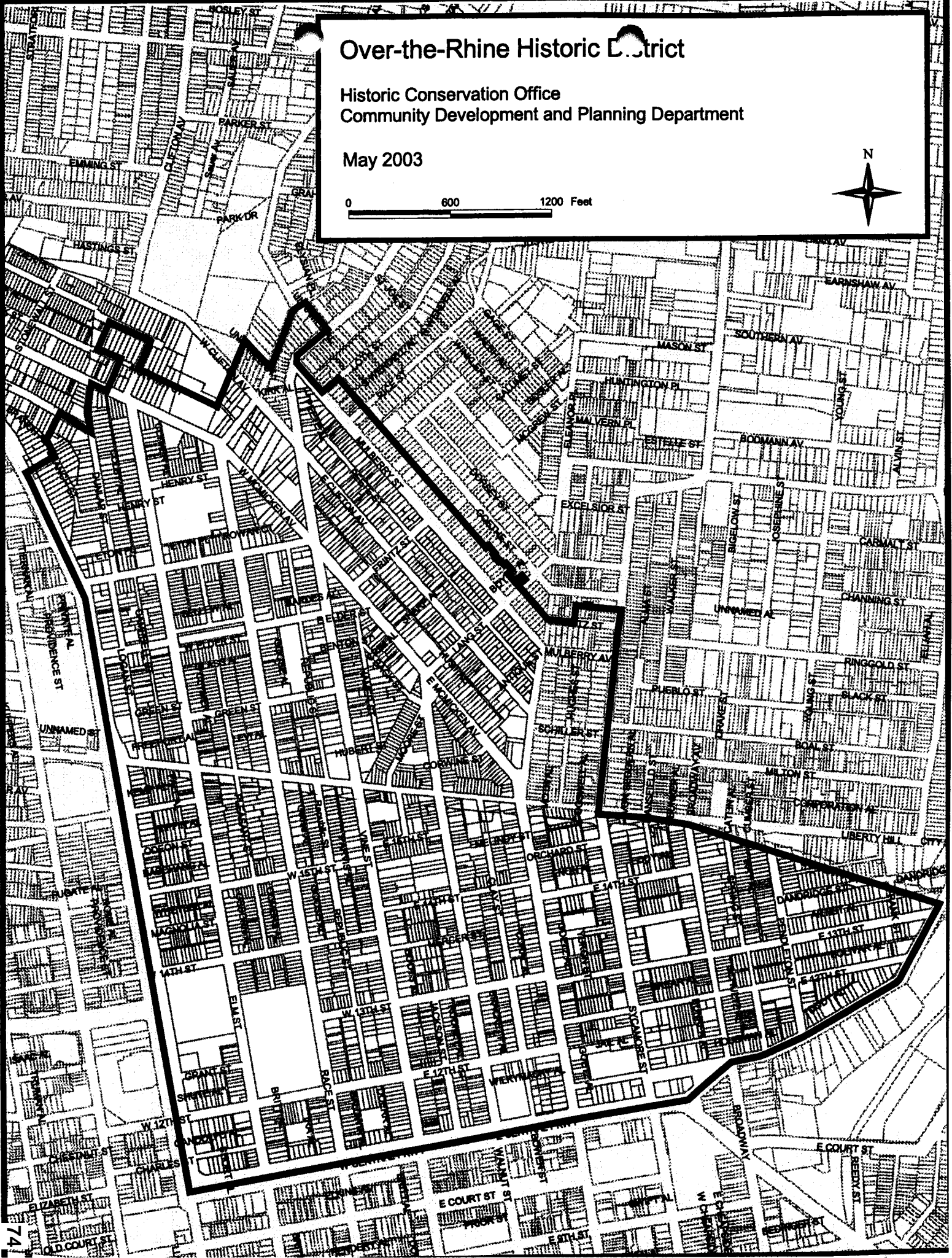
BUILDING :	ADDRESS:
6th District Public School Building	1525 Elm St, Cincinnati, OH 45202
15th District School Building (Rothenberg School)	241 E Clifton Ave, Cincinnati, OH 45202
Baptisten Kirche (German Baptist Church)	1610 Walnut Street, Cincinnati, OH 45202
Cincinnati Music Hall	1241 Elm St, Cincinnati, OH 45202
Deutsche Evangelisch Reformierte Salem's Kirche (Salem German Evangelical Reformed Church)	1425 Sycamore St, Cincinnati, OH 45202
Deutsche Evangelische St. Paulus Kirche (St. Paul's German Evangelical Church)	1429 Race St, Cincinnati, OH 45202
Deutsche Evangelische Zion's Kirche (German Evangelical Church of Zion)	14 W 15th St, Cincinnati, OH 45202
Deutsche Protestantische St. Johannes Kirche (St. John's German Protestant Church)	1205 Elm St, Cincinnati, OH 45202
Findlay Market Building	1801 Race St, Cincinnati, OH 45202
First English Lutheran Church	1208 Race St, Cincinnati, OH 45202
Hamilton County Memorial Building	1225 Elm St, Cincinnati, OH 45202
Jackson Brewery Building	208 Mohawk Street, Cincinnati, OH 45214
Krohn-Fecheimer Shoe Co. Building	1310 Pendleton St, Cincinnati, OH 45202
Nast Trinity Methodist Church	1310 Race St, Cincinnati, OH 45202
Old Woodward School Building	1310 Sycamore St, Cincinnati, OH 45202
Philippus Kirche (Philippus Church)	106 W McMicken Ave, Cincinnati, OH 45202
Prince of Peace Lutheran Church	1528 Race St, Cincinnati, OH 45202
St. Francis Seraph Church	1615 Vine St, Cincinnati, OH 45202
St. Francis Seraph School Building	14 E Liberty St, Cincinnati, OH 45202
St. John the Baptist Church Steeple	1715 Republic St, Cincinnati, OH 45202
St. Marien Kirche (Old St. Mary's Church)	123 E 13th St, Cincinnati, OH 45202
St. Paul's Church	444 Reading Rd, Cincinnati, OH 45202

Over-the-Rhine Historic District

Historic Conservation Office
Community Development and Planning Department

May 2003

0 600 1200 Feet









This project was made possible in part by a grant from the National Park Service, U.S. Department of the Interior administered by the State Historic Preservation Office of the Ohio History Connection. Department of the Interior regulations prohibit unlawful discrimination in departmental federally assisted programs on the basis of race, color, national origin, age or disability. Any person who believes he or she has been discriminated against in any program, activity, or facility operated by a recipient of Federal assistance should write to: Office of Equal Opportunity, U.S. Department of the Interior, National Park Service, 1849 C. Street, N.W. Washington, D.C. 20240.




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Hyperquake & M+A Architects
Over-the-Rhine Foundation

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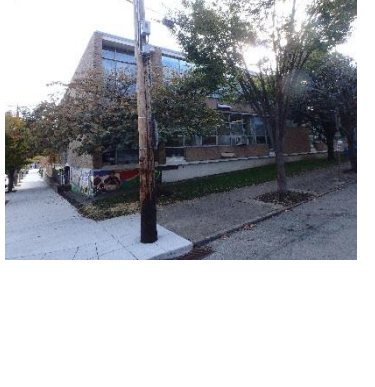
Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

Address	Photo	Recommendation	Justification	Notes & Sources
544 East Twelfth Street		Remove from Non-Contributing Buildings List	Contributes to the district due to age and massing.	Appears on the 1904/1934 Sanborn Map. Adjacent to fire station (now Ken Jones architects)
211 - 225 West Twelfth Street		Retain on Non-Contributing Buildings List	Modern construction	Shakespeare Festival Theater
12 East Thirteenth Street		Retain on Non-Contributing Buildings List	Modern Construction	Despite historic details, this building was built in the 1990s.
28 East Thirteenth Street (Rear)		Remove from Non-Contributing Buildings List	Contributes to the district due to building type, age and massing.	Appears on the 1904/1934 Sanborn Map. This is an example of a "back house" (or rear house) once ubiquitous throughout the district. This type has not been adequately celebrated within the district, probably due to the fact that they are often less visible from the street.

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>101 East Thirteenth Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>106 East Thirteenth Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>331 East Thirteenth Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the industrial history of the neighborhood.</p>	<p>Though the massing and scale of this building is different from the vertical Italianate buildings for which the district is best known, the preservation of sites of industrial heritage (more horizontal in nature) is important to telling the full story of the history of Over-the-Rhine as a mixed-use enclave. This building is currently under renovation.</p>
<p>400 East Thirteenth Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age and massing.</p>	<p>Appears on the 1904/1934 Sanborn Map.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>510 East Thirteenth Street</p>		<p>Retain from Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Mr. Bubbles carwash. This building does not appear on the 1904/1934 Sanborn map (there are two frame buildings on the lot at that time), rather it documents midcentury/post-war industrial development.</p>
<p>545 East Thirteenth Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the district due to age and as a document of the neighborhood's industrial heritage and contributes to the density of the district by providing a continuous street wall.</p>	<p>Appears on 1904/1934 Sanborn.</p>
<p>227 East Fourteenth Street</p>		<p>Retain from Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Peaslee Neighborhood Center, formerly an annex building to the Peaslee School building on Woodward Street. This building later served the entire Peaslee School population once the old building was demolished. It's use as a neighborhood arts center is a beacon in Over-the-Rhine's history of neighborhood activism.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>113 West Fifteenth Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>This building is the same as 1440 Pleasant Street.</p>
<p>115 West Fourteenth Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now Washington Park.</p>	<p>Formerly Washington Park Elementary School.</p>
<p>124 West Fifteenth Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>218 West Fifteenth Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction.</p>	<p>The current building is not the original non-contributing building on this site. An earlier building has been demolished and replaced with new construction in the last 12-18 months.</p>



Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>27 Back Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the district due to age and as a document of the neighborhood's industrial heritage.</p>	<p>Appears on the 1904/1934 Sanborn Map. Formerly New York Steam Laundry.</p>
<p>2020 Branch Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the district due to age and as a document of the neighborhood's industrial heritage.</p>	<p>Appears on the 1904/1934 Sanborn Map. Formerly Lang & Wanner Tannery.</p>
<p>1117 Broadway (Rear)</p>		<p>Retain on Non-Contributing Buildings List</p>		<p>Cinderblock garage.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1131 Broadway</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the district due to age and as a document of the neighborhood's industrial heritage and contributes to the density of the district by providing a continuous street wall.</p>	<p>Appears on 1904/1934 Sanborn as a garage.</p>
<p>1211 Broadway</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributing building due to type and age.</p>	<p>Appears on 1904/1934 Sanborn. This is a typical late nineteenth/early twentieth century Italianate tenement building characteristic of the district.</p>
<p>1712 Campbell Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributing building due to age and verticality and contributes to the density of the district by providing a continuous streetwall.</p>	<p>Appears on 1904/1934 Sanborn.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>114 East Central Parkway</p>		<p>Retain from Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Salvation Army Offices and Chapel. While the rear façade (visible from 12th and Jackson Streets) is very modern, suffers from low quality materials and is not in keeping with the character of the district, the midcentury Central Parkway façade is of higher quality. Site of former Model Laundry building.</p>
<p>16 West Central Parkway</p>		<p>Retain from Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Cincinnati Metropolitan Housing Authority. Though the massing and horizontally oriented façade are not in keeping with other buildings in the district this distinctive façade, located on Central Parkway, speaks to the difference between the majority of the district and its wider edge thoroughfares.</p>
<p>1317 Clay Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Bracken Village</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1327 Clay Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Bracken Village</p>
<p>1335 Clay Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Bracken Village</p>
<p>1343 Clay Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributing building due to age. Contributes to the density of the district by providing a continuous streetwall.</p>	<p>Appears on the 1904/1934 Sanborn Map. The building has an updated façade. Has a plaque on the façade commemorating it's designation as the "Lally-Loftin Home" in 1976. Lally and Loftin seem to have been police officers who died in the line of duty.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1412 Clay Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Lot now vacant.</p>	
<p>1413 Clay Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Lot now vacant.</p>	
<p>104 East Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Lot now vacant.</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>108 East Clifton Avenue</p>		<p>Retain on Non-Contributing Buildings List.</p>	<p>Modern Construction.</p>	
<p>131 East Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Lot now vacant.</p>	
<p>134 East Clifton Avenue</p>		<p>Retain on Non-Contributing Buildings List.</p>	<p>Modern Construction.</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>136 East Clifton Avenue</p>		<p>Retain on Non-Contributing Buildings List.</p>	<p>Modern Construction.</p>	
<p>135 East Clifton Avenue</p>		<p>Retain on Non-Contributing Buildings List.</p>	<p>Modern Construction.</p>	
<p>139 East Clifton Avenue (rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>These buildings contribute to the district due to age and massing.</p>	<p>Appears on the 1904/1934 Sanborn Map. This is a series of three historic back buildings.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>145 East Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributing building due to age and verticality, and contributes to the density of the district by providing a continuous streetwall.</p>	<p>Appears on the 1904/1934 Sanborn. This is a classic Italianate tenement characteristic of the district.</p>
<p>200 East Clifton Avenue</p>		<p>Retain on Non-Contributing Buildings List.</p>	<p>Modern construction.</p>	<p>This Art Deco/Modern tax payer with chamfered corner is distinct in the district, but offers a record of depression-era development and neighborhood change. The rear portion of this building is clearly non-contributing, though the portion at the street is an interesting part of the district. The lot is vacant on the 1904/1934 Sanborn map. Home of Sally's café in the 1950s.</p>
<p>201 East Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>207 East Clifton Avenue (rear)</p>		<p>Retain on the Non-Contributing Buildings List</p>	<p>Modern construction.</p>	
<p>211 East Clifton Avenue (rear)</p>		<p>Remove from the Non-contributing Buildings List</p>	<p>Building Demolished. Lot now vacant.</p>	<p>Now part of Rothenberg School playground.</p>
<p>222 East Clifton Avenue (rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Was added to the list in error.</p>	<p>Though the rear façade looks very different from the front of this building, they are one structure, so this is part of a contributing building.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1701 East Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>103 West Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>112 Corwine Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn.</p>


Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1918 Dunlap Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>2008 Dunlap Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Cinderblock garage.</p>
<p>6 West Elder Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>115-117 West Elder Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction</p>	<p>SEC Elder and Pleasant.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1413-1417 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1428 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Recent development by Huber Homes.</p>
<p>1429 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the district due to age, and materials.</p>	<p>Appears on the 1904/1934 Sanborn.</p>
<p>1437 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1515 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>1604 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1624 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1715 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1719 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Findlay Kitchen</p>
<p>1727 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Simple façade with asymmetrical openings. No detail or ornament.</p>	<p>This building, built in 1930, appears on the 1934 Sanborn, but does not contribute to the character of the district.</p>
<p>1829 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>New Prospect Baptist Church</p>
<p>1900 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1905 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Auditor's website (which is notoriously unreliable) lists the building as constructed in 1959.</p>
<p>2001 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>2010 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Includes some modest art deco-like detailing of brick columns.</p>
<p>2014 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Same building as 2016 and 2020 Elm. Includes some modest art deco-like detailing of brick columns.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>2016 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Same building as 2014 and 2020 Elm. Includes some modest art deco-like detailing of brick columns.</p>
<p>2017 Elm Street (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>No rear building at this address.</p>
<p>2020 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Same building as 2014 ad 2016 Elm. Includes some modest art deco-like detailing of brick columns.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>220 Findlay Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Parking lot for 230 Findlay</p>
<p>230 Findlay Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction.</p>	
<p>1708 Frintz Sreet</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Parking for TruPartner Credit Union.</p>
<p>1716 Frintz Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904/1934 Sanborn.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>221 Grant Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Does not appear on 1904/1934 Sanborn</p>
<p>34 Green St</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Over-the-Rhine Child Care Center at the corner of Green and Race.</p>
<p>1120 Jackson Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Though it has been significantly altered, the building still contributes to the industrial heritage of the district.</p>	<p>Know Theater. Appears on the 1904/1934 Sanborn.</p>
<p>1705 Lang Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Former Wesley Mission Baptist Church. Corner of Lang and East McMicken.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>30 East Liberty Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Shell gas station</p>
<p>116 East Liberty Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Free Store Foodbank</p>
<p>128 East Liberty Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>12-24 West Liberty Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Saint Anthony Messenger (old building).</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>26-32 West Liberty Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Saint Anthony Messenger (new building). Though this building is interesting architecturally and in scale with the surrounding buildings, its construction is too new to qualify it as a contributing part of the district.</p>
<p>208 West Liberty</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1612 Logan Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1800 Logan Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1822 Logan Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears in 1904/1934 Sanborn.</p>
<p>1215 Main Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears in 1904/1934 Sanborn.</p>
<p>1434 Main Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	
<p>1440 Main Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Comey and Shepard Office.</p>



Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1604 Main Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	<p>Former site of White Castle.</p>
<p>1616 Main Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1630 Main Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1722 Main Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Though this building has been covered in stucco, it is clearly a brick building.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>6 – 10 East McMicken Avenue</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	
<p>18 – 20 East McMicken Avenue</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Note that many previously hidden cast iron and pressed metal historic details have been recently exposed on this building due to a marquee collapse.</p>
<p>48 East McMicken Avenue (Rear)</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>50 East McMicken Avenue (Rear)</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>54 East McMicken Avenue (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Rear houses like this one are an essential piece of the architectural heritage and character of Over-the-Rhine. Examples like this one should be carefully protected to preserve the density and historic configuration of the neighborhood.</p>
<p>66 East McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>68 East McMicken Avenue (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Rear houses like this one are an essential piece of the architectural heritage and character of Over-the-Rhine. Examples like this one should be carefully protected to preserve the density and historic configuration of the neighborhood.</p>
<p>70 East McMicken Avenue (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Rear houses like this one are an essential piece of the architectural heritage and character of Over-the-Rhine. Examples like this one should be carefully protected to preserve the density and historic configuration of the neighborhood.</p>
<p>111 East McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age and materials.</p>	<p>Appears on the 1904/1934 Sanborn. This is the first story of a once-taller building. The remaining ground floor contains a sandstone store front characteristic of those throughout the district.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>113 East McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This address does not exist.</p>	<p>It appears that this lot has ceased to exist. 113 East McMicken should be the address for the mini-market listed above at 111 East McMicken, but the building is clearly labeled 111. 111 should be the address now in the middle of Walnut Street, but the market seems to have taken over this address.</p> 
<p>38 West McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on 1904/1934 Sanborn.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>48 West McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on 1904/1934 Sanborn.</p>
<p>54 West McMicken Avenue</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>115-121 West McMicken Avenue</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Façade Cladding.</p>	<p>VoA Building. A small building appears on this lot in the 1904/1934 Sanborn, while the majority of the lot seems to have been recently cleared. Based on the steel casement windows on the side of this building, it was probably built in the 1940s, however, because of the low-quality, modern façade materials, it does not seem to contribute to the district in the way that many other industrial buildings of the same age do.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>112 West McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Owned by Rhinegeist</p>
<p>203 West McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1608 Moore Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1621 Moore Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Moerlein brewery/former Huesman's potato chips. Known to have significant underground lagering cellars which add significantly to the cultural heritage of the district.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>31 Mulberry Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>33 Mulberry Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction (same as above).</p>	
<p>127 Mulberry Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Adjacent garage is modern construction.</p>
<p>138 Mulberry Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	




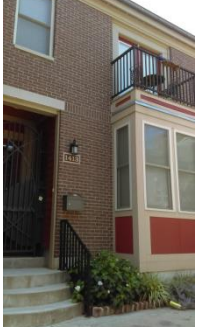
Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>320 Mulberry Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn</p>
<p>19 Peete Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>75 Peete Street (Rear)</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>This simple two-bay garage does not possess any features which contribute to the character of the district.</p>	<p>Appears on the 1904/1934 Sanborn map.</p>
<p>106 Peete Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	


Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>107 Peete Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>114 Peete Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials.</p>	<p>The 1904/1934 Sanborn map shows a wood frame building on this site the proportions of which seem to match the existing building (which is also wood frame). Though the façade of this building has been heavily altered with the addition of a roll-up garage door, original wood frame buildings are extremely rare in Over-the-Rhine, giving this building additional significance of one of the few remaining.</p>
<p>119 Peete Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>124 Peete Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Now part of 127 Mulberry Street to the rear.</p>
<p>127 Peete Street</p>		<p>Retain on the Non-Contributing Buildings List</p>	<p>Modern Construction.</p>	
<p>1301 Pendelton Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn map.</p>
<p>1413 Pleasant Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1511 – 1519 Pleasant Street</p>		<p>Retain Half of This Address on Non-Contributing Buildings List and Remove Half of this Address from the Non-Contributing Buildings List</p>	<p>1515-1517 Pleasant Street are Modern Construction. 1519 Pleasant contributes to the district due to age, materials, and massing.</p>	<p>Over-the-Rhine Community Housing garage and storage. 1519 appears on the 1904/1934 Sanborn. This address should be split so that 1519 Pleasant Street is removed from the Non-Contributing Buildings List while the modern garage at 1515-1517 remains on the list.</p>
<p>1553 – 1561 Pleasant Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Cell phone store. SEC Pleasant and Liberty.</p>


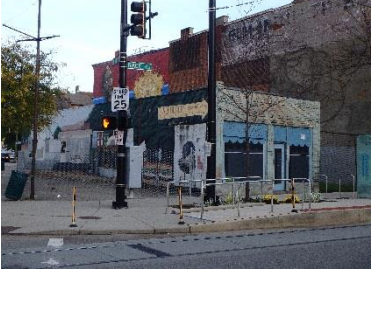

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1615 - 1617 Pleasant Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Though this buildings is currently covered with formstone, it is clearly a brick building.</p>
<p>1618 Pleasant Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1914 Pleasant Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Building demolished. Now Streetcar maintenance yard.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1216 Race Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This industrial building contributes to the district as an example of its multi-use nature in which industrial, commercial, residential, and cultural/civic buildings existed side-by-side.</p>	<p>Appears on the 1904/1934 Sanborn map. Demolition Approved.</p>
<p>1218 Race Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This early garage contributes to the district as an example of adaptation to the presence of automobiles in this dense urban neighborhood.</p>	<p>Appears as an auto garage on the 1904/1934 Sanborn map. Demolition Approved.</p>
<p>Washington Park Comfort Station</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now Washington Park</p>	<p>Former pool house.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1530 Race Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>1538 Race St</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>This industrial building contributes to the district as an example of its multi-use nature in which industrial, commercial, residential, and cultural/civic buildings existed side-by-side.</p>	<p>Appears on the 1904/1934 Sanborn. Auditor's site photos from 1993 shows building with a decorative parapet wall not missing.</p>
<p>1715 Race Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1720 Race Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Over-the-Rhine Senior Center</p>
<p>1723 Race Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904/1934 Sanborn. Formstone cladding at the base.</p>
<p>1725 Race Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This is a bad address. No such address exists.</p>	<p>Alley north of 1723 Race.</p>
<p>1730 Race Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age and materials</p>	<p>Appears on 1904/1934 Sanborn. Our Daily Bread. This is the first floor of a once-taller historic building. It features historic cast iron columns and may have additional historic detail hidden</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

				behind current façade cladding/infill.
1812 Race Street (rear)		Remove from Non-Contributing Buildings List	Contributes to the district due to age, materials, and massing.	Appears on the 1904/1934 Sanborn. Significant as an example of rear or back house construction common in the district.
1814 Race Street (rear)		Remove from Non-Contributing Buildings List	Contributes to the district due to age, materials, and massing.	Appears on the 1904/1934 Sanborn. Significant as an example of rear or back house construction common in the district.
1826 Race Street		Remove from Non-Contributing Buildings List	Contributes to the district due to age, materials, and massing.	Appears on the 1904/1934 Sanborn map.
1920 Race Street		Remove from Non-Contributing Buildings List	This building contributes to the industrial heritage of the northern part of the district.	Appears on 1904/1934 Sanborn. Currently Rookwood Pottery. Formerly Wagner and Sons Soda.

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>315 – 319 Reading Road</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district as an example of the early twentieth-century industrial heritage.</p>	<p>Appears on the 1904/1934 Sanborn map as Tire and Battery repair.</p>
<p>South West Corner of Reading Road and Liberty Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Verdon Bell Tower</p>
<p>1332 Republic Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age and materials. This early garage contributes to the district as an example of adaptation to the presence of automobiles in this dense urban neighborhood.</p>	<p>Appears on the 1904/1934 Sanborn as a garage.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1415 Republic Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>This early garage contributes to the district as an example of adaptation to the presence of automobiles in this dense urban neighborhood.</p>	<p>Appears on 1904/1934 Sanborn.</p>
<p>1308 Spring Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>This garage is attached to 1306 Spring Street which is a contributing building.</p>
<p>1322 Spring Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears in 1904/1934 Sanborn map.</p>
<p>1324 - 1326 Spring Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1123 Sycamore Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Hamilton County Parking Garage</p>
<p>1203 Sycamore Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Out of scale and context with the architecture of the neighborhood.</p>	<p>The Diner</p>
<p>1301 Sycamore Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>This was the WPA pool house, but it would now apply to the new comfort station in Zigler Park.</p>
<p>1408 Sycamore Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing. This early garage contributes to the district as an example of adaptation to the presence of automobiles in this dense urban neighborhood.</p>	<p>Appears on the 1904/1934 Sanborn map as a garage.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1425 Sycamore Street</p>		<p>Retain on from Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Gabriel's Corner</p>
<p>1601 Sycamore Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Photo shows building prior to 2017 demolition.</p>
<p>1113 Vine Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Frame construction! Appears in the 1904/1934 Sanborn.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1314 Vine Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Mercer Commons</p>
<p>1324 Vine Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Mercer Commons</p>
<p>1331 Vine Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>This address should be combined with 1335 Vine.</p>
<p>1335 Vine Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>This address should be combined with 1331 Vine.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1406 – 1408 Vine Street (Rear)</p>		<p>Remove from Non-Contributing Buildings List and amend address listing.</p>	<p>Building demolished. Now vacant lot.</p>	<p>Now the Kaze courtyard. 1408 Vine should be separated from 1406. 1408 is the former Weillerts Saloon and Beer Garden which is one of the most important historic locations in Over-the-Rhine.</p>
<p>1412 Vine Street (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn This is the building with the round windows you see from the Kroger parking lot.</p>
<p>1414 – 1416 Vine Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1518 Vine Street (5 E Liberty St)</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Crossroads Health Center</p>
<p>1521-1525 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1630 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now parking lot.</p>	
<p>1800 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>TruPartner Credit Union, formerly Provident Bank. Appears on the 1904./1934 Sanborn map. Undergoing renovation and a historic façade has been revealed.</p>
<p>1801-1805 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904.1934 Sanborn map. Formstone cladding.</p>
<p>1929 Vine St (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1920 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904.1934 Sanborn map.</p>
<p>2026 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>208 Wade St</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>210 Wade St</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>212 Wade St</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	






Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>214 Wade St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904.1934 Sanborn map.</p>
<p>1200 Walnut Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Now within the period of significance for the district.</p>	<p>Coffee Emporium grindery and warehouse. A two-story building appears on the corner of this lot in the lot.1904/1934 Sanborn Map, but the long portion on 12th Street does not. Chamfered corner entrance.</p>
<p>1209 Walnut Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Now within the period of significance for the district.</p>	<p>Does not appear in 1904/1934 Sanborn.</p>
<p>1212-1224 Walnut Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>1228-1232 Walnut Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>


Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1302 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>1306-1316 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>1328 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>1334-1340 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>1350 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Constructed within the last 30 years.</p>	<p>Bracken Village.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1426 Walnut Street (Rear)</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1429 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction</p>	
<p>1430 Walnut Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1627 Walnut Street (1624 Moore Street Rear)</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904/1934 Sanborn map.</p>
<p>1630 Walnut Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Southern portion of the building contributes to the district as a document of the industrial heritage of this district, particularly the northern portion.</p>	<p>This address encompasses 1630-1642 Walnut. The northern portion of the building is non-contributing. Column details similar to those at 2014-2016 Elm Street. Address should be separated to denote contributing and non-contributing portions.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>215 Yukon Street (now Hanover Street)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, massing and characteristic wooden porches.</p>	<p>Appears on the 1904/1934 Sanborn map.</p>
---	---	---	--	--

Buildings that were not listed as Non-Contributing but are not within the Boundaries of the National Register District and are not within the period of significance or have been significantly altered.

Address	Picture	
<p>1804-1812 Central Pkwy</p>		<p>Built 1947</p>

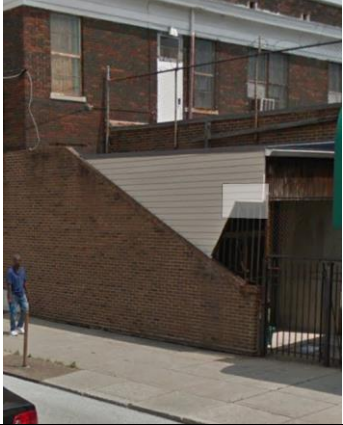

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

1718 Central Pkwy			1960
220 Findlay St			1941




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1522 Central Pkwy</p>		<p>1986</p>
<p>1514-1520 Central Pkwy</p>		<p>1997</p>



Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1428 Central Pkwy</p>			<p>1961</p>
<p>1424-1426 Central Pkwy</p>			<p>1941</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1416 Central Pkwy</p>		<p>1900, but significantly altered to remove any historic integrity</p>
<p>108 W Central Pkwy</p>		<p>2008</p>
<p>1150 Vine Street</p>		<p>2005</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>10 E Central Pkwy</p>		<p>2004</p>
<p>208 Reading Rd</p>		<p>1998</p>
<p>1133 Sycamore Street</p>		<p>1946</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

209-221 E 12 th Street			1946
508 Reading Rd			

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

550 Reading Rod		1964
528 E 12 th Street		
508-518 Dandridge		2007

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

Non-Contributing Buildings

209-221 E 12th Street
528 E 12th Street
211-225 West 12th St
12 E 13th Street
101 E 13th Street
106 E 13th Street
510 E 13th Street
227 E 14th Street
113 W 15th Street
115 W 14th Street
218 15th Street
1117 Broadway Street (rear)
10 E Central Pkwy
114 E Central Parkway
16 W Central Parkway
108 W Central Pkwy
1416 Central Pkwy
1424-1426 Central Pkwy
1428 Central Pkwy
1514-1520 Central Pkwy
1522 Central Pkwy
1718 Central Pkwy
1804-1812 Central Pkwy
1317 Clay Street
1327 Clay Street
1335 Clay Street
108 E Clifton Av
134 E Clifton Av
136 E Clifton Av
135 E Clifton Av
200 E Clifton Av
207 East Clifton Avenue (rear)
508-518 Dandridge
1918 Dunlap Street
2008 Dunlap Street
6 West Elder Street
115-117 West Elder Street
1428 Elm Street
1515 Elm Street
1719 Elm Street
1727 Elm Street
1829 Elm Street
1900 Elm Street
1905 Elm Street
2001 Elm Street
220 Findlay St
230 Findlay Street
221 Grant Street
34 Green St
30 East Liberty Street
116 East Liberty Street
12-24 West Liberty Street
26-32 West Liberty Street
1434 Main Street
1440 Main Street
6 – 10 East McMicken Avenue
115-121 West McMicken Avenue
31 Mulberry Street
33 Mulberry Street
75 Peete Street (Rear)
119 Peete Street
127 Peete Street

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

1413 Pleasant Street
1519 Pleasant Street
1553 – 1561 Pleasant Street
1530 Race Street
1720 Race Street
South West Corner of Reading Road and Liberty Street
208 Reading Rd
508 Reading Rd
550 Reading Rod
1308 Spring Street
1123 Sycamore Street
1133 Sycamore Street
1203 Sycamore Street
1301 Sycamore Street
1425 Sycamore Street
1150 Vine Street
1314 Vine Street

1324 Vine Street
1331 Vine Street
1335 Vine Street
1518 Vine Street (5 E Liberty St)
208 Wade St
210 Wade St
212 Wade St
1200 Walnut Street
1209 Walnut Street
1212-1224 Walnut Street
1228-1232 Walnut Street
1302 Walnut Street
1306-1316 Walnut Street
1328 Walnut Street
1334-1340 Walnut Street
1350 Walnut Street
1429 Walnut Street

Non-Contributing Building List

209-221 E 12th Street
528 E 12th Street
211-225 West 12th St
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101 E 13th Street
106 E 13th Street
510 E 13th Street
227 E 14th Street
113 W 15th Street
115 W 14th Street
218 15th Street
1117 Broadway Street (rear)
10 E Central Pkwy
114 E Central Parkway
16 W Central Parkway
108 W Central Pkwy
1416 Central Pkwy
1424-1426 Central Pkwy
1428 Central Pkwy
1514-1520 Central Pkwy
1522 Central Pkwy
1718 Central Pkwy
1804-1812 Central Pkwy
1317 Clay Street
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108 E Clifton Av
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30 East Liberty Street
116 East Liberty Street
12-24 West Liberty Street
26-32 West Liberty Street
1434 Main Street
1440 Main Street
6 – 10 East McMicken Avenue
115-121 West McMicken Avenue
31 Mulberry Street
33 Mulberry Street
75 Peete Street (Rear)
119 Peete Street
127 Peete Street
1413 Pleasant Street
1519 Pleasant Street
1553 – 1561 Pleasant Street
1530 Race Street
1720 Race Street
South West Corner of Reading Rd and Liberty St
208 Reading Rd
508 Reading Rd
550 Reading Rod
1308 Spring Street
1123 Sycamore Street
1133 Sycamore Street
1203 Sycamore Street
1301 Sycamore Street
1425 Sycamore Street
1150 Vine Street
1314 Vine Street
1324 Vine Street
1331 Vine Street
1335 Vine Street
1518 Vine Street (5 E Liberty St)
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210 Wade St
212 Wade St
1200 Walnut Street
1209 Walnut Street
1212-1224 Walnut Street
1228-1232 Walnut Street
1302 Walnut Street
1306-1316 Walnut Street
1328 Walnut Street
1334-1340 Walnut Street
1350 Walnut Street
1429 Walnut Street

**Honorable City Planning Commission
Cincinnati, Ohio**

April 7, 2023

SUBJECT: A report and recommendation on the final amendments to the Over-the-Rhine (OTR) Local Historic District guidelines approved by City Planning Commission on 12/2/22 in Over-the-Rhine, Pendleton, and Mt. Auburn.

GENERAL INFORMATION:

Location: Various addresses generally bounded by Central Parkway on the West and South, Reading Road and Sycamore Street on the East and West McMicken and Seitz Street on the North.

Petitioners: Over-the-Rhine Foundation, 1311 Vine Street, Cincinnati, OH 45202

ATTACHMENTS:

Provided in addition to this report are the following:

- A. Over-the-Rhine New Construction Guidelines revised as approved by the City Planning Commission on 12/2/22, dated 3/23
- B. Existing Guidelines revisions dated 3/23
- C. Non-Contributing Building List unchanged since 12/2/22
- D. Non-Contributing List (Addresses Only) unchanged since 12/2/22

BACKGROUND:

The Over-the-Rhine Foundation (OTRF), a non-profit organization dedicated to the preservation of the Over-the-Rhine (OTR) neighborhood, began work in 2014 on a proposal to revise the Over-the-Rhine Local Historic District Conservation Guidelines to incorporate more detailed rules for new construction. The current guidelines were adopted in 2003 and have been utilized to guide development in the OTR Local Historic District since that time.

The OTRF submitted their initial proposal for revising the guidelines to the City in August of 2019. After their initial review, both City staff and external stakeholders raised concerns with the OTRF regarding the proposal's potential to materially impact development in the OTR Local Historic District. The OTRF then agreed to conduct additional stakeholder engagement in an attempt to refine and develop the guidelines to address those concerns.

Several additional meetings were held with City staff, and one additional meeting was held with City staff and external stakeholders, including developers, architects, and contractors. Following these meetings, the OTRF revised its original proposal; however, those revisions did not resolve many of the initial concerns raised by City staff and external stakeholders, including the Department of Community and Economic Development and many developers and architectural firms that are active in redevelopment of OTR.

The OTRF's initial revised proposal was presented to the Historic Conservation Board (HCB) on August 3, 2020. In addition to written testimony, the HCB hearing included several parties speaking in favor of the application and multiple groups speaking against it. Following an extended discussion, the HCB recommended adoption of the proposal with certain conditions recommended by the City's Urban

Conservator, including that further review and revision to the proposal occur (specifically regarding the provisions around height) prior to its submission to the City Planning Commission for consideration.

On September 24, 2020, the City Planning Commission (CPC) reviewed a proposal to revise the Over-the-Rhine (OTR) Local Historic District Guidelines New Construction Section. This proposal was tabled with instruction for the Department of City Planning and Engagement (DCPE) staff to conduct additional community engagement prior to returning to the CPC with their revised proposal.

In January 2021, DCPE staff began seeking to conduct virtual and phone engagement with every person who submitted comments in writing or testified at the City Planning Commission meeting (9/24/20). These interviews continued throughout 2021. The interviews also included those who testified at the public staff conference held on 7/15/20, the collection of written comments, and people who testified at the CPC meeting on 9/24/20. DCPE staff reached out to a total of approximately 50 people and interviewed 40. There were 13 architects, 10 developers, 15 property owners and 2 non-profits. Some individuals contacted did not return the engagement request. The goal of the engagement was to capture any additional thoughts each person may have had regarding the subject.

In July 2022, OTRF submitted revisions to the design guidelines to the Urban Conservator. The Urban Conservator and Zoning Administrator met with the applicants on July 26, 2022, and detailed feedback/comments were sent with suggested new language. The applicant sent the same submission with no changes in October 2022 and the Urban Conservator and Zoning Administrator met with the applicant on October 20, 2022, sending comments again without further changes. The final submission from OTRF was made on November 18, 2022, with no changes since the July 26, 2022 submission. This item was subsequently scheduled for the City Planning Commission on December 2, 2022.

CITY PLANNING COMMISSION ACTION ON DECEMBER 2, 2022:

At the City Planning Commission meeting on December 2, 2022, representatives of the OTRF steering committee and historic preservationists spoke in favor of the OTRF’s proposed revisions to the OTR New Construction guidelines. In addition, numerous architects, developers, contractors, consultants and the Department of Community and Economic Development Department (DCED) spoke in favor of DCPE staff’s recommendation. After extensive testimony from both sides, the City Planning Commission voted in favor of staff’s recommendation to:

PROVISIONALLY APPROVE the proposed New Construction Infill Guidelines on the condition that staff for the Department of City Planning and Engagement prepare and present the following documents to the City Planning Commission for final approval:

- a. A set of New Construction Infill Guidelines that incorporates the staff’s proposed revisions reflected on Attachment O (Recommended Changes on 11/18/2022 submittal and new language for conditional approval), Attachment P (Revised Monumental Building List), and Attachment Q (Revised Glossary List); and

- b. A set of the existing Over-the-Rhine Local Historic District Guidelines modified to address guidelines that are obsolete or will be inconsistent with the New Construction Infill Guidelines upon their adoption.

The vote was as follows:

Moved to approve the staff’s recommendation on the Legislative Discussion Agenda.

- Motion: Mr. Weber
- Second: Ms. Sesler
- Ayes: Mr. Eby, Ms. Sesler, Mr. Weber
- Nays: Mr. Samad, Ms. Smitherman
- Absent: Ms. Kearney
- Excused: Mr. Stallworth

Over the last four months, DCPE staff and the applicants have made the revisions approved by the City Planning Commission. DCPE staff has reviewed the complete document for accuracy and completeness. Also, the Law Department and the Urban Conservator have reviewed and amended the original existing historic guidelines by replacing the former new construction section with an incorporated reference to the approved new construction guidelines document. In addition, there were some other minor housekeeping adjustments made to the existing guidelines. The Non-Contributing Building List has not changed since the December 2, 2022, City Planning Commission meeting.

STAFF’S PROPOSED REVISIONS APPROVED BY CITY PLANNING COMMISSION ON DECEMBER 2, 2022:

- 1) **Approved Revised Storefront Guidelines:** New storefronts should feature the basic components of a storefront system, including a bulkhead, transom windows and display windows.
- 2) **Approved Revised Setback Guidelines:** State that setbacks should be consistent with adjacent similar uses along the street.
- 3) **Approved Revised Height Guidelines:** Height guidelines state that a new building can be one story higher or lower than adjacent buildings.
- 4) **Approved Revised Balcony Guidelines:** Balconies should be sympathetically added to provide for outdoor space without sacrificing contextual development such as creating large voids in an otherwise solid plane along the street or large projections that are not part of the contextual fabric.
- 5) **Approved Revised Roof Deck Guidelines:** Rooftop decks and roof access enclosures should be no more than minimally visible from abutting streets, must not be highly visible from the public realm, and must minimize disturbance of roof top views from other buildings.
- 6) **Approved Revised Vehicular Entrance Guidelines:** Vehicular entrances are inappropriate and not permitted on front facades and side elevations.
- 7) **Approved Revisions to the Use of the words “must” and “should” in the Guidelines:**

The guidelines have been revised so the use of “must” was changed to “should” in many places throughout the guidelines.

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012)

These proposed amendments to the Over-the-Rhine Local Historic District New Construction Guidelines are consistent with *Plan Cincinnati* (2012) in the Sustain Initiative Area, in the Goal that recommends to “preserve our natural and built environment” and “preserve our built history with new development incentives and regulatory measures” (pages 193-194).

Over-the-Rhine Comprehensive Plan (2002)

These proposed amendments are consistent with the *Over-the-Rhine Comprehensive Plan* (2002) in that the design guidelines for the locally designated OTR Historic District “provide a framework for continual revitalization” (page 32).

ANALYSIS:

DCPE staff feels that the proposed amendments to the OTR Local Historic District guidelines provide value to the historic review process, especially incorporating graphic representations of the guidelines within the final document. The applicants and DCPE staff have made the changes to the proposed new construction guidelines that the City Planning Commission approved on December 2, 2022. DCPE staff has reviewed the revisions for completeness and accuracy and recommends that the City Planning Commission accept the revisions as requested on 12/2/22 and then the revised OTR Local Historic District Guidelines will go to City Council for final approval.

RECOMMENDATION:

The staff of the Department of City Planning and Engagement recommends that the City Planning Commission take the following actions:

1. **ACCEPT** the revisions made to the Over-the-Rhine Local Historic District New Construction Guidelines made by Department of City Planning and Engagement staff as directed by the City Planning Commission’s motion at the meeting dated December 2, 2022; and
2. **CONFIRM** the approval of the New Construction Guidelines, as so revised by Department of City Planning and Engagement staff, as more particularly detailed in Attachment A; and
3. **APPROVE** the revisions made by Department of City Planning and Engagement staff to the Over-the-Rhine Local Historic District Guidelines, as more particularly detailed in Attachment B.

Respectfully submitted:

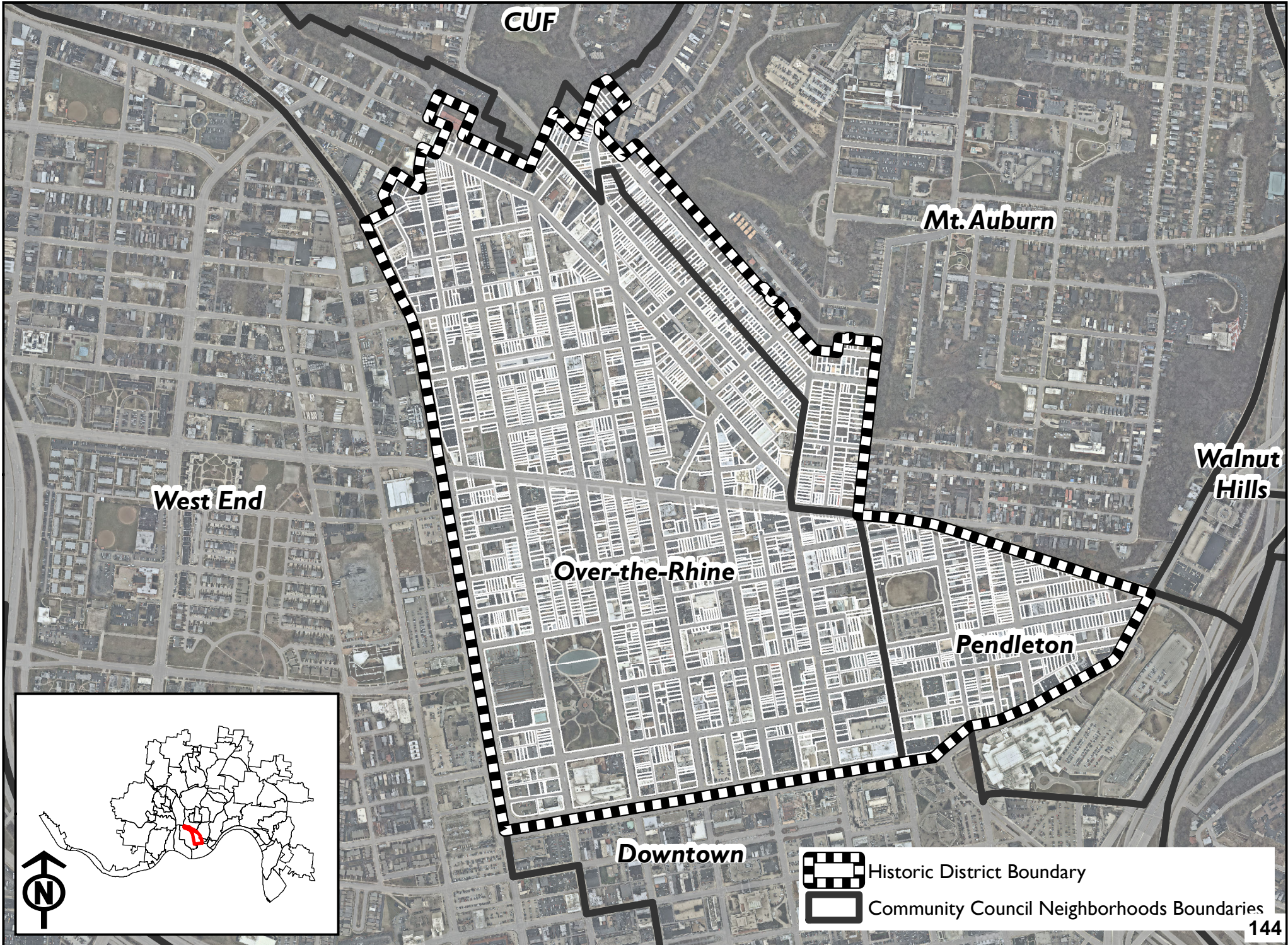
Approved:



Caroline Hardy Kellam, Senior City Planner
Department of City Planning and Engagement

Katherine Keough-Jurs, FAICP, Director
Department of City Planning and Engagement

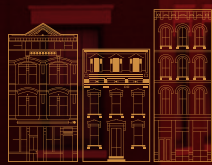
Over-the-Rhine Historic District



OVER-THE-RHINE  HISTORIC DISTRICT

OTR

18



40





#THISISOTR

ACKNOWLEDGEMENTS

This document was developed through a community effort led by the Over-the-Rhine Foundation, the Over-the-Rhine Foundation's Infill Committee, and professional consultants. We wish to acknowledge the following:

Over-the-Rhine Foundation Board of Trustees:

Darrick Dansby
David Fatherree
Tom Hadley
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Reid Hartmann
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Seth Maney
Ana Ozaki
Adam Rayne
Anne Delano Steinert
Sean Suder
Nancy Yerian

Consultation provided by the City of Cincinnati Office of the Urban Conservator:

Beth Johnson, Urban Conservator

Document design by:

Hyperquake
M+A Architects

Special thanks to:

Phil Armstrong
Matt DeRhodes
Adam Hartke
Chris Heckman
Clayton Wirtz

This document was funded in part by:

The Over-the-Rhine Foundation
The Carol Ann and Ralph V. Haile, Jr./U.S. Bank Foundation
Certified Local Governments Grant administered by Ohio History Connection from the U.S. Department of the Interior's Historic Preservation Fund (CFDA 15.904)

Over-the-Rhine Infill Design Competition:

Sanyog Rathod, Sol Design + Consulting, 1st Place
Maren Kuspan, 2nd Place
O'Sam Mardin, Professional Design Associates, Inc.,
Honorable Mention

Community Engagement was sponsored by:

The Over-the-Rhine Foundation
Cincinnati Preservation Association
3CDC
8K Construction Company
The University of Cincinnati's Niehoff Urban Studio
AIA Cincinnati
The Christian Moerlein Brewing Company
An Anonymous Donor

INTRODUCTION

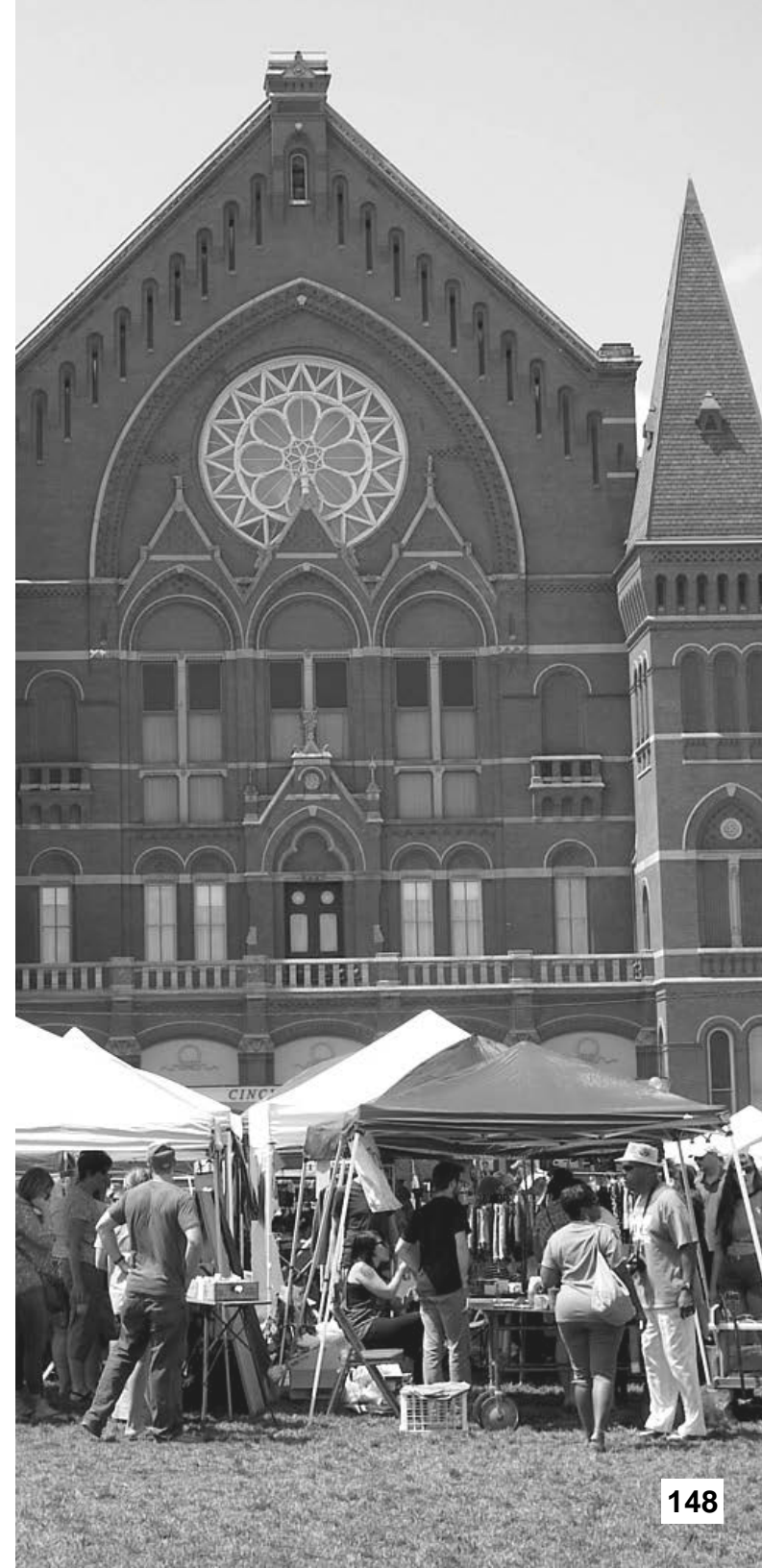
The Over-the-Rhine Historic District is Cincinnati's historic heart, and a national treasure. Few neighborhoods in America inspire like Over-the-Rhine, with its expansive collection of Italianate churches, breweries, and tenements providing one of the best surviving examples in the country of a 19th century urban neighborhood. The Historic District serves not only as the showpiece of Cincinnati's cultural heritage, but also as an economic engine and driver of the local economy. The famed travel historian Arthur Frommer said of the neighborhood, "When I look at [Over-the-Rhine], I see in my mind the possibility of a revived district that literally could rival similar prosperous and heavily visited areas."¹ Indeed, it is precisely the unique historic character of Over-the-Rhine and Pendleton that has fueled the renewal of the area and helped to facilitate a resurgence in the city as a whole.

As a national exemplar for what historic preservation can do, it is essential that the Over-the-Rhine Historic District continue to be preserved and protected so that its status as both a cultural and an economic asset for the city of Cincinnati is maintained. This includes protection not only from demolition of the historic structures that comprise the District, but also from insensitive new construction built on vacant sites in the neighborhood.

New construction has powerful impacts on the fabric and sense of place of the Over-the-Rhine Historic District, and can either enhance the historic character of the District, or damage it in harmful and irreparable ways. Moreover, due to demolition that occurred in the 20th century, new construction will ultimately comprise a very significant portion of the Historic District, and will thus play a substantial role in defining its sense of place.

Scant reference to new infill construction is present in the Revised Over-the-Rhine Historic District Conservation Guidelines of 2003. What is provided lacks clarity of intent and instruction. This document emerges from a need for a more comprehensive and illustrated set of guidelines dedicated to new infill construction, and is designed to provide extensive guidance to owners, architects, developers, city officials, citizen board members and others in the conception and review of appropriate new infill.

*The Over-the-Rhine
Historic District
is Cincinnati's
historic heart, and
a national treasure.*



These guidelines are intended to provide a regulatory framework for new construction that supports the existing historic architecture and protects the character of the Over-the-Rhine Historic District for current and future generations of Cincinnatians and visitors alike. Definitions of key items are found in the Glossary beginning on p. 57.

The following statements describe the intention of this document:

1. Language used throughout the document is intended to convey the level of importance of compliance with each guideline referenced. Guidelines containing the words “must” or “must not” indicate that the guideline ought to be complied with in all circumstances. Guidelines containing the words “should” or “should not” indicate the intention that the guideline is very important and should be complied with in most cases, while recognizing that some high caliber designs will still comply with the spirit and intent of the Guidelines without strict adherence to the guideline in question, and warrant exemption from these guidelines. Guidelines containing the word “may” indicate the intention that compliance is optional.
2. Illustrations provided in this document are intended to accompany and clarify language provided but do not supersede it.
3. New construction is allowed on vacant sites in the Over-the-Rhine Historic District, because gaps due to demolition weaken the streetscape and the overall character of the District.
4. New construction should support and enhance the historic architecture of the Over-the-Rhine Historic District, and should not overwhelm or detract from the character of the District. The exceptional quality of the existing historic buildings in the District provides an outstanding framework for new construction.
5. New construction should be well-designed, contemporary yet compatible with, and complementary to, the surrounding historic buildings in the District. The understanding and interpretation of patterns in the surrounding historic context is essential to infill design. New construction should honor the patterns found in the height¹, massing, shape, footprint, roofs, openings, and rhythm of the surrounding historic context, but must not replicate the architectural detailing found on historic buildings.
6. The Historic Conservation Board’s review of new construction will focus on the design compatibility with contributing historic structures located within the same block face.² At times, a dearth of extant historic buildings will make it necessary to expand consideration to include historic context on the opposing block face, and/or additional block faces in both directions. Design compatibility will be assessed based on common patterns among these contributing buildings, rather than conditions found on individual contributing buildings. Review of new construction will focus particular attention on massing, scale, height, rhythm, and setback.
7. These guidelines will be used to judge the design compatibility of new construction with the historic architecture of the District.

Note

- 1 See Height Character Map on page 12 to understand the height, scale, and massing characteristics of different parts of the Historic District.
- 2 See Context Hierarchy on page 8. Context reference is based on contributing structures in proximate block faces and blocks. Materials and Openings are exceptions and these may reference contributing structures located throughout the entire District.

HISTORY¹

The Over-the-Rhine Historic District is significant in the continuing history of Cincinnati and the United States. In 1983 the District was listed on the National Register of Historic Places, in recognition of both its exceptional nineteenth-century architecture and its association with the successive waves of German immigration to America in the nineteenth century.

The Historic District's collection of commercial, residential, religious and civic architecture is one of America's largest and most cohesive surviving examples of an urban, nineteenth century community. Similar neighborhoods in other cities have been decimated or lost entirely. The Over-the-Rhine Historic District, however, continues to display its original dense, urban development patterns and buildings of excellent architectural quality, imbuing the neighborhood with a "sense of time and place." Rows of three-to five-story brick buildings constructed along the sidewalk characterize the streetscape. Many buildings have storefronts on the first floor with residential space on the upper floors. The Italianate style is the predominant architectural style in the District. Other nineteenth-century styles, including Federal, Greek Revival, Second Empire, Queen Anne, and Renaissance Revival, add to the flavor of the District.

The District also has many simply designed, working-class buildings that display modest elements of the high architectural styles.

The Over-the-Rhine Historic District encompasses a dense, urban area that displays a visual continuity conveying a sense of time and place. The physical relationship of adjacent buildings in a dense environment is accentuated by the uniform faced lines imposed on the streets. The buildings' consistent scale and height, similar materials, and architectural detailing blend to create distinctive streetscapes reflecting the historic development of the area.

In the nineteenth century Over-the-Rhine and Pendleton were home to businessmen of means and their families, shop owners, working-class families, and the poorest of immigrants. Like other urban centers of the period, this area was part of the 'walking city,' in which most people could easily walk from their homes to places of employment, entertainment, and worship. Building exteriors were designed to be experienced and appreciated by pedestrians along the sidewalks, and buildings were placed at the front of their lots for easy pedestrian access.



PROCESS OF DEVELOPING NEW CONSTRUCTION

Prior to designing an infill building in the Over-the-Rhine Historic District, developers contemplating a new construction project should undertake the following pre-design steps.



01

Understand the historic neighborhood

All successful new construction will emerge from an understanding and respect for the significance of the Over-the-Rhine Historic District as a historical place; it is therefore essential that this understanding be in place before any design efforts have begun. It is recommended that developers and their designers tour the District on foot, and study written materials on the history and significance of Over-the-Rhine.¹

02

Understand the site and surrounding context

Each vacant site in the Over-the-Rhine Historic District is contextually related to the historic buildings in the micro-context surrounding the site. Successful new construction will sensitively integrate into this micro-context. Developers and their designers should tour the area surrounding the site extensively, studying the historic buildings within the same block face and their attributes, including height, massing, setback, proportion, rhythm of openings, composition, and roofscapes. This study should focus on broad patterns that bring cohesiveness to the block face, rather than isolated anomalies on individual buildings. If there is insufficient extant historic context within the block face, developers and their designers should expand their study to the opposing block face and additional block faces in either direction, as described in the Context Hierarchy on page 8. It is also helpful to review Sanborn Fire Insurance maps to gain an understanding of what previously existed on the site, as well as the Height Character Map on page 12 to understand the existing height, scale, and massing characteristics of the historic micro-context.

03

Thoroughly review these guidelines

Once a baseline understanding of the history of the District, the development site, and the surrounding historic micro-context has been achieved, developers and their designers should consult these guidelines to work toward a high-quality design that is compatible with the historic context.

04

Notify the Community

Early in the design process, developers and their designers are encouraged to notify the appropriate community councils and other neighborhood groups of their intent to build. These community groups can provide knowledge, context, and insight to a developer/designer that will aid in the design of the project and assist in obtaining community support. This step also provides an opportunity to enhance the developer/designer's understanding of the Over-the-Rhine Historic District through the transfer of information from long-standing stakeholders in the District.

05

Compliance with Building Codes

Nothing in these guidelines shall prevent new construction from complying with all relevant building codes, including the Americans with Disabilities Act. Building Code and ADA compliance should be a foundation of the design process.

¹ See, for example, Robert Wimberg, Cincinnati: Over-the-Rhine (Cincinnati: Ohio Bookstore, 1988); Don Heinrich Tolzmann, Over-the-Rhine Tour Guide: Cincinnati's Historic German District, Over-the-Rhine, and Environs (Milford: Little Miami Publishing Company, 2010)

CONTEXT HIERARCHY

The foundational principal of this document is that the existing contributing historic buildings within the Over-the-Rhine Historic District provide an ideal framework for guiding compatible and sensitive new infill development. Accordingly, many of the guidelines herein ask developers and their designers to look to the surrounding historic micro-context to inform key aspects of infill design, such as height, setback, composition, rhythm, window openings, and roof shape.

The levels of contextual reference required in this document begin at the level of greatest proximity to the building site (i.e., the block face) and move outward as necessary.

Insufficient Extant Historic Context: If there are fewer than three (3) non-monumental contributing buildings located within the applicable Level of Contextual Reference, then there is Insufficient Extant Historic Context and the next level of contextual reference shall apply.



OTR

LEVELS OF CONTEXTUAL REFERENCE

01

Block Face

The first level of contextual reference in this document shall be to “non-monumental contributing buildings located within the same block face”. The block face is given primacy because it is the most fundamental building block of development in the Over-the-Rhine Historic District. Buildings within the same block face were often developed at or around the same time, under similar site constraints, and as a rule they exhibit similarities in dimensionality, urban design, and architectural language. Due to demolition, however, in some cases there is insufficient extant historic context in a particular block face on which to base important decisions about infill development. In such cases, it is necessary to expand the frame of reference to capture a wider swath of historic context.

02

Block

If insufficient extant historic context is available, the second level of contextual reference shall be to “non-monumental contributing buildings located within the same block”. The block widens the contextual reference area to include not just those buildings located within the same block face, but also those contributing buildings located directly across the street on the opposing block face. While opposing block faces do occasionally exhibit significant differences in building typology, use, setback, and height, in general, buildings on opposing block faces share an underlying consistency of rhythm that makes them identifiable as cohesive blocks.

03

Additional Block Faces

After looking at the block, if there is still insufficient extant historic context available, the third level of contextual reference shall be to “non-monumental contributing buildings located within the same block plus the next block face on either side of the subject block face”. This is the next most coherent context to inform infill development, as homogeneity of form and design is generally expressed at the street level throughout the Over-the-Rhine Historic District, and adjacent block faces within streets exhibit greater commonality than block faces further down.

If there is still insufficient extant historic context available, the final level of contextual reference shall be to “non-monumental contributing buildings located within the same block plus the next block face on either side of both the subject block face and the opposing block face.”



TABLE OF CONTENTS

01 **MASSING,
HEIGHT & SCALE**

02 **SETBACK**

03 **COMPOSITION**

04 **RHYTHM**

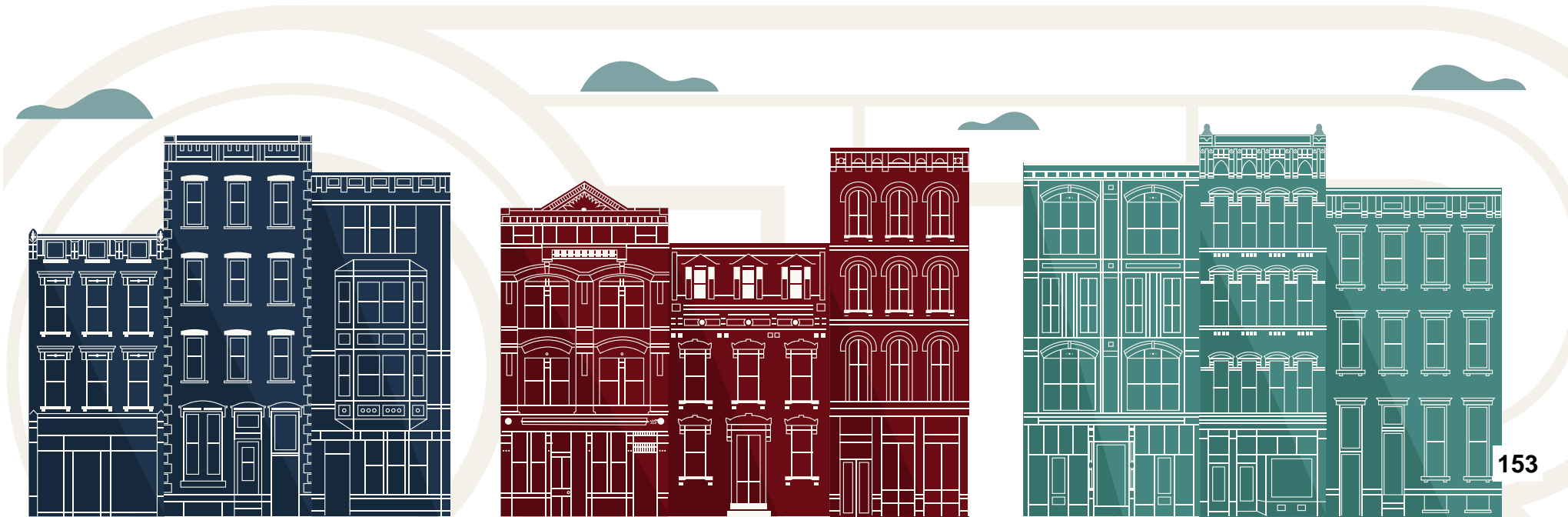
05 **OPENINGS**

06 **ROOF**

07 **MATERIALS**

08 **MISCELLANEOUS**

09 **APPENDIX**





MASSING, HEIGHT & SCALE

At right: 372 Lafayette Street in New York City demonstrates consistency in width, height, and massing with its historic context.



MASSING, HEIGHT & SCALE

HISTORIC CONTEXT

Massing, Height and Scale are fundamental to the unique identity and character of the Over-the-Rhine Historic District. The District was developed on long, narrow lots of land, resulting in the construction of tall, long, narrow buildings designed to maximize density. Thus, the quintessential building is significantly taller and longer than it is wide, with either a rectangular or “L” shape volume. The massing and height of each building varies from its neighbors, but within a limited range, resulting in the particular scale that defines each block.

The archetypal block in the Over-the-Rhine Historic District ranges from 2-3 stories, to 3-4 stories in height. Several blocks -primarily in the southern half of the District- feature a 3-5 story character. The edge of the Historic District along Central Parkway is distinctly different in character than the rest of the District and features some significantly taller buildings oriented toward the Central Business District and the West End.

Most buildings in the District are relatively narrow, 20-40 feet in width. The northwestern section of the District, reflecting the brewing heritage of the neighborhood, contains many larger footprint industrial buildings. Portions of Central Parkway are characterized by buildings of greater massing than is typical of the District.

The Height Character Analysis Map on the following page is provided to show the block-by-block height character of the Over-the-Rhine Historic District.











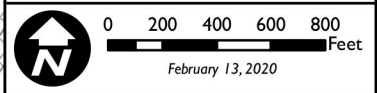
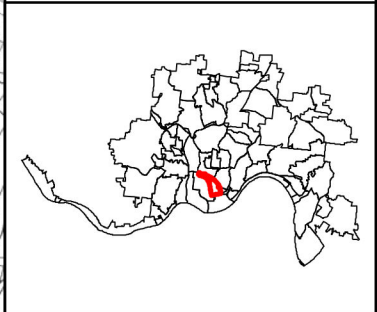
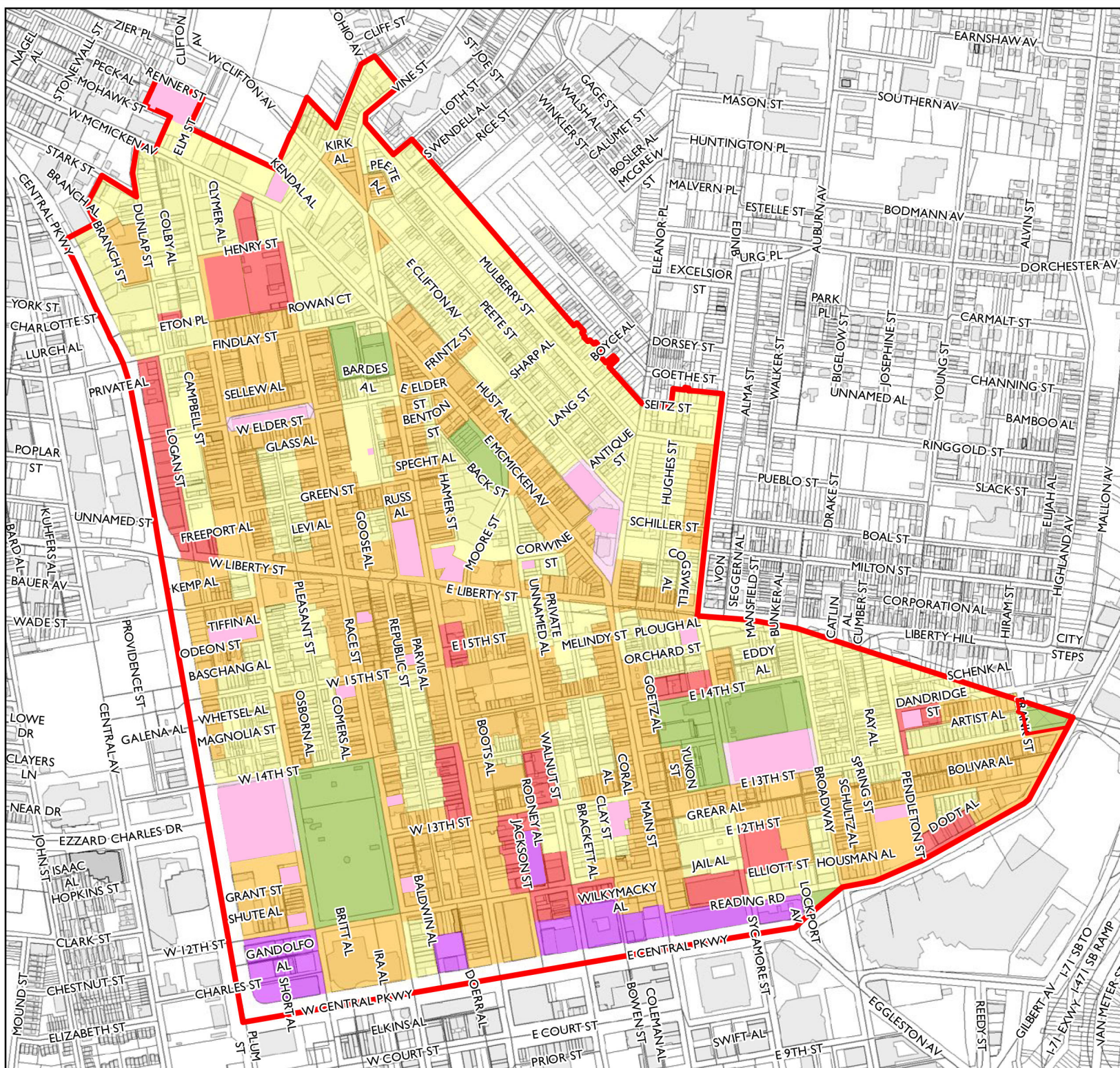
24-30 E. 15th Street typifies the massing, height, and scale of buildings found in the Over-the-Rhine Historic District.



1430-1438 Race Street typifies the massing, height, and scale of buildings found in the Over-the-Rhine Historic District.

Over-the-Rhine Historic District

-  Over-the-Rhine Historic District
-  Buildings
- Building Heights**
-  2 - 3 Stories
-  3 - 4 Stories
-  3 - 5 Stories
-  5+ Stories
-  Park
-  Monumental Buildings



MASSING, HEIGHT & SCALE

01

The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over-the-Rhine are between two and five stories.



SETBACK

At right: This building in central Amsterdam responds to its historic context by meeting the edge of all four property lines.



SETBACK

HISTORIC CONTEXT

The Over-the-Rhine Historic District was developed as a dense walking neighborhood with the vast majority of buildings built directly up to the sidewalk. This mostly zero setback environment presents a rich pedestrian experience full of vitality, visual interest, and public access to commercial property. A majority of buildings are also built up to the side lot lines, though some buildings have small side setbacks. In rare cases, small, detached residential buildings are set back from the street using a low, visually-permeable, decorative iron fence to mark the edge. Some larger iconic buildings such as schools, churches, and public buildings are set back from the street to provide public space, adding to their civic monumentality.

The Over-the-Rhine Historic District is dominated by zero setback streetscapes, as seen here in the 1400 block of Vine.



Some block faces have groups of buildings with small front and/or side setbacks, as seen here at 211-217 Orchard Street.



SETBACK

GUIDELINE INTENTION

New buildings are to respect the established setback pattern on the street. A zero lot line setback at the front and on the sides will be the first response to a new construction project unless a majority of other contributing buildings along the block face have setbacks.

01

Buildings should be built with zero setback from front lot lines, side street lot lines, and side alley lot lines, except as defined in 02.¹

02

Buildings should have a front setback if all of the following conditions exist:

- a. The building is a residential building.
- b. The building is not located on a corner lot.
- c. There are at least three non-monumental contributing buildings extant within the same block face, and a majority of these have a front setback of at least 2 feet.
- d. The depth of the setback is consistent with the setbacks of those contributing buildings defined in 02:c.

03

Buildings should be built with zero setback from all interior side lot lines for at least the first 20 feet of depth of the building, except as defined in 04.

04

Buildings should have an interior side setback on one or both sides if all of the following conditions exist:

- a. The building is a residential building.
- b. There are at least three non-monumental contributing buildings extant within the same block face, and a majority of these have an interior side setback on at least one side.
- c. The depth of the setback is consistent with the interior side setbacks of those contributing buildings defined in 04:b.

Note

¹ See Glossary on p. 57 for definition of *articulative recesses* and *setback*.

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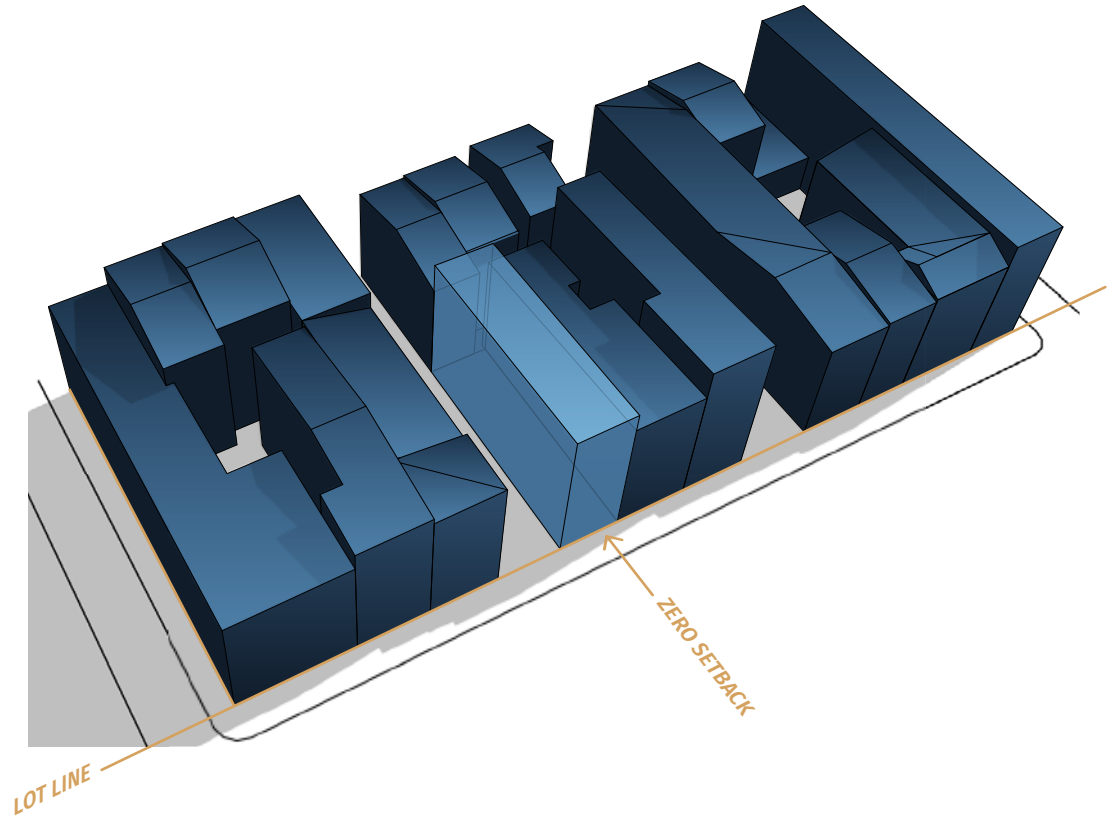
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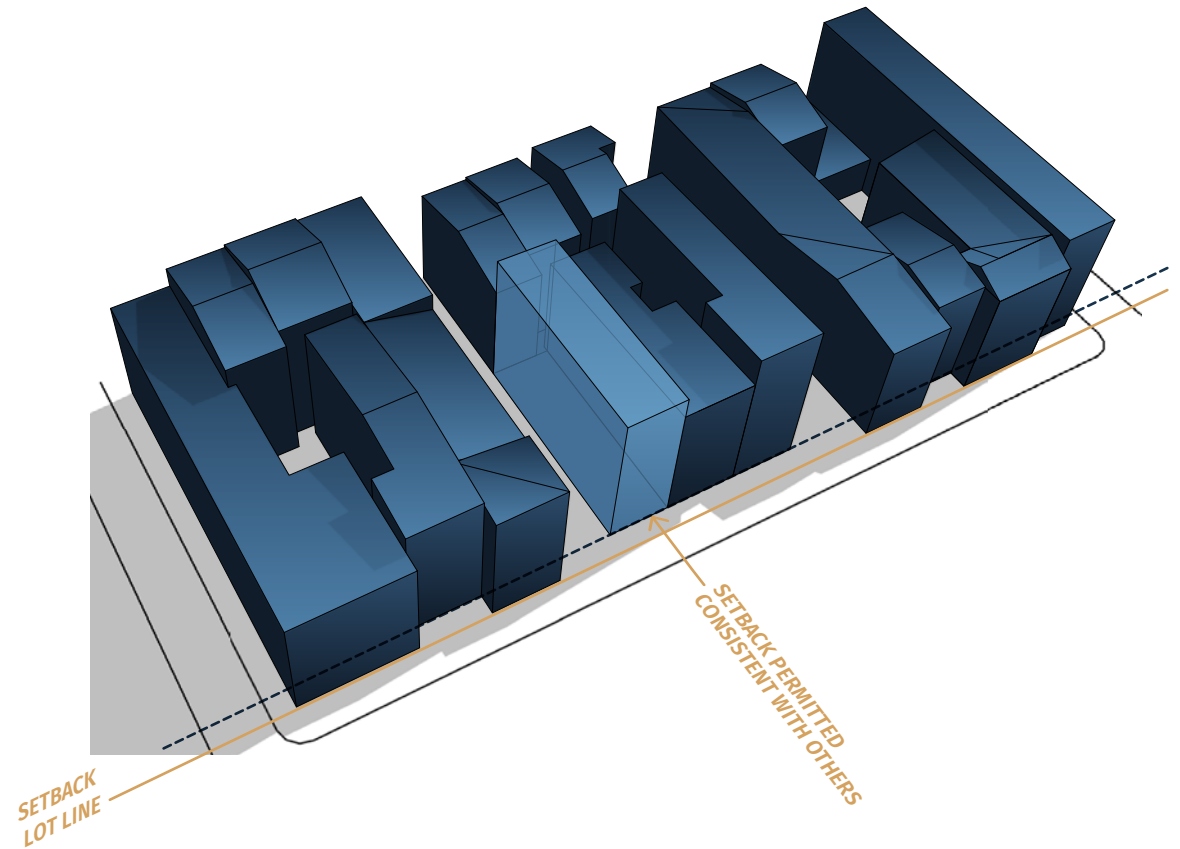
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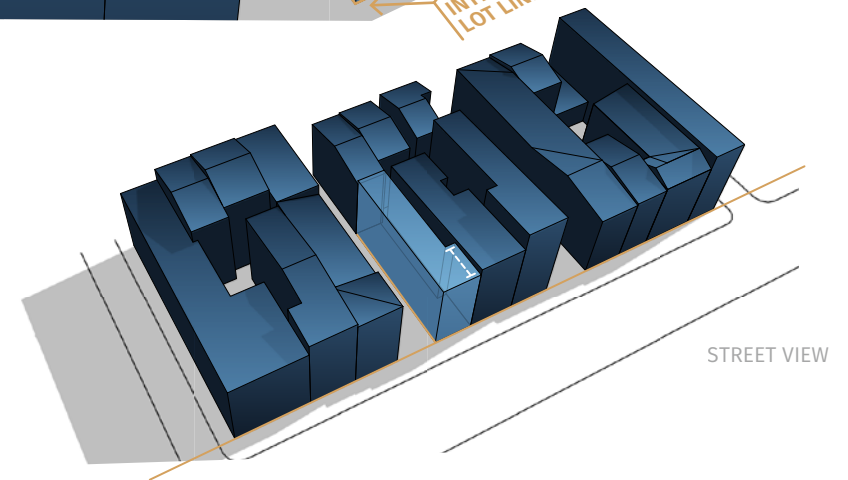
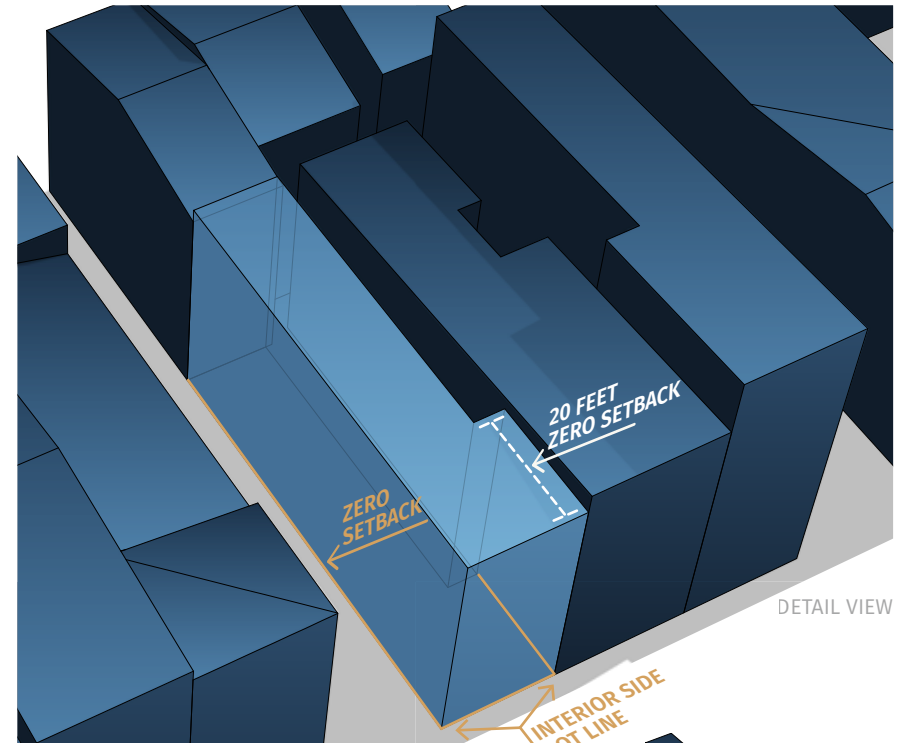
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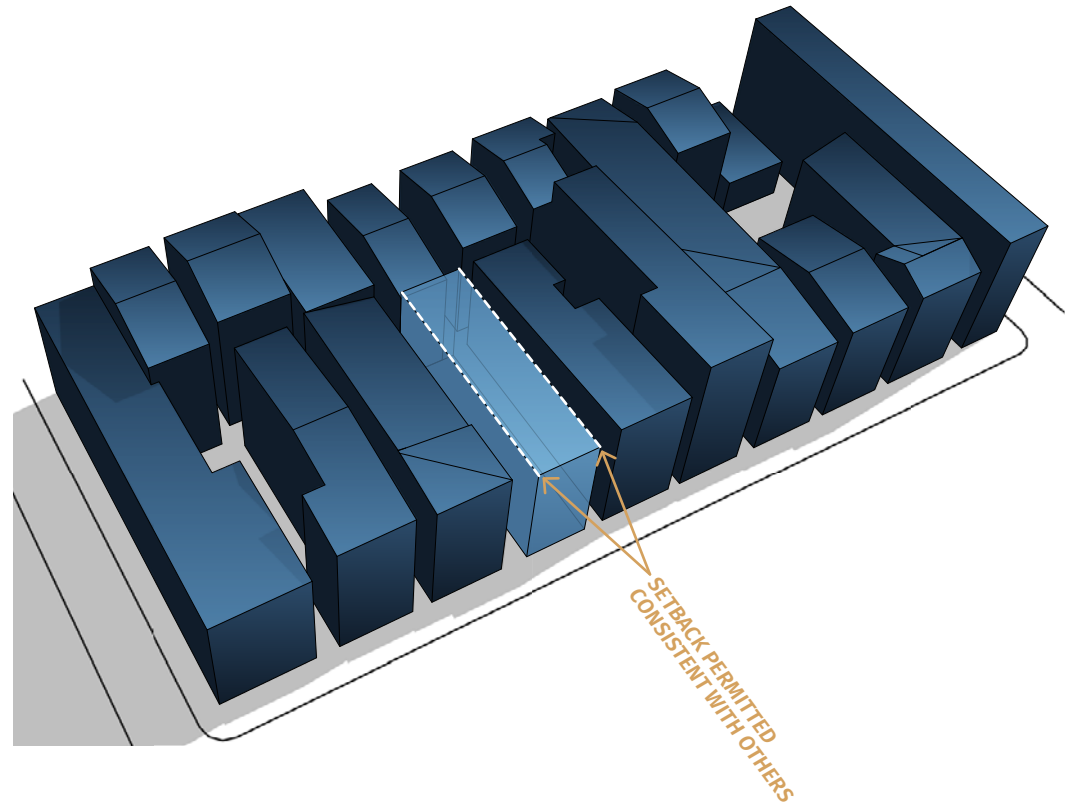
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C. TOP

B. MIDDLE

A. BASE

COMPOSITION



At right: 41 Bond Street in New York City features clearly delineated base, middle, and top components.

COMPOSITION

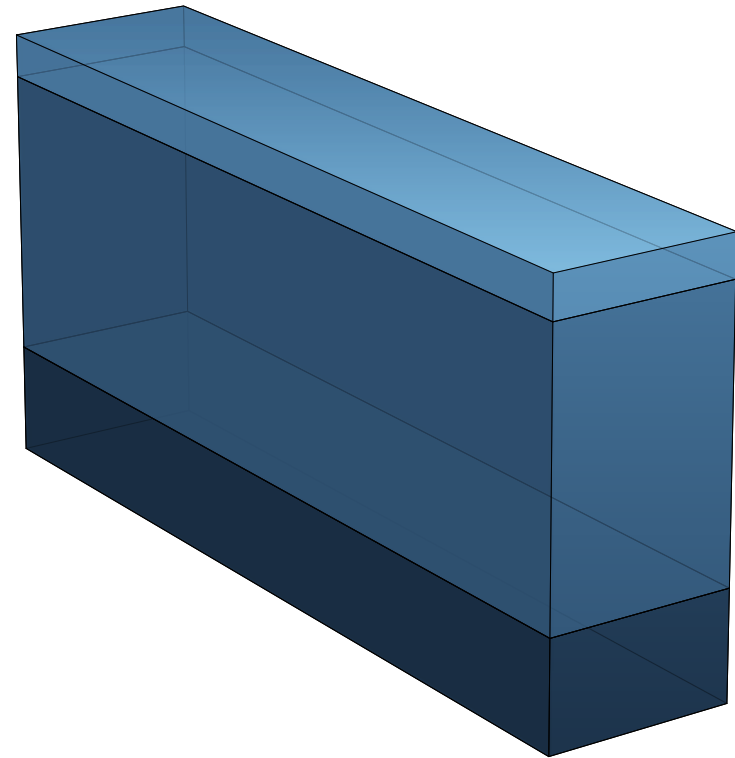
HISTORIC CONTEXT

The typical building in the Over-the-Rhine Historic District has a three-part organization consisting of a base, middle, and top. Each of these elements plays a specific role in the composition of the building.

While there is a distinct difference in the bases of commercial and residential buildings, the middle and top components of buildings in the District are similar across different uses.



1119 and 1121 Walnut Street illustrate the differences between commercial and residential bases.



COMPOSITION: BASE

HISTORIC CONTEXT

Commercial Storefronts

First-floor storefronts are common and are a significant architectural feature in the District’s commercial and mixed-use buildings. Storefronts take on a dual role. First, as the place where merchants display their wares, they allow customers to “window shop”, thus providing intimate contact with the pedestrian. Second, by forming the architectural base of the building, they also give scale, rhythm, and texture to the street.

Storefronts are prevalent on commercial arterials but are also found interspersed on predominantly residential streets – particularly on corner buildings. Corner storefronts typically wrap the primary façade to face both streets.

During the latter decades of the 19th-century, most storefronts in the District were built of brick columns faced with sandstone or cast iron pilasters. Architecturally, styles include Greek Revival, Italianate, and Queen Anne. Detailing ranges from very simple stone piers and lintels to very elaborate cast iron columns assembled in a variety of patterns. The exact size, scale and level of detail vary greatly from building to building, but most storefronts share a common design framework.

Residential Bases

Residential bases often consist of a stone foundation, typically rising 9 to 24 inches above grade and capped by a projecting sandstone or limestone water table. Some bases contain windows that provide ventilation and light to the building’s basement. Residential bases may also be characterized by the presence of stoops leading to an elevated entry. These stoops vary in height, but are generally consistent in form and height with other stoops within the same block face.



1708 Elm Street exhibits the characteristics of residential bases.



119 E 12th Street exhibits the characteristics of commercial storefronts.

COMPOSITION: BASE

COMMERCIAL/MIXED-USE BUILDINGS

GUIDELINE INTENTION

New storefronts will evoke the scale, verticality, shadow detail, rhythm, and proportionality of historic storefronts in the District.

01

Commercial/mixed-use buildings should have a storefront, and the storefront should conform to the following:

- a. Storefronts should feature the basic components of a storefront system, including a bulkhead, transom windows, display windows, substantial vertical divisions, header/continuous lintel, and primary entry door. They may also include components such as columns, pilasters, sills, and storefront cornice.
- b. Storefronts should span the full width of primary façades and may wrap the corner onto secondary façades.¹
- c. Storefront height should be consistent with the general height of contributing storefronts located within the same block face.²
- d. Storefront windows should be recessed nominally from the plane of the façade.
- e. The ratio of storefront glazing to total storefront area should be consistent with the ratio of storefront glazing to total storefront area on contributing storefronts located within the District.
- f. Storefront glazing should not be covered by systems that obscure the view of the glazing from the public realm.
- g. Storefronts may be operable provided that the division, configuration, orientation, and recess of windows is consistent with the division, configuration, orientation, and recess of windows on contributing storefronts located within the same block face.²

02

Storefronts should be taller than individual upper floors.

03

Commercial/mixed-use buildings may have vehicular entry. Vehicular entry may be placed on a street-facing wall if all of the following conditions exist:

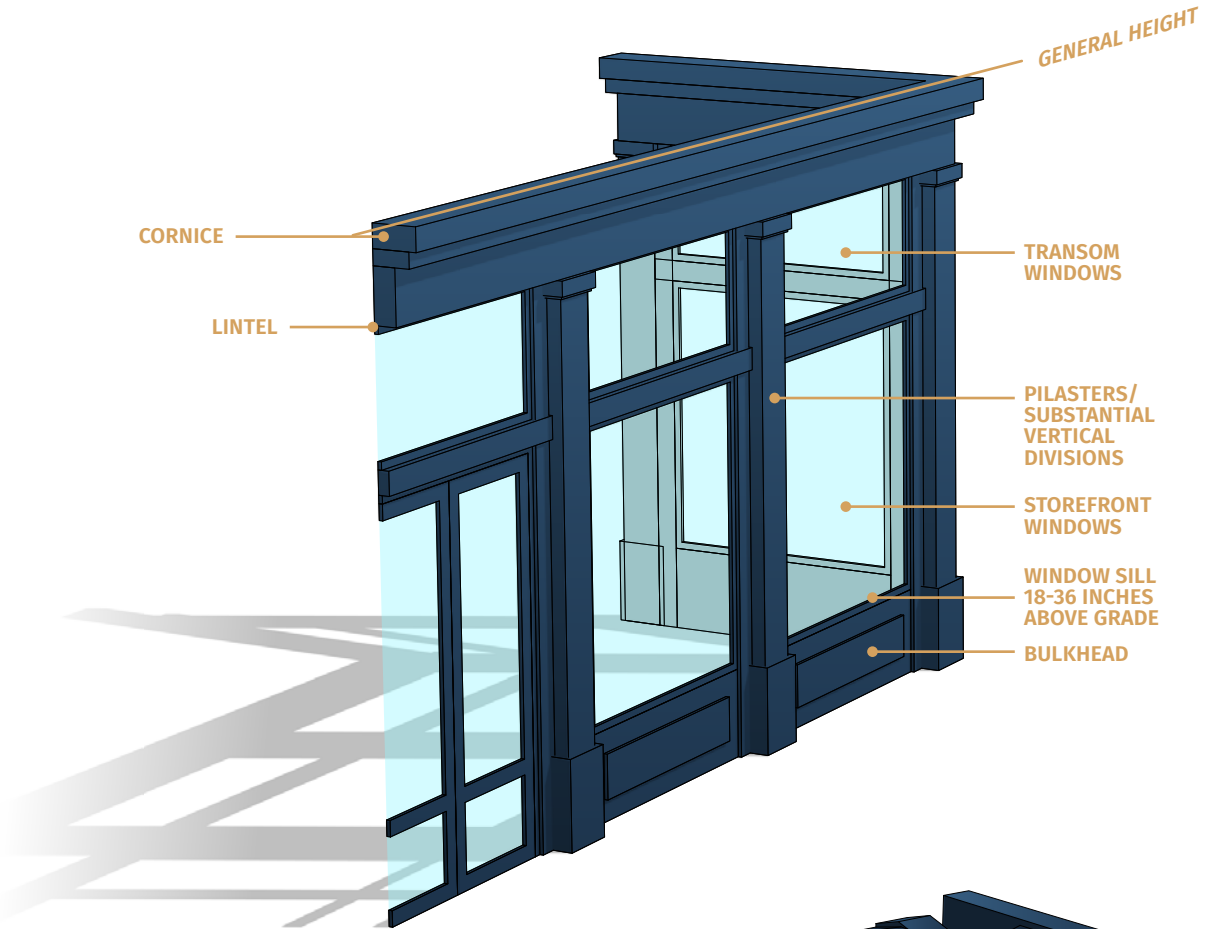
- a. The building is a garage or a commercial building for which parking is a significant part of the program.
- b. There is no feasible or practical alley access, as determined by the Department of Transportation and Engineering, that would permit the placement of vehicular entry on an alley rather than a street-facing wall.
- c. If garage doors are used, they are designed to blend inconspicuously into the wall system.
- d. If garage doors are not used, the vehicular entry and any associated equipment is set back from the plane of the façade.

Note

- 1 Storefront height on secondary façades should match the storefront height on the primary façade.
- 2 Must follow the rules for levels of context hierarchy defined on p. 8.

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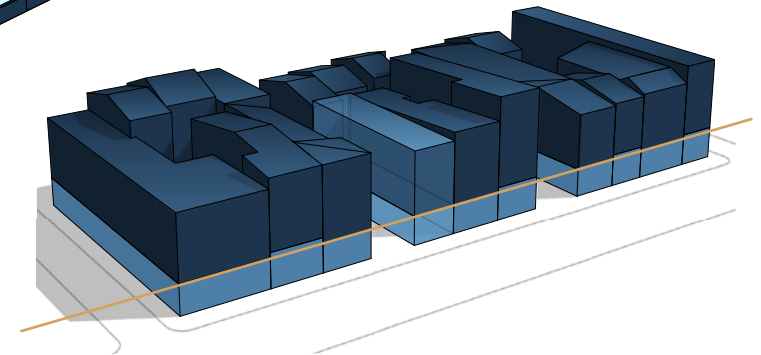
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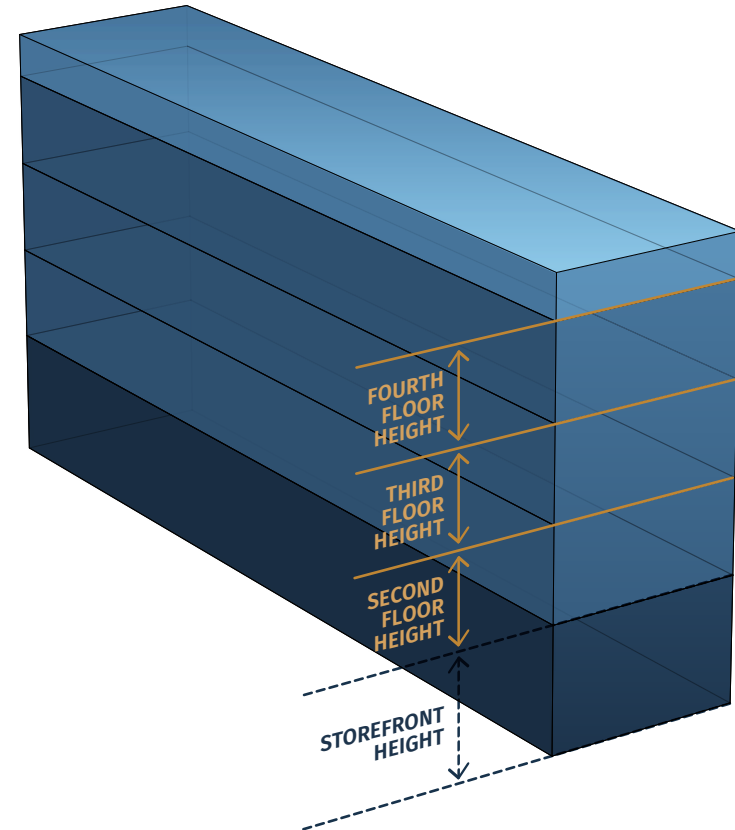
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02 Storefronts should be taller than individual upper floors.



COMPOSITION: BASE

RESIDENTIAL BUILDINGS

GUIDELINE INTENTION

Residential bases will be well defined and distinguishable from the middle component of a building.

01

Residential buildings should have a base component represented by a change in material and/or design that marks the transition from base component to middle component.

02

Base component height should be consistent with the general height of base components on non-monumental contributing residential buildings located within the same block face.¹

03

Residential buildings may have vehicular entry. Vehicular entry may be placed on a street-facing wall if all of the following conditions exist:

- a. The vehicular entry is not located on the primary façade.
- b. A majority of existing buildings located within the same block have vehicular entry.
- c. If garage doors are used, they are placed at the lot line, and are designed so as to blend inconspicuously into the wall system.
- d. If garage doors are not used, the vehicular entry and any associated equipment is set back from the plane of the façade.

Note

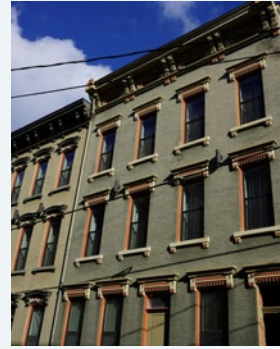
¹ Must follow the rules for levels of context hierarchy defined on p. 8.

COMPOSITION: MIDDLE

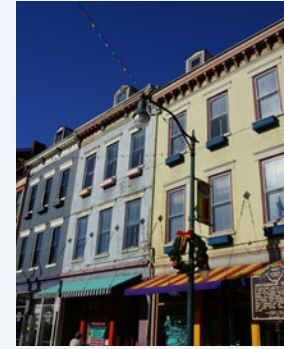
HISTORIC CONTEXT

The middle component of buildings in the Over-the-Rhine Historic District is the area between the top of the base component, and the bottom of the cornice. The middle component contains window openings, sills, lintels, and other detailing and articulation that contributes greatly to both the vertical emphasis and rhythm of the design.

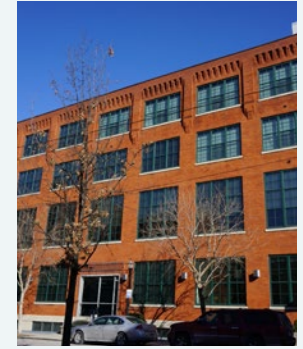
In commercial/mixed-use buildings, the middle component is typically distinguished from the storefront below through a strong horizontal element, such as a stone or cast iron lintel or cornice corresponding to a division in the use of the building. In residential buildings, the horizontal element dividing middle from base is the top of the stone foundation or water table that terminates below the building entry. In both building types, the middle component is distinguished from the more decorative top component through the application of a strong horizontal element.



1222 and 1224 Republic Street exhibit the characteristics of composition: middle in residential buildings.



118-128 W. Elder Street exhibit the characteristics of composition: middle in mixed-use buildings.



1212 Jackson Street exhibits the characteristics of composition: middle in industrial buildings.

COMPOSITION: MIDDLE

GUIDELINE INTENTION

The design of the middle component will provide a consistent architectural vocabulary along the streetscape.

01

Buildings should have a change in material and/or design that marks the transition from base component to middle component, and from middle component to top.

COMPOSITION: TOP

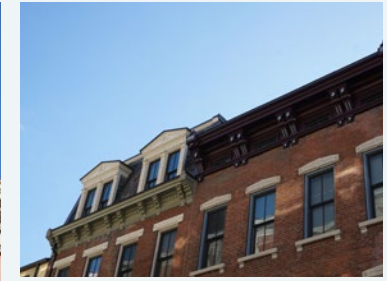
HISTORIC CONTEXT

Strong terminating elements at the tops of buildings are defining features of buildings in the Over-the-Rhine Historic District. Projecting cornices supported by decorative brackets and bold, decorative frieze panels are the quintessential tops found in the District. Historically, cornices projected over buildings to minimize rainfall on façades. Decorative cornices in the District often exhibit their own micro-composition of base, middle, top, while remaining consistent with an overarching theme throughout the District.

Some buildings feature less elaborate building tops – such as bracket-less box gutters and corbelled parapet walls – that nevertheless serve as strong terminating elements to the building. On other buildings the entire uppermost story serves as a top, realized by a mansard roof or a lower secondary cornice.



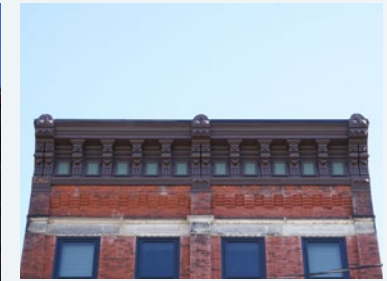
116 W. Elder Street exhibits the characteristics of composition: top.



213 and 219 Odeon Street exhibit the characteristics of composition: top.



8 Green Street exhibits the characteristics of early 20th-century composition: top.



1408 Elm Street exhibits the characteristics of composition: top.

COMPOSITION: TOP

GUIDELINE INTENTION

New buildings will provide a crowning visual termination to the composition.

01

Buildings should employ a strong top component that terminates the façade and creates shadow detail.

02

Top components should not imitate the District's historic cornices.

03

Top components should have a height that is consistent with the general height of historic top components on non-monumental contributing buildings located within the same block face.¹

04

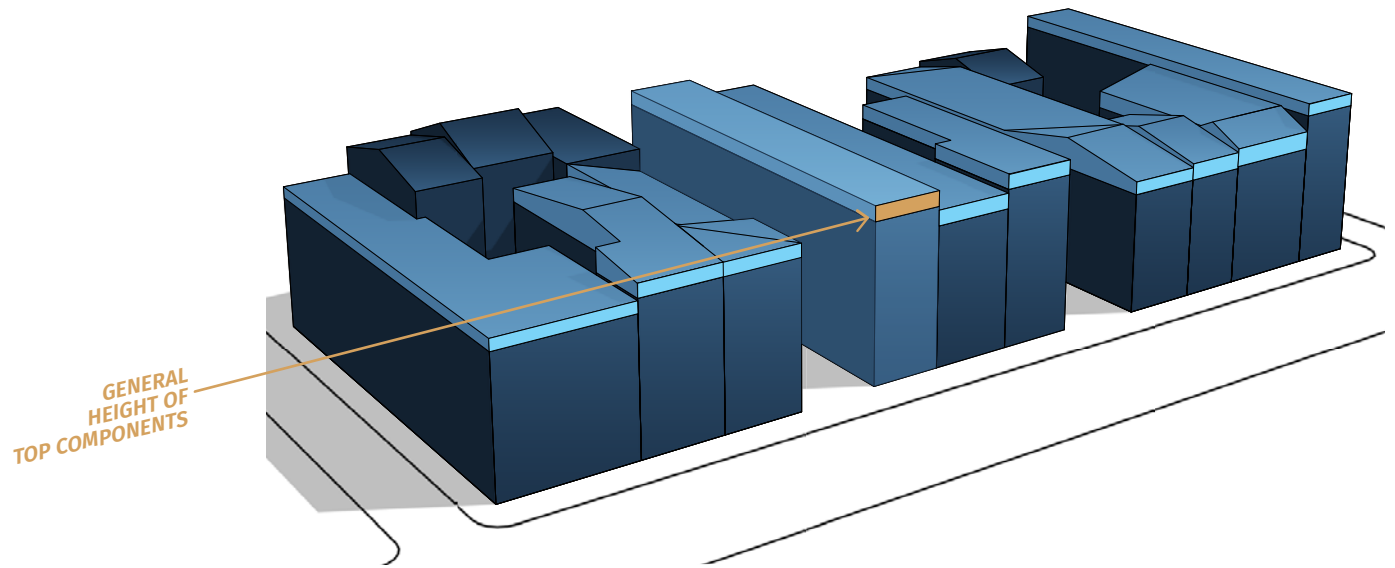
The projection (overhang) of top components beyond the plane of the façade must not exceed the furthest projection among top components on non-monumental contributing buildings located within the same block.

Note

¹ Must follow the rules for levels of context hierarchy defined on p. 8.

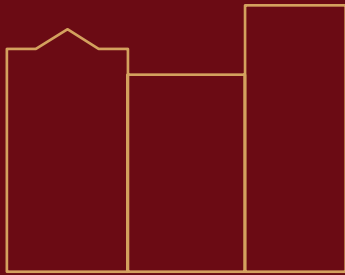
03

Top components should have a height that is consistent with the general height of historic top components on non-monumental contributing buildings located within the same block face.¹



Note

¹ Must follow the rules for levels of context hierarchy defined on p. 8.



RHYTHM

At right: This building in New York City maintains the historic rhythm of the streetscape by honoring the height, width, pattern of window openings, and planar articulation of its neighbors.



RHYTHM

HISTORIC CONTEXT

The “rhythm” formed by the repetition of buildings is one of the core elements that knits the Over-the-Rhine Historic District together into a cohesive fabric. Most buildings are tall and narrow – typically 20-40 feet in width and three to four stories in height – and exhibit a variation in height from one building to the next. Most buildings also feature regularly spaced, horizontally and vertically aligned, symmetrically placed window openings that display a remarkable consistency from one building to the next. Finally, buildings tend to have articulated wall surfaces (e.g., sills, lintels, and bracketed cornices), resulting in the consistent projection of elements from the plane of façades of buildings along the streetscape.

This repetition of tall, narrow buildings of varying height, consistent fenestration geometries, and articulated wall surfaces results in a particular pattern, or “rhythm”, that gives the District’s streetscapes harmony and coherence.

1405-1417 Main Street exemplifies the Over-the-Rhine Historic District’s distinctive rhythm.



529-541 E. 13th Street exemplifies the Over-the-Rhine Historic District’s distinctive rhythm.



RHYTHM

GUIDELINE INTENTION

New buildings will reflect the visual continuity established by the repetition of similarly designed and scaled contributing buildings along the streetscape.

01

Primary façade height should vary from the primary façade height of any neighboring buildings.

02

The rhythm of window openings should be consistent with the rhythm of window openings created by non-monumental contributing buildings located within the District.

03

Buildings should sensitively maintain the established rhythm created by non-monumental contributing buildings located within the same block face.¹

04

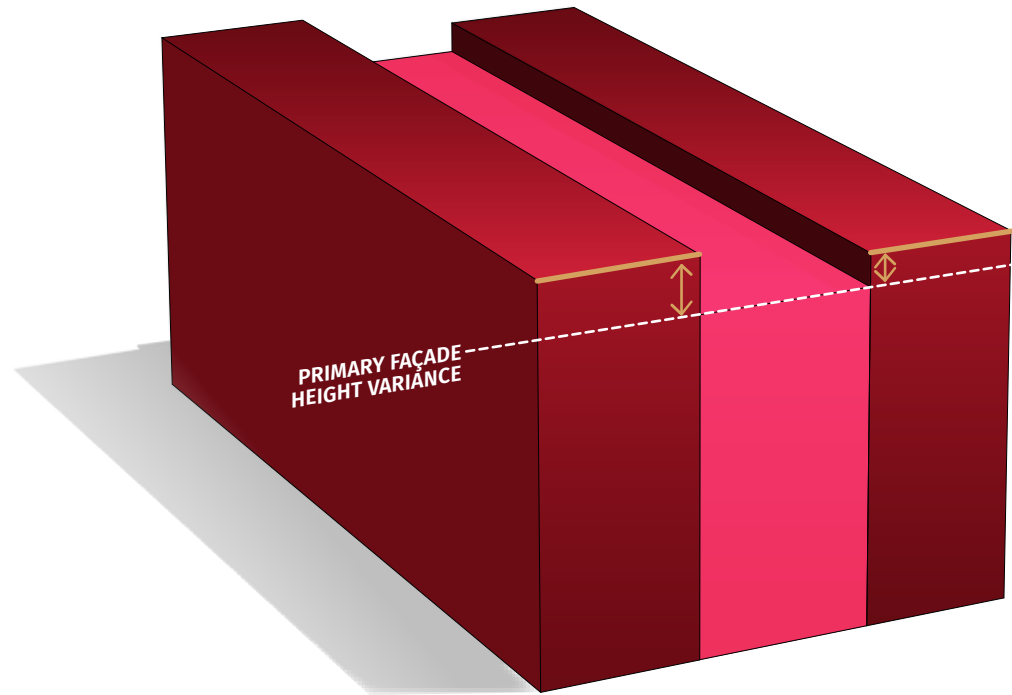
If primary façade width is greater than primary façade height, the façade design should be organized to create vertical emphasis.

Note

¹ Must follow the rules for levels of context hierarchy defined on p. 8.

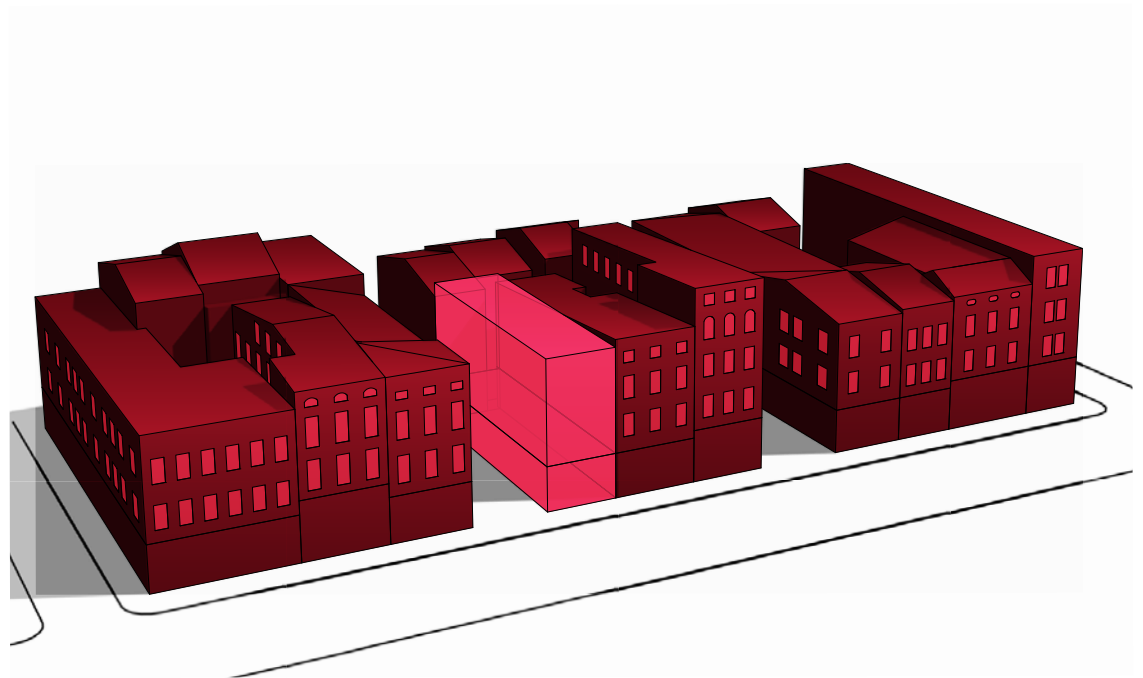
01 Primary façade height should vary from the primary façade height of any neighboring buildings.

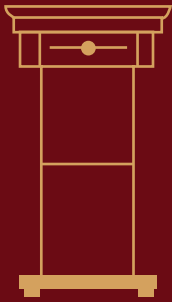
02 The rhythm of window openings should be consistent with the rhythm of window openings created by non-monumental contributing buildings located within the District.



01 Primary façade height should vary from the primary façade height of any neighboring buildings.

02 The rhythm of window openings should be consistent with the rhythm of window openings created by non-monumental contributing buildings located within the District.





OPENINGS

At right: Bahnhofstrasse 92 in Zurich, Switzerland has vertically oriented punched window openings arranged into rows and columns in reference to its historic surroundings.



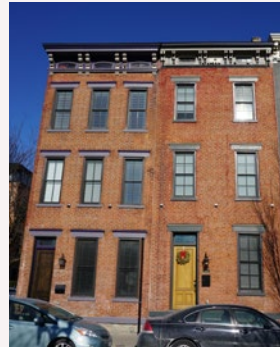
OPENINGS

HISTORIC CONTEXT

Openings are fundamental to the distinctive rhythm that defines the Over-the-Rhine Historic District. Openings are found both on primary and secondary façades as well as on non-street-facing walls. Most buildings feature regularly spaced, vertically oriented individual window openings formed into horizontally and vertically aligned, symmetrical rows and columns. Windows are typically recessed into the opening, creating a strong shadow detail. Windows are typically double hung and often have decorative stone sills and lintels.

Buildings with commercial uses on the upper floors and many built after the turn of the century often feature more variation in window openings, including groupings of openings that create more of a horizontal orientation.

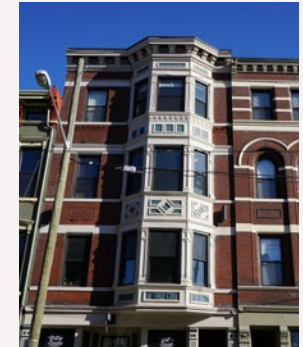
While oriel windows are not defining features of the Over-the-Rhine Historic District, they are present at a number of locations in both residential and mixed-use buildings. Oriels are designed to provide functional benefits to interior space and are also architectural expressions that add distinction and three-dimensionality to the District's typically planar masonry façades.



118 and 120 W. 14th Street exhibit the characteristics of window and door openings



1126 Walnut exhibits the characteristics of grouped window openings.



1428 Race exhibits the characteristics of oriel windows.

Door openings follow the patterns and characteristics of windows, accentuating the verticality and symmetry of buildings. Entries have different sizes, locations, and styles depending on the use and period of the building. Entrances to residential buildings usually feature a single wooden door, set off to one side of the primary façade and recessed into the brick. On mixed-use buildings, especially along north-south commercial arterials, entrances to the residential upper floors are placed either in one of the outermost bays of the primary façade, or on a side exterior wall of the building accessible through a narrow breezeway.

OPENINGS¹

GUIDELINE INTENTION

The openings of new buildings will establish a relationship with the size, placement, and configuration of openings found on non-monumental contributing buildings in the District.

01

Window openings should be taller than they are wide in a proportion consistent with the general proportions of window openings on non-monumental contributing buildings located in the District.

02

The ratio of window openings to total area of the middle component of the façade should be consistent with the ratio of window openings to total area of the middle components of façades on non-monumental contributing buildings located in the District.

03

Windows:

- a. Should be recessed nominally from the plane of the wall.
- b. Must not have internal-only grids.

04

Buildings may have oriel windows² under the following conditions:

- a. Oriels should be used only in limited instances, with a well designed and quality approach.
- b. The introduction of oriels should not disrupt the feeling of continuity of the wall surface.

Note

- 1 Storefront openings must follow the requirements set forth in Chapter 03: Composition: Base.
- 2 Oriels are found infrequently and are not intended to be a dominant feature within the District, nor are they intended to be a dominant feature within a facade design.
- 3 Must follow the rules for levels of context hierarchy defined on p. 8.

05

Window openings should be arranged into columns, as follows:

- a. The number of columns of openings should be consistent with the number of columns found on non-monumental contributing buildings of similar width in the District.
- b. Columns should be evenly spaced.
- c. Window openings should be vertically aligned with other openings within the same column.
- d. Columns should be symmetrical.

06

Window openings should be arranged into rows, as follows:

- a. Rows should be present for each story.
- b. Rows should be evenly spaced.
- c. Window openings should be horizontally aligned with other openings within the same row.

07

Buildings should have a door opening providing access to the sidewalk.

08

The size and proportions of door openings should be consistent with the general size and proportions of door openings found on non-monumental contributing buildings located within the same block face.³

09

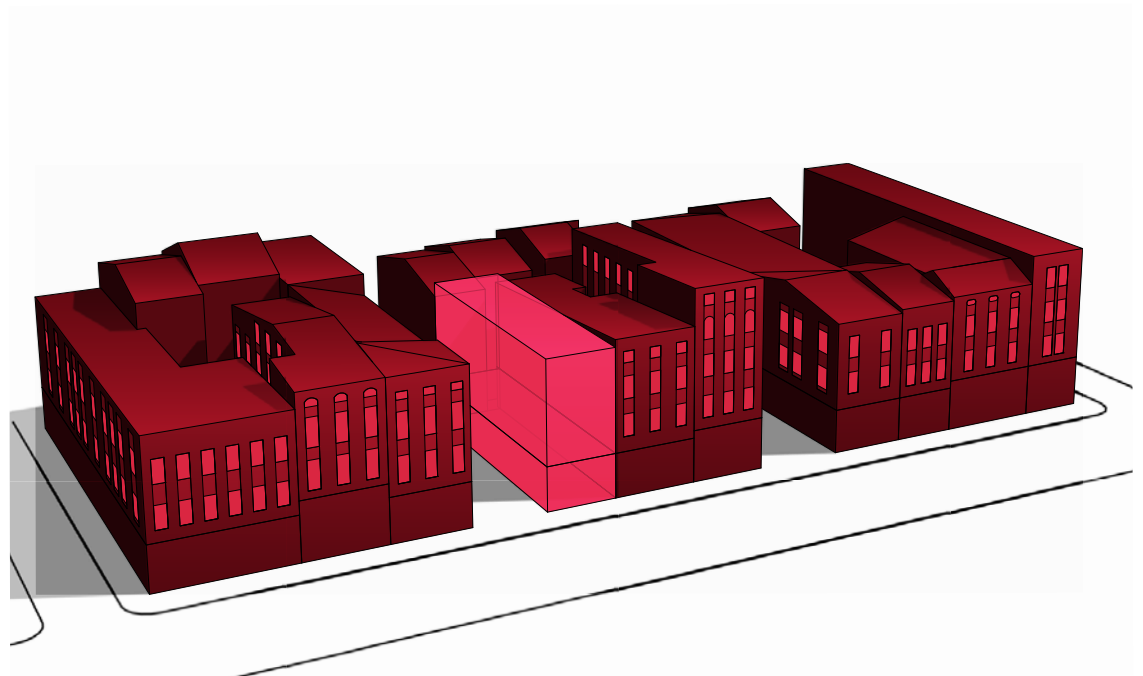
Door openings should not be sunken below grade. Door openings on residential buildings may be elevated but must not be substantially higher than the height of the base component.

05 Window openings should be arranged into columns, as follows:

- a. The number of columns of openings should be consistent with the number of columns found on non-monumental contributing buildings of similar width in the District.
- b. Columns should be evenly spaced.
- c. Window openings should be vertically aligned with other openings within the same column.
- d. Columns should be symmetrical.

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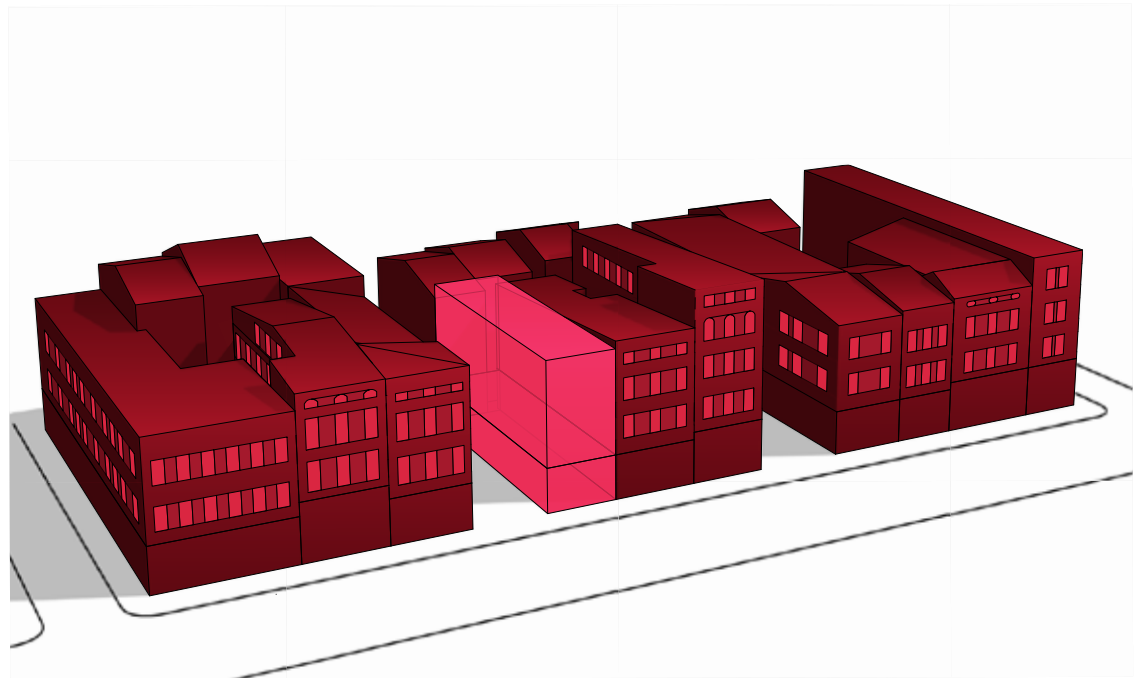


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ROOF

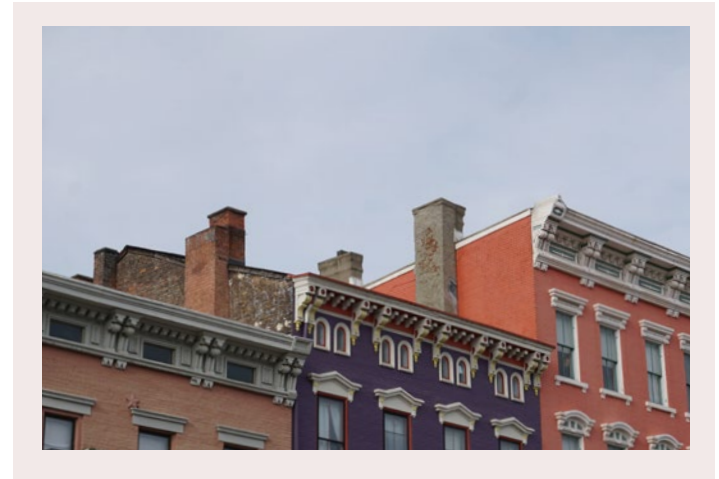
At right: The reception hall at the Musée de Cluny at 28 Rue du Sommerard in Paris, France draws inspiration from the roof forms of the adjacent Roman ruins – the Thermes de Cluny.



ROOF

HISTORIC CONTEXT

Roofs help define not only the pedestrian experience of the Over-the-Rhine Historic District from street level, but also the unique aerial views of the District from hillsides and rooftops. The roofs that are featured most commonly in the District are side-gabled roofs and low-pitched shed roofs. Mansard roofs and sawtooth roofs at the rear of buildings are found sporadically. Monumental buildings in the District feature a variety of roof shapes, including dormers, multiple gables, hip roofs, and towers.



1425 and 1427 Main Street typify roof forms commonly found in the Over-the-Rhine Historic District.

ROOF

GUIDELINE INTENTION

Roof profiles will reflect the roof profiles of contributing buildings within the block face. The impacts of rooftop appendages on street-level, aerial and elevated panoramic views of the District will be minimized.

01

Roofs should be built using a roof profile found on at least one non-monumental contributing building located within the same block face.¹ The following profiles are appropriate:

- a. Side-Gabled Roof
- b. Side-Gabled Sawtooth Roof
- c. Descending Low-Pitched Shed Roof
- d. Ascending Low-Pitched Shed Roof
- e. Flat Roof²

02

Roof pitch should be consistent with the pitch of corresponding roof profiles found on non-monumental contributing buildings located within the same block face.¹

03

Rooftop decks and roof access enclosures should be no more than minimally visible from abutting streets, and should not be highly visible from the public realm. Roof access enclosures should be no larger than the minimum size required for access when visible from the street and/or exceeding the permitted height.

04

Mechanical systems, elevated solar panel arrays, and other non-deck rooftop appendages should not be highly visible from contiguous streets at any point within 40 feet of the building and should not be highly visible from the public realm.

Note

- 1 Must follow the rules for levels of context hierarchy defined on p. 8.
- 2 Flat roofs may be used regardless of whether there are any flat roofs found in the surrounding historic context

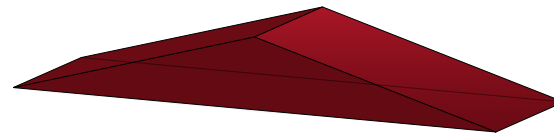
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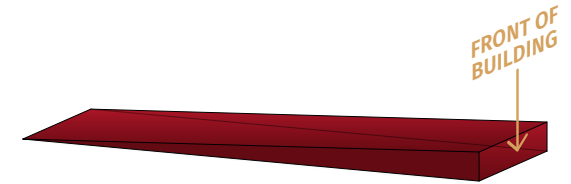
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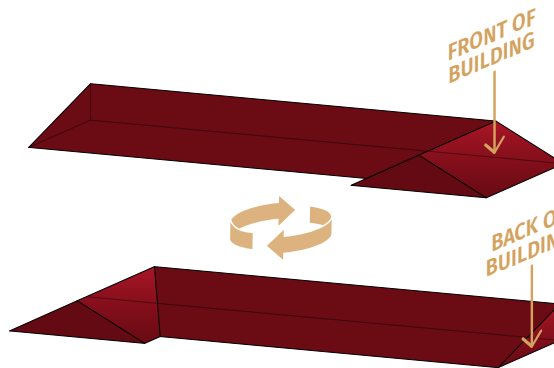
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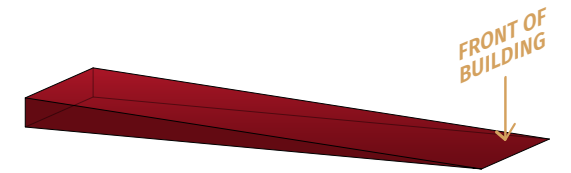
SIDE-GABLED ROOF



DESCENDING LOW-PITCHED SHED ROOF



SIDE-GABLED SAWTOOTH ROOF



ASCENDING LOW-PITCHED SHED ROOF

Note

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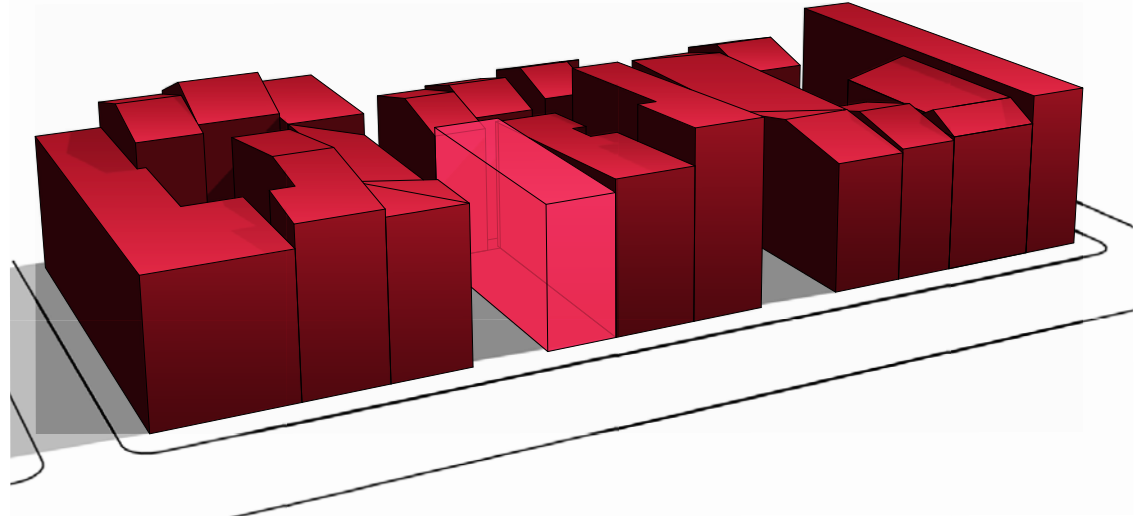
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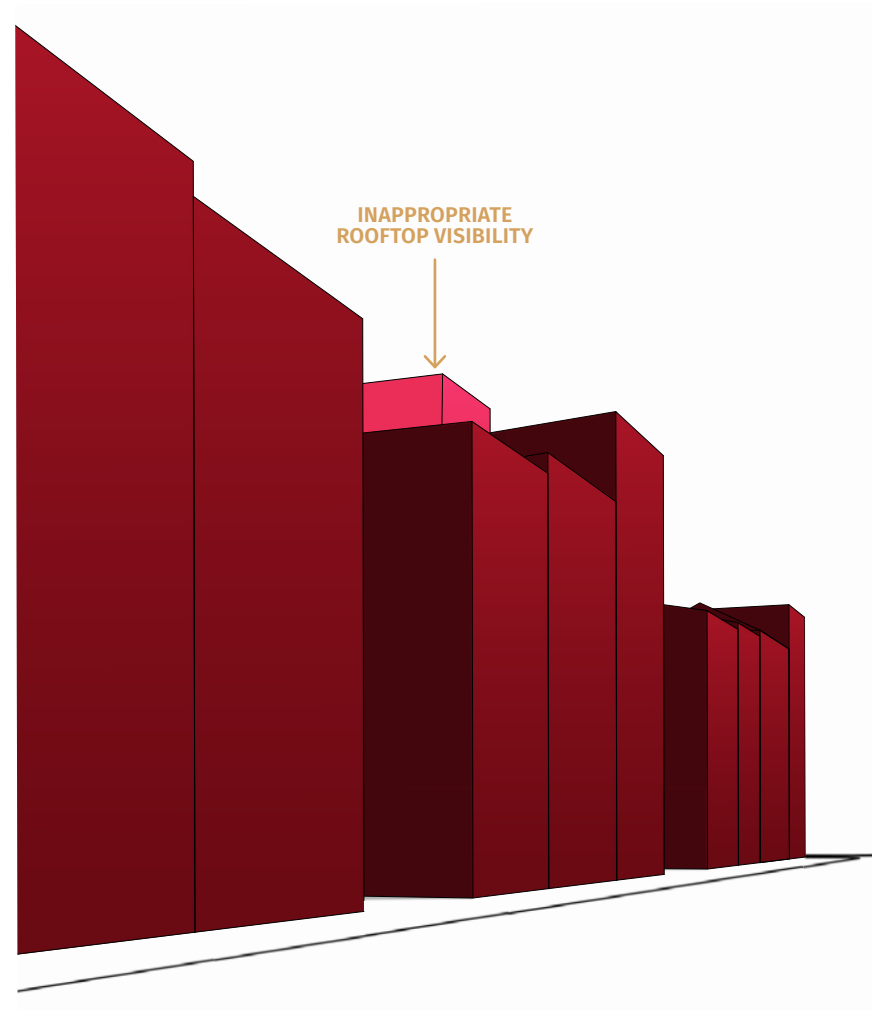
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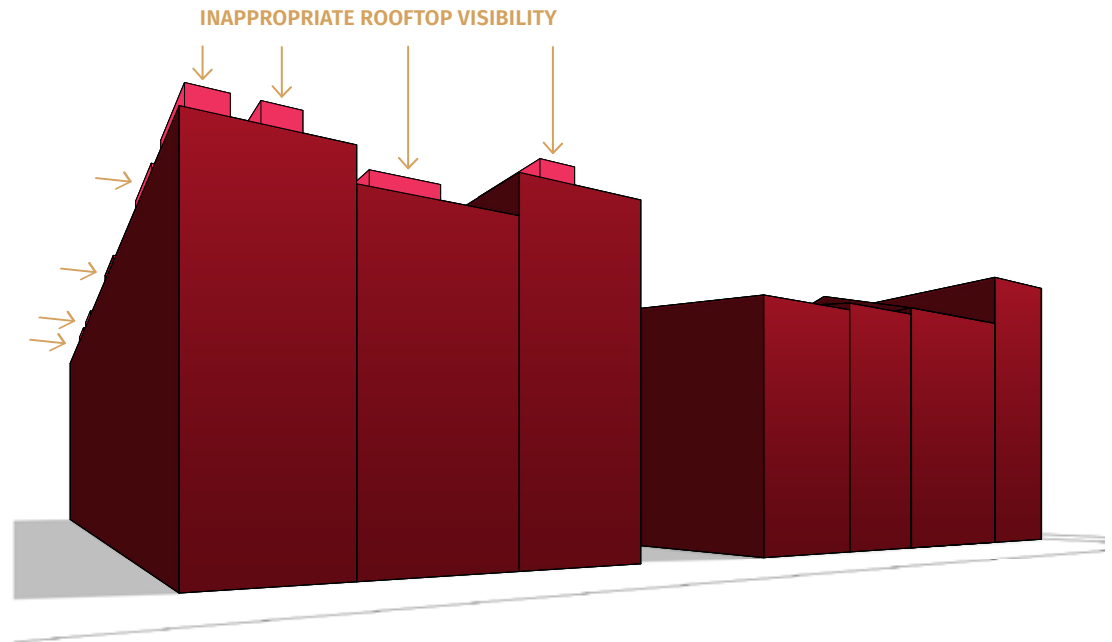
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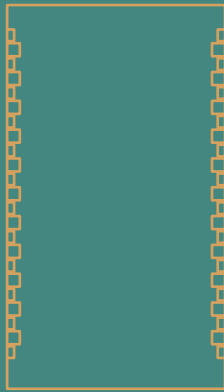
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MATERIALS

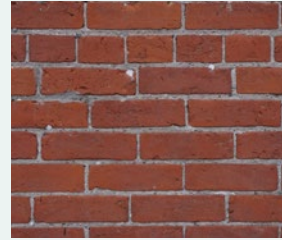
At right: This building in London, England successfully evinces the quality and solidity of materials on its historic neighbors by using a contemporary, modular brick cladding and a distinctive accent material on the oriel window and window surrounds.



MATERIALS

HISTORIC CONTEXT

Materials form an essential part of the identity of the Over-the-Rhine Historic District, and brick is the character-defining material of the District. The neighborhood evolved from primarily wood frame construction with wood clapboard siding in the earlier part of the 19th-century, to primarily brick masonry buildings in the mid-to-late 19th-century as the District entered what is considered to be its period of significance. Thus, the vast majority of Over-the-Rhine buildings are made of brick. Other materials characteristic of the District include limestone and sandstone (sills, lintels, and the occasional façade), wood (doors, windows, box gutters, cornices, and siding on early buildings), metal (lintels, sills, cornices, and roofs), cast iron (storefronts), and wrought iron (fire escapes, fencing).



Buildings in the District are primarily constructed of handmade, orange-red clay bricks stacked using the common bond pattern, as seen here at 1219 Sycamore Street.



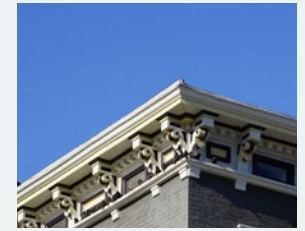
Decorative metal header at 1418 Elm Street.



Decorative stone lintel at 1431 Elm Street.



Decorative cast iron storefront at 116 East 14th Street.



Decorative metal brackets and wood trim form the cornice at 116 West 14th Street.

MATERIALS

GUIDELINE INTENTION

Materials used on new construction will rise to the standards of quality, authenticity, and durability set by materials found on contributing buildings in the District.

01

Buildings should use materials found on contributing buildings or materials that honor the best qualities of historic materials.

02

Materials should meet the quality standards of materials found on contributing buildings in the District. Quality of materials is based on the following criteria:

- a. Life span/durability.
- b. Authenticity.
- c. Visual continuity with non-monumental contributing buildings located within the District.
- d. Color, texture, design, dimension, reflectivity.

03

Brick used as exterior cladding should meet the following requirements:

- a. King and Queen sized brick are not appropriate and should not be used.
- b. Brick should have either historic (2½ x 8¼ inches) or modular (2¼ x 7⅝ inches) dimensions.
- c. At least one full wythe of 4 inches (depth) brick should be used.
- d. Faux-historic brick is not appropriate and should not be used. Brick should seek to root itself in its current time.

04

Materials should be used in a well-designed approach on all sides of the building

05

Lintels and sills should be made of limestone or sandstone, cast stone with a limestone veneer applied, or an appropriate alternate material.

06

Window components should be made of wood, aluminum clad wood, metal, or an appropriate alternate material.

07

Storefront systems should meet the following requirements:

- a. Lintels, pilasters, and vertical divisions should be made of cast iron, steel, limestone, sandstone, or cast stone with a limestone veneer applied. Brick is permitted where contributing brick storefronts are extant within the same block.
- b. Window framing and muntins should be made of wood, steel, or a dark colored alternate material.

08

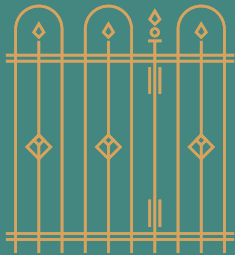
Residential bases should be made of stone or an appropriate alternate material.

09

Doors should be made of wood, metal, or a stain grade material.

10

Buildings must not use stucco, synthetic stucco, vinyl, CMU, or plastic as cladding materials.



MISCELLANEOUS

At right: This building at Oudeschans 53 in Amsterdam integrates balconets into the rhythm of openings on the façade.



MISCELLANEOUS

HISTORIC CONTEXT

A number of important features of buildings in the Over-the-Rhine Historic District fall within the Miscellaneous category, including porches, balconies, and stoops.

Porches

Side porches (veranda) are found on some buildings in the District. Typically, they are built into the “L” of the building, filling the void created by the building’s keyback. Front porches do not exist in the District.

Balconies

True balconies are rare in the District. Fire escapes are prevalent and often double as balconies.

Stoops

Stoops are common in the District on residential buildings with elevated entries. Stoops serve as a form of street furniture and foster increased pedestrian interaction in the public realm.

MISCELLANEOUS

PORCHES

- 01 Buildings should not have front porches.
- 02 Buildings may have side porches if they are placed in the void created by an interior side setback.
- 03 Side porches should be built in a rectangular geometry.

BALCONIES

- 01 Buildings may have protruding balconies if they are placed at the rear of the building, or on a non-street-facing wall in the void created by a keyback.
- 02 Buildings may have recessed balconies if they are placed on a non-street-facing wall.
- 03 Buildings may have balconets on any exterior building wall, provided that they are rectangular in form.

STOOPS

- 01 Residential buildings may have one or more stoops if a stoop is present on at least one non-monumental contributing building located within the same block.¹
- 02 Stoop height, width and depth should be consistent with the general height, width and depth of stoops on non-monumental contributing buildings located within the same block.¹
- 03 Stoops should not have railings; however, where railings are required by law, they should be simple metal railings similar in style, scale, thickness, and diameter to historic railings, fencing, or other iron work found on non-monumental contributing buildings located within the District.

ARCHAEOLOGICAL RESOURCES

- 01 Building sites should be evaluated for their potential for archaeological resources. If, after a survey of Sanborn Maps and consultation with staff, or if during construction archaeological resources are discovered, existing archaeological survey protocols must be followed.

Note

¹ Must follow the rules for levels of context hierarchy defined on p. 8.

APPENDIX



Abutting Having lot lines in common.

Abutting Street A street that is abutting a lot containing the subject building.

Alley A public or private way less than 21 feet in width that may provide vehicular access to abutting properties.

Articulative Recess A slight change in plane in part of an exterior wall, usually decorative.

Attic A story directly under the roof of a contributing building that is shorter than the other stories in the building.

Balconet A false, non-structural balcony or railing at the outer plane of a glazed window-opening reaching to the floor, and having, when the window or door is open, the appearance of a balcony.

Base Component The bottommost portion of a building, commonly represented in commercial buildings by a storefront, and in residential buildings by a foundation capped by a water table.

Block A block face and its opposing block face.

Block Face The properties abutting each other on one side of the street, and lying between the two nearest intersecting or intercepting streets.

Building Width The horizontal distance between the sides of the primary façade.

Cladding The outermost material layer covering the exterior of a building.

Commercial Building A building developed entirely for commercial purposes.

Composition The arrangement of a building into base, middle, and top components.

Contributing Building A historic building that is designated by the City of Cincinnati as contributing to the historic significance of the Over-the-Rhine Historic District.

Corner Lot A lot bounded on two or more adjacent sides by streets, or by portions of such streets.

Cornice A molded, decorative, projecting horizontal member that crowns the top of a building.

CORNICE COMPONENTS

Box Gutter A rectangular rain gutter built into the slope of a roof, above the cornice.

Bracket An angled structural and/or decorative element that actually or visually supports the box gutter/cornice soffit.

Corbel A type of bracket built into a wall and projecting outward to support the box gutter/cornice soffit.

Dentil One of a series of small, decorative rectangular blocks placed at regular intervals under the soffit of a cornice.

Frieze A decorative horizontal band typically containing rectangular trimmed panels and through-the-cornice windows.

Through-the-Cornice Windows
Attic windows built into the cornice.

Elevated Solar Panel Array An array of solar panels attached to a roof in which the panels are angled toward the sun, and do not lay flat against the roof surface.

Faux-Historic Brick Modern brick that attempts to match the color and texture of historic brick.

Front Lot Line A lot line dividing a lot from a street. On a corner lot only one street line may be considered as a front line; provided that, where the length of a shorter street line is less than 90 percent of the length of the longer street line, the shorter street line is considered as the front lot line.

Front Setback A space or gap between the front lot line and any portion of the primary façade, excluding articulative recesses.

Grade Ground level, as measured by the average of the slope between two points.

Historic Being from the period of significance (1840-1941) of the Over-the-Rhine Historic District, with special emphasis on the period 1840-1900.

Historic Lot A lot in the Over-the-Rhine Historic District as it existed historically, as represented on the 1904 Sanborn Insurance Maps of Cincinnati.

Historic Non-Monumental Corner Lot A historic corner lot with a depth of up to 90 feet.

Interior Side Lot Line A side lot line separating a lot from another lot or lots.

Interior Side Setback A space or gap between an interior side lot line and any portion of the side exterior wall(s), excluding articulative recesses.

Keyback An interior side setback beginning at a point at least 20 feet removed from the primary façade, typically extending back to the rear lot line, and resulting in a private breezeway, alleyway, or outdoor space.

Lintel A horizontal member, typically structural, that spans the top of a window or door opening.

Lot A parcel of land occupied or capable of being occupied by a use, building, or group of buildings and accessory buildings and uses, together with such open spaces as are required by the Cincinnati Zoning Code and having frontage on a street.

Lot Line The boundary enclosing a lot.

Massing The general shape and size of a building.

Materials The substances that are used to form the visible exterior of a building.

Mechanical Equipment Any device or apparatus used relating to heating, ventilation, air conditioning, plumbing, fire suppression, transportation, or any other building system.

Micro-Context The contributing buildings in closest proximity to the subject building, and defined at the smallest level as those contributing buildings located within the same block face.

Middle Component The area of a building located between the base component and the top component, typically constituting the largest bulk of the building and containing the majority of its design elements.

Mixed-Use Building A building developed for two or more types of end use.

Monumental Building Contributing buildings in the Over-the-Rhine Historic District recognized for their special cultural significance and/or distinctive qualities of height, massing, and scale.

Neighboring Building A building on a lot that shares an interior side lot line with the subject building.

Opposing Block Face The block face directly across from the subject block face.

Oriel Window A bay window projecting from an upper story (or stories) on a building façade.

Over-the-Rhine Historic District A geographic area covering parts of Over-the-Rhine, Pendleton, and Mount Auburn that is protected by the City of Cincinnati based on its cultural and architectural significance as a representation of the period in Cincinnati's urban development from 1840-1941, and particularly that period prior to 1900.

Primary Façade The street-facing wall that faces the primary street.

Primary Façade Height (New Construction) Primary façade height is measured from the established grade at the lot line or from the average natural grade at the building line, to the top of the primary façade, including any terminating ornamental/functional features.

Primary Street The abutting street with the widest right of way.

Public Realm Any portion of the Over-the-Rhine Historic District that is accessible to the public, including streets, alleys, rights of way, and public parks.

Rear Lot Line A lot line opposite the front lot line. In the case of an irregular, or triangular lot, it means a line within the lot, ten feet long, parallel to and at the maximum distance from the front lot line.

Residential Building A building that is entirely residential in use, single or multi-family, and does not have a storefront.

Rhythm A regularly recurring sequence or pattern within and among buildings.

Right of Way Real property for or devoted to (1) public transportation purposes; or (2) the placement of the city's municipal utility easements and other traditional uses along a transportation route. The definition of right of way includes, without limitation, public highways, streets, avenues, alleys, sidewalks, bridges, aqueducts, and viaducts within the city.

Roof The structure forming the upper covering of a building.

Roof Access Enclosure A small structure on or above the roof of a building whose exclusive purpose is to provide access to a rooftop.

Roof Deck A flat surface on or above the roof of a building that provides space for recreation, typically surrounded by railings.

Roof Pitch A numerical measure of the steepness, or slope, of a roof.

Rooftop Appendage Any structure, surface, fixture, equipment, furniture, or other item that is attached to the roof.

Scale The size of a building judged in relation to other buildings.

Secondary Façade Any street-facing wall that is not the primary façade.

Secondary Façade Height (New Construction) Secondary façade height is measured from the established grade at the lot line or from the average natural grade at the building line, to the top of the façade, including any terminating ornamental/ functional features.

Secondary Street An abutting street that is not the primary street.

Shadow Detail An area of darkness cast on an exterior building wall caused by a protrusion or recession in the plane of the wall.

Side Alley Lot Line A side lot line separating a lot from an alley.

Side Lot Line A lot line that is not a front lot line or a rear lot line. A side lot line separating a lot from a street is a side street lot line. A side lot line separating a lot from another lot or lots is an interior side lot line.

Side Street Lot Line A side lot line separating a lot from a street.

Significant Part of the Program (Parking) Where there are at least 50 onsite parking spaces, or at least 50% of the total project square footage is dedicated to parking.

Sill A horizontal member that spans the bottom of a window opening.

Stoop A small uncovered exterior stair ending in a platform at the entrance to a building.

Storefront The ground floor façade of a retail store, restaurant, bar, personal services establishment, or other commercial enterprise.

STOREFRONT COMPONENTS

Bulkhead/Knee Wall The portion of a storefront that serves as a platform for the display windows.

Column A vertical structural member designed to support compressive loads in a storefront system.

Display Windows Large windows in a storefront used to attract attention to a business and its merchandise or services.

Pilaster A projecting, non-load bearing vertical member having the appearance of a column, with a capital and a base, but being purely ornamental in function.

Storefront Cornice/Lintel A horizontal member that terminates the uppermost portion of the storefront, separating it from the upper floors above.

Transom Windows Windows located above the main display windows and separated by a transom.

Story/Floor That portion of a building included between the upper surface of a floor and the upper surface of the floor or roof next above.

Street A public or private right-of-way 21 feet or more in width whose primary function is to furnish the chief means of access to properties abutting it.

Street-Facing Wall An exterior building wall that faces an abutting street.

Subject Building A building or structure being considered for a Certificate of Appropriateness.

Top Component The uppermost horizontal terminating element of a building façade, often represented by a change in both plane and material.

Transom A horizontal crosspiece separating the top of a window or door from a smaller window above.

Use The type of human activity for which a building is purposed.

Water Table A horizontal projecting string course, molding, or ledge placed at the top of the foundation so as to divert rainwater from a building.

Window Opening An opening in the wall of a building for admission of light and air.

Wythe A single thickness of brick in masonry construction.

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LIST OF MONUMENTAL BUILDINGS

BUILDING :	ADDRESS:
6th District Public School Building	1525 Elm St, Cincinnati, OH 45202
15th District School Building (Rothenberg School)	241 E Clifton Ave, Cincinnati, OH 45202
Baptisten Kirche (German Baptist Church)	1610 Walnut Street, Cincinnati, OH 45202
Cincinnati Music Hall	1241 Elm St, Cincinnati, OH 45202
Deutsche Evangelisch Reformierte Salem's Kirche (Salem German Evangelical Reformed Church)	1425 Sycamore St, Cincinnati, OH 45202
Deutsche Evangelische St. Paulus Kirche (St. Paul's German Evangelical Church)	1429 Race St, Cincinnati, OH 45202
Deutsche Evangelische Zion's Kirche (German Evangelical Church of Zion)	14 W 15th St, Cincinnati, OH 45202
Deutsche Protestantische St. Johannes Kirche (St. John's German Protestant Church)	1205 Elm St, Cincinnati, OH 45202
Findlay Market Building	1801 Race St, Cincinnati, OH 45202
First English Lutheran Church	1208 Race St, Cincinnati, OH 45202
Hamilton County Memorial Building	1225 Elm St, Cincinnati, OH 45202
Jackson Brewery Building	208 Mohawk Street, Cincinnati, OH 45214
Krohn-Fecheimer Shoe Co. Building	1310 Pendleton St, Cincinnati, OH 45202
Nast Trinity Methodist Church	1310 Race St, Cincinnati, OH 45202
Old Woodward School Building	1310 Sycamore St, Cincinnati, OH 45202
Philippus Kirche (Philippus Church)	106 W McMicken Ave, Cincinnati, OH 45202
Prince of Peace Lutheran Church	1528 Race St, Cincinnati, OH 45202
St. Francis Seraph Church	1615 Vine St, Cincinnati, OH 45202
St. Francis Seraph School Building	14 E Liberty St, Cincinnati, OH 45202
St. John the Baptist Church Steeple	1715 Republic St, Cincinnati, OH 45202
St. Marien Kirche (Old St. Mary's Church)	123 E 13th St, Cincinnati, OH 45202
St. Paul's Church	444 Reading Rd, Cincinnati, OH 45202



This project was made possible in part by a grant from the National Park Service, U.S. Department of the Interior administered by the State Historic Preservation Office of the Ohio History Connection. Department of the Interior regulations prohibit unlawful discrimination in departmental federally assisted programs on the basis of race, color, national origin, age or disability. Any person who believes he or she has been discriminated against in any program, activity, or facility operated by a recipient of Federal assistance should write to: Office of Equal Opportunity, U.S. Department of the Interior, National Park Service, 1849 C. Street, N.W. Washington, D.C. 20240.

Designed by
Hyperquake & M+A Architects
Over-the-Rhine Foundation

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CONSERVATION GUIDELINES OVER-THE-RHINE HISTORIC DISTRICT

July 18, 2003 and revised XXXX XX, 2023

New Construction

New construction will be reviewed using the Over-the-Rhine Historic Conservation Guidelines for New Construction attached hereto as Attachment _____ and incorporated herein by reference.

A. Intent and General Guidelines

1. ~~Infill construction is allowed on vacant sites in Over the Rhine, because gaps due to demolition weaken the streetscape and the overall character of the district. New construction can improve both the physical quality and economic vitality of the neighborhood.~~
2. ~~New construction should be well designed but should not replicate the existing buildings. The exceptional quality of the existing buildings in the district provides an outstanding framework for new construction.~~
3. ~~The Historic Conservation Board's review of new construction will focus on the design compatibility with the surrounding contributing structures. The appropriateness of design solutions will be based on balancing the programmatic needs of the applicant with how well the design relates to the neighboring buildings and to the intent of these guidelines. New design proposals should pay particular attention to composition, materials, openings, rhythm, scale, proportion and height.~~
4. ~~The new construction guidelines for this district will be used to judge the compatibility of new work. The specific site and programmatic needs of each project will be taken into consideration.~~

B. Specific Guidelines

1. ~~**Composition:** New buildings should respond to the traditional subdivisions found on historic property: a base, a middle and a top. Most buildings in Over the Rhine are built of brick with the principal facade parallel to the street it faces. The most important features of buildings in Over the Rhine are the arrangement of openings on the principal facade and an overall vertical emphasis of the whole design. Each building provides its own variations, but collectively they share many basic features.~~

~~**Base:** New buildings should have a well defined base. Within the district most buildings have a base that is distinguishable from the rest of the building. This is accomplished through a change of materials, a change of scale, and/or a lintel or other type of horizontal banding. In larger buildings the original base may include more than the first floor.~~

~~**Middle:** Details on new buildings should relate to the detailing of adjacent or nearby buildings. Buildings in the district often incorporate architectural details such as changes in plane or changes in materials on their upper floors. Decorative, horizontal bands indicating the floor lines, sill heights or lintel heights should not overpower the vertical emphasis of the design.~~

~~**Top:** New construction must employ a strong element that terminates the uppermost part of the building. Distinctive elements in the architecture of Over the Rhine are elaborate projecting cornices, decorative parapets and the expressive use of materials.~~

2. ~~**Roofs:** Roofs for new construction should be similar to roofs of adjacent and nearby buildings of similar size and use. In the district, buildings of three or more stories generally have low-pitched shed roofs that are not visible above the principal facade. Smaller buildings in the district typically have simple gable roofs on which the gables are perpendicular to the principal facade. Institutional buildings in Over the Rhine have a variety of roof shapes, including dormers, multiple gables, hip roofs and towers. Roofs in this district have little or no overhang.~~

3. ~~**Window Openings:** Window openings are extremely important in this district. The openings of new buildings should be related to the size and placement of openings found on historic structures of similar use in the district. In residential buildings, window openings are typically found individually rather than in pairs or grouped. The openings are taller and wide (typically in a proportion of 2:1), window sash are set back from the wall surface, and openings have some form of definition, such as lintels, sills or decorative surrounds. Window openings, which are typically aligned vertically, usually occupy between 20% and 50% of the principal facade.~~

~~In commercial, industrial and institutional buildings, windows are often grouped within a single opening. These building types may also use a combination of window sash, including double-hung, awning and hopper.~~

~~If muntins are used in new window sash, they must provide true divided lights. Within the individual opening, window sash are usually divided into two or more lights. In all cases the glass must be clear; tinted or reflective glass is not acceptable. Also, roll-down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.~~

4. ~~**Storefronts:** New storefronts should relate to the characteristics of existing storefronts on historic buildings. Storefronts in the district are typically taller than individual upper floors; framed by piers and/or columns and have a lintel separating them from the upper floors; are divided into bays which increases their verticality and provides a pedestrian scale and proportion; and have large, fixed expanses of clear (not tinted or reflective) glass. As with rehabilitated original storefronts, roll-down shutters and metal bar systems installed on the exterior of the building are not appropriate elements for new storefronts.~~

~~The storefront lintels are 12 to 18 feet above grade; the window sill height is between 18 inches and 3 feet above grade; and storefront windows are set back from the structural elements approximately 12 inches.~~

5. ~~**Setback:** Setback is an important issue in a dense urban area such as Over the Rhine. The setback for new construction should be consistent with the buildings of similar use on adjacent and nearby sites. In Over the Rhine, most commercial buildings are built up to the property line. Some residential property, especially detached buildings, have shallow setbacks but retain an "edge" at the property line with a fence. Some larger institutional buildings such as schools, churches and public buildings are setback from the street to provide public space and to add to their monumentality. In most cases new construction on corner sites should be built up to the edge of both outside property lines.~~

6. ~~**Rhythm:** New buildings should incorporate design features, such as window groupings, articulation of wall surfaces, and decorative elements such as columns or piers in an effort to~~

- ~~maintain the rhythm that already exists in the district. New construction should avoid creating long unrelieved expanses of wall along the street by maintaining the rhythm of bays found on the district. Most buildings in Over the Rhine are relatively narrow, 25 to 50 feet in width. A building facade typically displays vertical subdivisions that establish a visual rhythm. In dense commercial areas such as Vine Street, there are no setbacks, creating a solid wall along the street. This wall is articulated by the individual buildings, which in turn are divided by window groupings, changes in wall planes and decorative elements such as pilasters, columns or piers.~~
- ~~7. **Emphasis:** New residential and mixed use construction should have a vertical emphasis, because in Over the Rhine buildings are taller than they are wide, window openings are tall and narrow, and storefronts have slender columns, which emphasize verticality. Commercial and industrial buildings, which may have an overall horizontal emphasis, often incorporate vertical elements, such as pilasters or vertically oriented openings.~~
 - ~~8. **Height:** The height of new construction should not vary more than one story from adjacent contributing buildings. Most buildings in Over the Rhine are between two and five stories.~~
 - ~~9. **Materials:** New construction should use materials that are found on the historic buildings in Over the Rhine. Clearly the dominant material in Over the Rhine is brick, but other materials such as limestone, sandstone, cast iron, slate, wood and sheet metal are important as well. Materials such as stucco, synthetic stucco and plastic are not appropriate and should not be considered as exposed finish materials for new construction in this district.~~

Additions

Intent and General Guidelines

1. Additions are allowed and should follow new construction guidelines. They should be compatible in character with the original. They should be sympathetic but not imitative in design.
2. Additions should be designed to relate architecturally to adjacent buildings in general and to the building they are a part of in particular.
3. Additions should not overpower the original building.
4. The appropriateness of design solutions will be based on balancing the program needs of the applicant with 1) how well the proposed design relates to the original building and neighboring buildings and 2) how closely the proposal meets the intent of these general guidelines and the specific guidelines for new construction.

Rehabilitation

A. Intent and General Guidelines

These guidelines are intended to assure that rehabilitation will maintain significant features of buildings. The guidelines are not hard-and-fast rules, but are used by the Historic Conservation Board as a guide to assess the compatibility and the appropriateness of proposed changes. Reviews are limited to the exterior changes proposed for buildings; alterations made to the interior of buildings are not reviewed by the Historic Conservation Office.

1. Ordinary repair and maintenance which does not change the appearance of the building shall not be reviewed.
2. Existing features in good condition should be conserved, and damaged features should be repaired wherever possible.
3. Replace badly damaged or missing features sensitively to harmonize with the character of the original feature. Replication is appropriate, but it is not essential.
4. Completely new features and materials should be compatible with the building in design, color, detailing, texture, size and shape. By their nature adaptively reused buildings may require more flexible and creative design approaches.

B. Specific Guidelines

1. **Materials:** Missing or deteriorated materials should be replaced with recycled or new materials that match the original as closely as possible with regard to the following: type, color, style, shape, and texture of material. The composition, type of joint, size of units, placement and detailing should be appropriate for the building. Synthetic materials such as aluminum or vinyl siding, imitation brick or plastic are inappropriate. Other types of synthetic materials such as split-face concrete block may be approved on a case-by-case basis.
2. **Door and Window Openings:** Among the most important features of any building are its openings – its windows and doors. The size and location of openings are an essential part of the overall design and an important element in the building's architecture. Don't alter or fill-in original openings. Roll down shutters and metal bar systems installed on the exterior of the building that cover door and window openings are not appropriate.
3. **Door and Window Sash:** Repair original doors and window sashes rather than replace whenever possible. If replacement is necessary, the new door or window sash should match the original in material, size and style as closely as possible. Synthetic replacement windows are generally discouraged. Consult with the Historic Conservation Office about acceptable replacement windows.
4. **Ornamentation:** Significant architectural features such as window hoods, decorative piers, quoins, bay windows, door and window surrounds, porches, cast-iron storefronts and other ornamental elements should be preserved. These distinctive features help identify and distinguish the buildings in Over-the-Rhine. Don't remove or replace ornamentation with substitutes that are of a different scale or design or an incompatible material. Make replacement ornamentation match the character of the existing feature closely as possible with respect to type, color, style, shape and texture of material. Some synthetic materials including fiberglass castings may be approved on a case-by-case basis.
5. **Roofs:** Chimneys, dormers or towers and other architectural features that give the roofline of an existing building its identifying character should be preserved. Most of the buildings in Over-the-Rhine have flat or single-pitch roofs. The addition of vents, skylights, and roof top utilities should be inconspicuously placed or screened where necessary. Retain and repair the original roof materials such as slate, which is common on churches, institutional buildings and buildings with mansard roofs, and standing seam metal roofs, which are common on smaller buildings with gable roofs. Do not use wood shakes and plastic roofing products,

- which are inappropriate materials in Over-the-Rhine. Simulated slate may be approved on a case-by-case basis.
6. **Cleaning:** Clean exterior surfaces with the gentlest method possible. For masonry structures, begin with scraping by hand or scrubbing with a bristle brush and mild detergent. Some types of chemical cleaning can be used, but test patches should be carried out in inconspicuous areas first. Don't sandblast or use other abrasive cleaning methods that destroy the surface of brick and stone and shorten the life of the building. Don't use wire brushes, because they can also damage masonry surfaces.
 7. **Repointing Masonry:** Repoint historic masonry with mortar that matches the existing in color, content and texture and with joints that match in type and thickness. The mortar joints in masonry construction deteriorate for a variety of reasons. Repointing these joints can significantly aid the rehabilitation of a structure. Generally, buildings built prior to 1900 used a lime-based mortar. A typical lime-based mortar has the following formula: 8 parts sand, 2 parts lime, and 1 part portland cement. This mortar is softer than the portland cement-based mortar of today. Hard modern mortar used on historic masonry causes bricks to crack or spall during the freeze-thaw cycle.
 8. **Water-Repellent Coatings:** Don't use water-repellent coatings on historic masonry. Most historic structures have survived without the need of water-repellent coatings. Water-related damage on the interior of buildings is usually the result of a failing roof, deteriorated or faulty gutters and downspouts, deteriorated mortar, rising damp or condensation. Water-repellent coatings will not solve these problems and may make them worse.
 9. **Painting:** Repaint buildings that were historically painted. Most buildings built before 1890 in Over-the-Rhine were originally painted. Paint is part of the aesthetic design of these buildings and should be maintained. Paint also protects porous nineteenth century masonry and masks alterations and inappropriate repairs. Masonry that has not been painted in the past should not be painted. Because color can have a significant impact on the neighborhood, use paint colors that are appropriate to your building's age and style. Historically, most paint schemes were relatively simple. The Historic Conservation Office can provide owners with color combinations that are appropriate for a building's age and style. Varying the choice of color between neighboring buildings is preferred.
 10. **Wood Siding:** Retain and repair original wood siding. When replacement is necessary, the new wood should match the original in size, shape, profile and detail. All wood siding should be painted. Aluminum or vinyl siding is not appropriate for replacing or covering original wood siding. Artificial stone, asbestos, asphalt siding and other similar resurfacing materials are not acceptable. The use of composite cement siding may be approved on a case-by-case basis.
 11. **Shutters and other outside attachments:** Original shutters should be repaired and retained. Many buildings in Over-the-Rhine have or had wood shutters for the windows. Reintroducing missing shutters must be based on physical evidence and the shutters must fit the opening and be operable.

Exterior light fixtures should be appropriate to the style of the building. Colonial "coach" lights are not appropriate. Mercury vapor and other streetlights are not appropriate for

attachment to the façade. Exterior light fixtures should be mounted in a way that does not cast undue glare onto neighboring properties.

- 12. Storefronts:** Retain and repair the design and materials of storefronts in historic buildings. First-floor storefronts are common in Over-the-Rhine and are found in all types of architectural styles. Detailing and materials vary considerably. Each design should be considered individually and original materials should be retained. If the storefront has been altered or if none of the original materials remain, old photographs may indicate the original design. Original masonry storefront materials should be cleaned with the gentlest method possible (see section on cleaning). Cast-iron storefronts may be cleaned by abrasive methods including sandblasting. Adjacent materials must be protected and the pressure should be less than 100 p.s.i.

Don't reduce the size of storefront openings. Transparency and scale are very important to storefronts and their relationship to the remainder of the building as well as to the streetscape. Don't cover or remove significant elements such as piers, lintels, transoms, original doors or other similar details. Roll down shutters and metal bar systems installed on the exterior of the building are not appropriate.

- 13. Signs:** Signs should be designed for clarity, legibility and compatibility with the building or property on which they are located. Signs should be located above the storefront, on the storefront windows or on awnings and should not cover any architectural features. Signs should capitalize on the special character of the building and reflect the nature of the business.

Wall and projecting signs should be located above the storefront or first story and below the second story sills. The size of wall signs shall be limited to one square foot per lineal foot of building frontage. Projecting signs should be no larger than 3 feet, 6 inches in width or height. Small projecting signs such as symbol signs are appropriate. Billboards and internally illuminated signs are not permitted. Neon signs may be approved on a case-by-case basis.

- 14. Awnings:** The installation of fabric awnings on storefronts is encouraged. Awnings add color and variety to commercial buildings and highlight the businesses. Awnings should be installed so they do not cover or require the removal of any original architectural feature. Awnings of metal, plastic, vinyl (not vinyl coated fabric) or wood will be reviewed on a case-by-case basis. Internally illuminated awnings are not acceptable.

Site Improvements

A. Intent and General Guidelines

1. Site improvements, such as parking lots, parking pads, paving, fences, decks and trees should be in character with the contributing buildings in the district and should respond to the colors, textures, materials and scale found in the area of the improvement.
2. The design of any site improvement should be compatible with district buildings and not detract from the character of the district.
3. The design of site improvements should capitalize on the unique character of the area and could incorporate elements from the district. Site improvements should enhance the experience of pedestrians in the district.

B. Specific Guidelines

1. **Parking Lots:** Cars in parking lots should be screened from public view. Appropriate screening includes low masonry walls in conjunction with planting areas and landscaping, low masonry walls with wrought iron fencing and planting areas with landscaping and wrought iron fencing. Chain link fence along sidewalks is inappropriate.

Parking lots with a capacity of 10 or more cars should contain trees within the lot as well as around the perimeter of the lot. Concrete curbs, not rolled asphalt bumpers, are appropriate edges for parking lots.

A lot used for surface parking of motor vehicles should be for the exclusive use of owners, occupants and customers of a building located within 300 feet of the lot, and shall be subject to a restrictive covenant to implement this provision.

2. **Parking Pads:** Parking pads (parking for one or two cars) are permitted at the rear of the property, with access at alleys or existing curb cuts whenever possible. Parking pads in areas other than the rear yard shall be judged on a case-by-case basis and judged by their impact on the property and on the district.
3. **Fences and Walls:** Wrought-iron or cast-iron fences are encouraged along the sidewalks of vacant lots or where buildings are setback from the sidewalk. Fencing may be set between wrought iron and cast-iron posts, natural stone posts or pre-cast concrete posts. Fencing may also be set on a concrete curb or on top of a retaining wall. Landscaping in front of a fence is encouraged. Plain board fences (vertical boards nailed side-by-side on horizontal stringers) or wire fences are appropriate at the rear of the property or along the side of the property. Wood fences should be painted or stained but not left to weather naturally. Chain link, stockade, shadow board, basket weave and lattice designs are not appropriate. Masonry privacy walls are not encouraged.

Retaining walls built along the front property line or along street frontage should be built of or faced with fieldstone or limestone. Retaining walls at other locations should be built of fieldstone, limestone, brick or specialized masonry block such as split-face concrete block. Concrete products including cinder block, stucco and unfinished concrete masonry units should not be used as the finish material for any retaining wall.

4. **Decks:** Wood decks should be stained or painted. Rooftop decks should not be highly visible from the principal façade. Metal balconies should not be discouraged.
5. **Paving for sidewalks, patios and other similar areas:** Materials used for paving should have the appearance of individual units to give the surface scale. Appropriate materials include brick, stone, scored concrete and unit pavers. Concrete should be limited to sidewalks and should not be used in large slabs over big areas, such as driveways and parking lots.
6. **Street Furniture and Amenities:** Existing historic elements in the right-of-way such as steps, mounting blocks, fences, paving, natural stone curbs and splash blocks should be retained. Historic materials such as pavers, curbs or steps shall be returned to their same location, even if they are to be paved over, when they are removed to install or repair utilities such as water, sewer, electric, gas, cable, security or for any other purpose. Flower boxes, planters, urns and similar elements are encouraged but should be appropriate to the property

where they are placed and with the district as a whole. The installation of these elements should not cover or require the alteration of any architectural details.

7. **Trees:** Street trees and trees on private property are encouraged. Don't cut down mature, healthy trees.

Demolition

Demolition regulations for designated property in Cincinnati set forth in Chapter, Historic Conservation, of the Cincinnati Municipal Code. See particularly Section 741-13, Regulation of Alterations, Demolitions and Environmental Changes, and Section 741-15, Demolition. Generally, demolition of existing buildings is permitted if one of the following conditions exist: No building or part of a building may be demolished except as provided below:

- ~~1. Demolition has been ordered by the Director of Buildings and Inspections for public safety because of an unsafe or dangerous condition which constitutes an emergency. See Section 741-21(e).~~
- ~~2. 1. Inappropriate additions, non-significant portions of a building, and non-contributing buildings may be demolished provided the demolition does not adversely affect the integrity of a contributing building or the character of the streetscape or the district. In reviewing a proposed demolition of an addition, non-significant portion of a building, or non-contributing building and its impact on contributing buildings, the streetscape, and the district, the Historic Conservation Board may consider whether the applicant's plans for new improvements in place of the demolished structure or portion thereof are consistent with the "New Construction" and "Site Improvements" sections of this document, as applicable.~~
- ~~3. The owner can demonstrate to the satisfaction of the Historic Conservation Board that the structure cannot be reused for any use or a reasonable economic return from the use of all or part of the building or from the sale of the property proposed for demolition cannot be realized. See Section 741-13(h)(2).~~
- ~~4. The owner is a non-profit corporation or organization and can demonstrate to the satisfaction of the Historic Conservation Board that the denial of the application to demolish would also deny the owner the use of the property in a manner compatible with its organizational purposes and would amount to a taking of the owner's property without just compensation. See Section 741-13(h)(3).~~
- ~~5. The demolition request is for an inappropriate addition or a non-significant portion of a building and the demolition will not adversely affect those parts of the building which are significant as determined by the Historic Conservation Board.~~

Supplemental Demolition Guidelines for the Over the Rhine Historic District:

- ~~1. The Historic Conservation Board, when acting on any application for a Certificate of Appropriateness seeking approval of demolition, may:~~
- ~~2. Approve the demolition of a non-contributing building or a building of a later period and the demolition will not adversely affect the character of the streetscape or the district as determined by the Historic Conservation Board. A list of the non-contributing buildings is provided below.~~

- ~~3. Approve 2. The demolition if it is necessary to carry out an Urban Design Plan, or an Urban Renewal Plan, approved by Council or a Planned Unit Development (PUD) approved by the City Council.~~
- ~~4. Delay or deny the application if it finds that the reason that the structure cannot be reused for any use or the owner cannot realize a reasonable economic return from the use of all or part of the building or from the sale of the property proposed for demolition is that the owner has failed to provide the minimum maintenance required by Section 741-19(a) through willful action or neglect.~~
- ~~5. New construction on the cleared site will be subject to the guidelines for new construction and site improvements for the Over the Rhine Historic District.~~

Non-Contributing Buildings

A. Intent and General Guidelines

1. A number of buildings in the district do not contribute to the historic character of the district. The Historic Conservation Board will review the proposed alteration or demolition of these buildings based on the guidelines in this section. These guidelines encourage changes in the district that will reinforce its historic and architectural character, but acknowledge that some buildings are of a different age or architectural period.
2. Buildings that do not contribute to the historic character of the district fall into two general categories:
3. **Newer buildings:** Most buildings that were built within the past fifty years do not fit the historic or architectural context of the neighborhood. Due to their more recent date of construction, these buildings did not contribute to the development of Over-the-Rhine as an urban, nineteenth-century neighborhood. The majority of these newer buildings differ architecturally from the district's historic buildings, especially in scale, building materials, and detailing.
4. **Significantly altered buildings:** Some older buildings have lost the integrity of their original design due to substantial, incompatible exterior alterations. Buildings in this category not only have been stripped of architectural details, but have been altered completely in their appearance. The basic design, scale and rhythm of these buildings no longer relate to the historic buildings of the district.

B. Specific Guidelines





1. **Rehabilitation:** The rehabilitation of non-contributing buildings should comply with the guidelines for rehabilitation, as outlined in the "Rehabilitation" section of this document. These rehabilitation guidelines provide a framework for maintaining a building's basic architectural character; they do not suggest that a building be redesigned or altered to appear older than it is. Alterations to a newer building should be compatible with the original architectural character of that structure or should help the building to relate better architecturally to the surrounding historic district. The rehabilitation of an older, altered structure should restore elements of the building's historic character, whenever possible, based on remaining physical evidence, historic documentation, or similar buildings nearby. Alterations to non-contributing buildings should not create a false sense of history. In many cases it is preferable to rehabilitate and reuse a non-contributing building than to have a vacant parcel or parking lot.

2. **Additions:** Additions to non-contributing buildings should comply with the guidelines outlined in the "Additions" section of this document. Additions should be designed to relate architecturally to adjacent buildings and to the building of which they are a part. Additions should not overpower the original building.
3. ~~**Demolition:** Non-contributing buildings may be demolished if the demolition will not adversely affect the character of the district. The Historic Conservation Board's review of an application to demolish a non-contributing building will include an evaluation of plans for the redevelopment of the cleared site, based on the "New Construction" and "Site Improvements" sections of this document.~~





List of Non-Contributing Buildings: The following buildings identified on Attachment _____, incorporated herein by reference, are deemed to be non-contributing buildings that do not contribute to the historic or architectural character of the Over-the-Rhine Historic District.

~~(See Attached List)~~



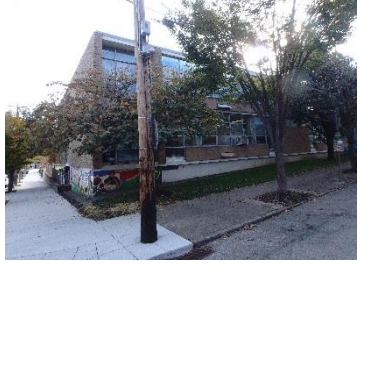
Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

Address	Photo	Recommendation	Justification	Notes & Sources
544 East Twelfth Street		Remove from Non-Contributing Buildings List	Contributes to the district due to age and massing.	Appears on the 1904/1934 Sanborn Map. Adjacent to fire station (now Ken Jones architects)
211 - 225 West Twelfth Street		Retain on Non-Contributing Buildings List	Modern construction	Shakespeare Festival Theater
12 East Thirteenth Street		Retain on Non-Contributing Buildings List	Modern Construction	Despite historic details, this building was built in the 1990s.
28 East Thirteenth Street (Rear)		Remove from Non-Contributing Buildings List	Contributes to the district due to building type, age and massing.	Appears on the 1904/1934 Sanborn Map. This is an example of a "back house" (or rear house) once ubiquitous throughout the district. This type has not been adequately celebrated within the district, probably due to the fact that they are often less visible from the street.

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>101 East Thirteenth Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>106 East Thirteenth Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>331 East Thirteenth Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the industrial history of the neighborhood.</p>	<p>Though the massing and scale of this building is different from the vertical Italianate buildings for which the district is best known, the preservation of sites of industrial heritage (more horizontal in nature) is important to telling the full story of the history of Over-the-Rhine as a mixed-use enclave. This building is currently under renovation.</p>
<p>400 East Thirteenth Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age and massing.</p>	<p>Appears on the 1904/1934 Sanborn Map.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>510 East Thirteenth Street</p>		<p>Retain from Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Mr. Bubbles carwash. This building does not appear on the 1904/1934 Sanborn map (there are two frame buildings on the lot at that time), rather it documents midcentury/post-war industrial development.</p>
<p>545 East Thirteenth Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the district due to age and as a document of the neighborhood's industrial heritage and contributes to the density of the district by providing a continuous street wall.</p>	<p>Appears on 1904/1934 Sanborn.</p>
<p>227 East Fourteenth Street</p>		<p>Retain from Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Peaslee Neighborhood Center, formerly an annex building to the Peaslee School building on Woodward Street. This building later served the entire Peaslee School population once the old building was demolished. It's use as a neighborhood arts center is a beacon in Over-the-Rhine's history of neighborhood activism.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>113 West Fifteenth Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>This building is the same as 1440 Pleasant Street.</p>
<p>115 West Fourteenth Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now Washington Park.</p>	<p>Formerly Washington Park Elementary School.</p>
<p>124 West Fifteenth Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>218 West Fifteenth Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction.</p>	<p>The current building is not the original non-contributing building on this site. An earlier building has been demolished and replaced with new construction in the last 12-18 months.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>27 Back Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the district due to age and as a document of the neighborhood's industrial heritage.</p>	<p>Appears on the 1904/1934 Sanborn Map. Formerly New York Steam Laundry.</p>
<p>2020 Branch Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the district due to age and as a document of the neighborhood's industrial heritage.</p>	<p>Appears on the 1904/1934 Sanborn Map. Formerly Lang & Wanner Tannery.</p>
<p>1117 Broadway (Rear)</p>		<p>Retain on Non-Contributing Buildings List</p>		<p>Cinderblock garage.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1131 Broadway</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the district due to age and as a document of the neighborhood's industrial heritage and contributes to the density of the district by providing a continuous street wall.</p>	<p>Appears on 1904/1934 Sanborn as a garage.</p>
<p>1211 Broadway</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributing building due to type and age.</p>	<p>Appears on 1904/1934 Sanborn. This is a typical late nineteenth/early twentieth century Italianate tenement building characteristic of the district.</p>
<p>1712 Campbell Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributing building due to age and verticality and contributes to the density of the district by providing a continuous streetwall.</p>	<p>Appears on 1904/1934 Sanborn.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>114 East Central Parkway</p>		<p>Retain from Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Salvation Army Offices and Chapel. While the rear façade (visible from 12th and Jackson Streets) is very modern, suffers from low quality materials and is not in keeping with the character of the district, the midcentury Central Parkway façade is of higher quality. Site of former Model Laundry building.</p>
<p>16 West Central Parkway</p>		<p>Retain from Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Cincinnati Metropolitan Housing Authority. Though the massing and horizontally oriented façade are not in keeping with other buildings in the district this distinctive façade, located on Central Parkway, speaks to the difference between the majority of the district and its wider edge thoroughfares.</p>
<p>1317 Clay Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Bracken Village</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1327 Clay Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Bracken Village</p>
<p>1335 Clay Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Bracken Village</p>
<p>1343 Clay Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributing building due to age. Contributes to the density of the district by providing a continuous streetwall.</p>	<p>Appears on the 1904/1934 Sanborn Map. The building has an updated façade. Has a plaque on the façade commemorating it's designation as the "Lally-Loftin Home" in 1976. Lally and Loftin seem to have been police officers who died in the line of duty.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1412 Clay Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Lot now vacant.</p>	
<p>1413 Clay Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Lot now vacant.</p>	
<p>104 East Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Lot now vacant.</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>108 East Clifton Avenue</p>		<p>Retain on Non-Contributing Buildings List.</p>	<p>Modern Construction.</p>	
<p>131 East Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Lot now vacant.</p>	
<p>134 East Clifton Avenue</p>		<p>Retain on Non-Contributing Buildings List.</p>	<p>Modern Construction.</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>136 East Clifton Avenue</p>		<p>Retain on Non-Contributing Buildings List.</p>	<p>Modern Construction.</p>	
<p>135 East Clifton Avenue</p>		<p>Retain on Non-Contributing Buildings List.</p>	<p>Modern Construction.</p>	
<p>139 East Clifton Avenue (rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>These buildings contribute to the district due to age and massing.</p>	<p>Appears on the 1904/1934 Sanborn Map. This is a series of three historic back buildings.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>145 East Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributing building due to age and verticality, and contributes to the density of the district by providing a continuous streetwall.</p>	<p>Appears on the 1904/1934 Sanborn. This is a classic Italianate tenement characteristic of the district.</p>
<p>200 East Clifton Avenue</p>		<p>Retain on Non-Contributing Buildings List.</p>	<p>Modern construction.</p>	<p>This Art Deco/Modern tax payer with chamfered corner is distinct in the district, but offers a record of depression-era development and neighborhood change. The rear portion of this building is clearly non-contributing, though the portion at the street is an interesting part of the district. The lot is vacant on the 1904/1934 Sanborn map. Home of Sally's café in the 1950s.</p>
<p>201 East Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>207 East Clifton Avenue (rear)</p>		<p>Retain on the Non-Contributing Buildings List</p>	<p>Modern construction.</p>	
<p>211 East Clifton Avenue (rear)</p>		<p>Remove from the Non-contributing Buildings List</p>	<p>Building Demolished. Lot now vacant.</p>	<p>Now part of Rothenberg School playground.</p>
<p>222 East Clifton Avenue (rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Was added to the list in error.</p>	<p>Though the rear façade looks very different from the front of this building, they are one structure, so this is part of a contributing building.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1701 East Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>103 West Clifton Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>112 Corwine Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1918 Dunlap Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>2008 Dunlap Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Cinderblock garage.</p>
<p>6 West Elder Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>115-117 West Elder Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction</p>	<p>SEC Elder and Pleasant.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1413-1417 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1428 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Recent development by Huber Homes.</p>
<p>1429 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This building contributes to the district due to age, and materials.</p>	<p>Appears on the 1904/1934 Sanborn.</p>
<p>1437 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1515 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>1604 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1624 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1715 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1719 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Findlay Kitchen</p>
<p>1727 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Simple façade with asymmetrical openings. No detail or ornament.</p>	<p>This building, built in 1930, appears on the 1934 Sanborn, but does not contribute to the character of the district.</p>
<p>1829 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>New Prospect Baptist Church</p>
<p>1900 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1905 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Auditor's website (which is notoriously unreliable) lists the building as constructed in 1959.</p>
<p>2001 Elm Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>2010 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Includes some modest art deco-like detailing of brick columns.</p>
<p>2014 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Same building as 2016 and 2020 Elm. Includes some modest art deco-like detailing of brick columns.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>2016 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Same building as 2014 and 2020 Elm. Includes some modest art deco-like detailing of brick columns.</p>
<p>2017 Elm Street (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>No rear building at this address.</p>
<p>2020 Elm Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Same building as 2014 ad 2016 Elm. Includes some modest art deco-like detailing of brick columns.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>220 Findlay Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Parking lot for 230 Findlay</p>
<p>230 Findlay Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction.</p>	
<p>1708 Frintz Sreet</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Parking for TruPartner Credit Union.</p>
<p>1716 Frintz Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904/1934 Sanborn.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>221 Grant Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Does not appear on 1904/1934 Sanborn</p>
<p>34 Green St</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Over-the-Rhine Child Care Center at the corner of Green and Race.</p>
<p>1120 Jackson Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Though it has been significantly altered, the building still contributes to the industrial heritage of the district.</p>	<p>Know Theater. Appears on the 1904/1934 Sanborn.</p>
<p>1705 Lang Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Former Wesley Mission Baptist Church. Corner of Lang and East McMicken.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>30 East Liberty Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Shell gas station</p>
<p>116 East Liberty Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	<p>Free Store Foodbank</p>
<p>128 East Liberty Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>12-24 West Liberty Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Saint Anthony Messenger (old building).</p>


Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>26-32 West Liberty Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Saint Anthony Messenger (new building). Though this building is interesting architecturally and in scale with the surrounding buildings, its construction is too new to qualify it as a contributing part of the district.</p>
<p>208 West Liberty</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1612 Logan Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1800 Logan Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1822 Logan Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears in 1904/1934 Sanborn.</p>
<p>1215 Main Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears in 1904/1934 Sanborn.</p>
<p>1434 Main Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction.</p>	
<p>1440 Main Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Comey and Shepard Office.</p>



Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1604 Main Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	<p>Former site of White Castle.</p>
<p>1616 Main Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1630 Main Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building Demolished. Now vacant lot.</p>	
<p>1722 Main Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Though this building has been covered in stucco, it is clearly a brick building.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>6 – 10 East McMicken Avenue</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	
<p>18 – 20 East McMicken Avenue</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Note that many previously hidden cast iron and pressed metal historic details have been recently exposed on this building due to a marquee collapse.</p>
<p>48 East McMicken Avenue (Rear)</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>50 East McMicken Avenue (Rear)</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>54 East McMicken Avenue (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Rear houses like this one are an essential piece of the architectural heritage and character of Over-the-Rhine. Examples like this one should be carefully protected to preserve the density and historic configuration of the neighborhood.</p>
<p>66 East McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>68 East McMicken Avenue (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Rear houses like this one are an essential piece of the architectural heritage and character of Over-the-Rhine. Examples like this one should be carefully protected to preserve the density and historic configuration of the neighborhood.</p>
<p>70 East McMicken Avenue (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Rear houses like this one are an essential piece of the architectural heritage and character of Over-the-Rhine. Examples like this one should be carefully protected to preserve the density and historic configuration of the neighborhood.</p>
<p>111 East McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age and materials.</p>	<p>Appears on the 1904/1934 Sanborn. This is the first story of a once-taller building. The remaining ground floor contains a sandstone store front characteristic of those throughout the district.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>113 East McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This address does not exist.</p>	<p>It appears that this lot has ceased to exist. 113 East McMicken should be the address for the mini-market listed above at 111 East McMicken, but the building is clearly labeled 111. 111 should be the address now in the middle of Walnut Street, but the market seems to have taken over this address.</p> 
<p>38 West McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on 1904/1934 Sanborn.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>48 West McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on 1904/1934 Sanborn.</p>
<p>54 West McMicken Avenue</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>115-121 West McMicken Avenue</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Façade Cladding.</p>	<p>VoA Building. A small building appears on this lot in the 1904/1934 Sanborn, while the majority of the lot seems to have been recently cleared. Based on the steel casement windows on the side of this building, it was probably built in the 1940s, however, because of the low-quality, modern façade materials, it does not seem to contribute to the district in the way that many other industrial buildings of the same age do.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>112 West McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Owned by Rhinegeist</p>
<p>203 West McMicken Avenue</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1608 Moore Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1621 Moore Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials and industrial and mixed-use character of the northern portion of the district.</p>	<p>Appears on the 1904/1934 Sanborn. Moerlein brewery/former Huesman's potato chips. Known to have significant underground lagering cellars which add significantly to the cultural heritage of the district.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>31 Mulberry Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>33 Mulberry Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction (same as above).</p>	
<p>127 Mulberry Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Adjacent garage is modern construction.</p>
<p>138 Mulberry Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	




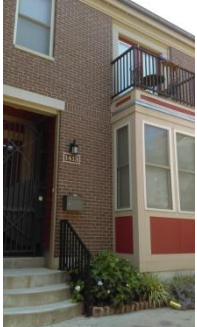
Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>320 Mulberry Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn</p>
<p>19 Peete Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>75 Peete Street (Rear)</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>This simple two-bay garage does not possess any features which contribute to the character of the district.</p>	<p>Appears on the 1904/1934 Sanborn map.</p>
<p>106 Peete Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	



Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>107 Peete Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>114 Peete Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to materials.</p>	<p>The 1904/1934 Sanborn map shows a wood frame building on this site the proportions of which seem to match the existing building (which is also wood frame). Though the façade of this building has been heavily altered with the addition of a roll-up garage door, original wood frame buildings are extremely rare in Over-the-Rhine, giving this building additional significance of one of the few remaining.</p>
<p>119 Peete Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>124 Peete Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Now part of 127 Mulberry Street to the rear.</p>
<p>127 Peete Street</p>		<p>Retain on the Non-Contributing Buildings List</p>	<p>Modern Construction.</p>	
<p>1301 Pendelton Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn map.</p>
<p>1413 Pleasant Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1511 – 1519 Pleasant Street</p>		<p>Retain Half of This Address on Non-Contributing Buildings List and Remove Half of this Address from the Non-Contributing Buildings List</p>	<p>1515-1517 Pleasant Street are Modern Construction. 1519 Pleasant contributes to the district due to age, materials, and massing.</p>	<p>Over-the-Rhine Community Housing garage and storage. 1519 appears on the 1904/1934 Sanborn. This address should be split so that 1519 Pleasant Street is removed from the Non-Contributing Buildings List while the modern garage at 1515-1517 remains on the list.</p>
<p>1553 – 1561 Pleasant Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Cell phone store. SEC Pleasant and Liberty.</p>


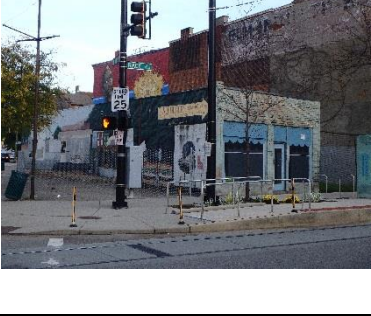

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1615 - 1617 Pleasant Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn. Though this buildings is currently covered with formstone, it is clearly a brick building.</p>
<p>1618 Pleasant Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1914 Pleasant Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Building demolished. Now Streetcar maintenance yard.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1216 Race Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This industrial building contributes to the district as an example of its multi-use nature in which industrial, commercial, residential, and cultural/civic buildings existed side-by-side.</p>	<p>Appears on the 1904/1934 Sanborn map. Demolition Approved.</p>
<p>1218 Race Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This early garage contributes to the district as an example of adaptation to the presence of automobiles in this dense urban neighborhood.</p>	<p>Appears as an auto garage on the 1904/1934 Sanborn map. Demolition Approved.</p>
<p>Washington Park Comfort Station</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now Washington Park</p>	<p>Former pool house.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1530 Race Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>1538 Race St</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>This industrial building contributes to the district as an example of its multi-use nature in which industrial, commercial, residential, and cultural/civic buildings existed side-by-side.</p>	<p>Appears on the 1904/1934 Sanborn. Auditor's site photos from 1993 shows building with a decorative parapet wall not missing.</p>
<p>1715 Race Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1720 Race Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Over-the-Rhine Senior Center</p>
<p>1723 Race Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904/1934 Sanborn. Formstone cladding at the base.</p>
<p>1725 Race Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This is a bad address. No such address exists.</p>	<p>Alley north of 1723 Race.</p>
<p>1730 Race Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age and materials</p>	<p>Appears on 1904/1934 Sanborn. Our Daily Bread. This is the first floor of a once-taller historic building. It features historic cast iron columns and may have additional historic detail hidden</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

				behind current façade cladding/infill.
1812 Race Street (rear)		Remove from Non-Contributing Buildings List	Contributes to the district due to age, materials, and massing.	Appears on the 1904/1934 Sanborn. Significant as an example of rear or back house construction common in the district.
1814 Race Street (rear)		Remove from Non-Contributing Buildings List	Contributes to the district due to age, materials, and massing.	Appears on the 1904/1934 Sanborn. Significant as an example of rear or back house construction common in the district.
1826 Race Street		Remove from Non-Contributing Buildings List	Contributes to the district due to age, materials, and massing.	Appears on the 1904/1934 Sanborn map.
1920 Race Street		Remove from Non-Contributing Buildings List	This building contributes to the industrial heritage of the northern part of the district.	Appears on 1904/1934 Sanborn. Currently Rookwood Pottery. Formerly Wagner and Sons Soda.

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>315 – 319 Reading Road</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district as an example of the early twentieth-century industrial heritage.</p>	<p>Appears on the 1904/1934 Sanborn map as Tire and Battery repair.</p>
<p>South West Corner of Reading Road and Liberty Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Verdon Bell Tower</p>
<p>1332 Republic Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age and materials. This early garage contributes to the district as an example of adaptation to the presence of automobiles in this dense urban neighborhood.</p>	<p>Appears on the 1904/1934 Sanborn as a garage.</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1415 Republic Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>This early garage contributes to the district as an example of adaptation to the presence of automobiles in this dense urban neighborhood.</p>	<p>Appears on 1904/1934 Sanborn.</p>
<p>1308 Spring Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>This garage is attached to 1306 Spring Street which is a contributing building.</p>
<p>1322 Spring Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears in 1904/1934 Sanborn map.</p>
<p>1324 - 1326 Spring Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1123 Sycamore Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Hamilton County Parking Garage</p>
<p>1203 Sycamore Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Out of scale and context with the architecture of the neighborhood.</p>	<p>The Diner</p>
<p>1301 Sycamore Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>This was the WPA pool house, but it would now apply to the new comfort station in Zigler Park.</p>
<p>1408 Sycamore Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing. This early garage contributes to the district as an example of adaptation to the presence of automobiles in this dense urban neighborhood.</p>	<p>Appears on the 1904/1934 Sanborn map as a garage.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1425 Sycamore Street</p>		<p>Retain on from Non-Contributing Buildings List</p>	<p>This building is not within the period of significance for the district.</p>	<p>Gabriel's Corner</p>
<p>1601 Sycamore Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	<p>Photo shows building prior to 2017 demolition.</p>
<p>1113 Vine Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Frame construction! Appears in the 1904/1934 Sanborn.</p>





Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1314 Vine Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Mercer Commons</p>
<p>1324 Vine Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Mercer Commons</p>
<p>1331 Vine Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>This address should be combined with 1335 Vine.</p>
<p>1335 Vine Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>This address should be combined with 1331 Vine.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1406 – 1408 Vine Street (Rear)</p>		<p>Remove from Non-Contributing Buildings List and amend address listing.</p>	<p>Building demolished. Now vacant lot.</p>	<p>Now the Kaze courtyard. 1408 Vine should be separated from 1406. 1408 is the former Weillerts Saloon and Beer Garden which is one of the most important historic locations in Over-the-Rhine.</p>
<p>1412 Vine Street (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on the 1904/1934 Sanborn This is the building with the round windows you see from the Kroger parking lot.</p>
<p>1414 – 1416 Vine Street</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1518 Vine Street (5 E Liberty St)</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Crossroads Health Center</p>
<p>1521-1525 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1630 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now parking lot.</p>	
<p>1800 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>TruPartner Credit Union, formerly Provident Bank. Appears on the 1904./1934 Sanborn map. Undergoing renovation and a historic façade has been revealed.</p>
<p>1801-1805 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904.1934 Sanborn map. Formstone cladding.</p>
<p>1929 Vine St (Rear)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1920 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904.1934 Sanborn map.</p>
<p>2026 Vine St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>208 Wade St</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>210 Wade St</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	
<p>212 Wade St</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	






Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>214 Wade St</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904.1934 Sanborn map.</p>
<p>1200 Walnut Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Now within the period of significance for the district.</p>	<p>Coffee Emporium grindery and warehouse. A two-story building appears on the corner of this lot in the lot.1904/1934 Sanborn Map, but the long portion on 12th Street does not. Chamfered corner entrance.</p>
<p>1209 Walnut Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Now within the period of significance for the district.</p>	<p>Does not appear in 1904/1934 Sanborn.</p>
<p>1212-1224 Walnut Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>1228-1232 Walnut Street</p>		<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>


Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1302 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>1306-1316 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>1328 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>1334-1340 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern Construction</p>	<p>Bracken Village</p>
<p>1350 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Constructed within the last 30 years.</p>	<p>Bracken Village.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1426 Walnut Street (Rear)</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1429 Walnut Street</p>			<p>Retain on Non-Contributing Buildings List</p>	<p>Modern construction</p>	
<p>1430 Walnut Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Building demolished. Now vacant lot.</p>	
<p>1627 Walnut Street (1624 Moore Street Rear)</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, and massing.</p>	<p>Appears on 1904/1934 Sanborn map.</p>
<p>1630 Walnut Street</p>			<p>Remove from Non-Contributing Buildings List</p>	<p>Southern portion of the building contributes to the district as a document of the industrial heritage of this district, particularly the northern portion.</p>	<p>This address encompasses 1630-1642 Walnut. The northern portion of the building is non-contributing. Column details similar to those at 2014-2016 Elm Street. Address should be separated to denote contributing and non-contributing portions.</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>215 Yukon Street (now Hanover Street)</p>		<p>Remove from Non-Contributing Buildings List</p>	<p>Contributes to the district due to age, materials, massing and characteristic wooden porches.</p>	<p>Appears on the 1904/1934 Sanborn map.</p>
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Buildings that were not listed as Non-Contributing but are not within the Boundaries of the National Register District and are not within the period of significance or have been significantly altered.

Address	Picture	
<p>1804-1812 Central Pkwy</p>		<p>Built 1947</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

1718 Central Pkwy			1960
220 Findlay St			1941




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1522 Central Pkwy</p>		<p>1986</p>
<p>1514-1520 Central Pkwy</p>		<p>1997</p>



Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1428 Central Pkwy</p>			<p>1961</p>
<p>1424-1426 Central Pkwy</p>			<p>1941</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>1416 Central Pkwy</p>		<p>1900, but significantly altered to remove any historic integrity</p>
<p>108 W Central Pkwy</p>		<p>2008</p>
<p>1150 Vine Street</p>		<p>2005</p>




Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

<p>10 E Central Pkwy</p>		<p>2004</p>
<p>208 Reading Rd</p>		<p>1998</p>
<p>1133 Sycamore Street</p>		<p>1946</p>

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

209-221 E 12 th Street			1946
508 Reading Rd			

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

550 Reading Rod		1964
528 E 12 th Street		
508-518 Dandridge		2007

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

Non-Contributing Buildings

209-221 E 12th Street
528 E 12th Street
211-225 West 12th St
12 E 13th Street
101 E 13th Street
106 E 13th Street
510 E 13th Street
227 E 14th Street
113 W 15th Street
115 W 14th Street
218 15th Street
1117 Broadway Street (rear)
10 E Central Pkwy
114 E Central Parkway
16 W Central Parkway
108 W Central Pkwy
1416 Central Pkwy
1424-1426 Central Pkwy
1428 Central Pkwy
1514-1520 Central Pkwy
1522 Central Pkwy
1718 Central Pkwy
1804-1812 Central Pkwy
1317 Clay Street
1327 Clay Street
1335 Clay Street
108 E Clifton Av
134 E Clifton Av
136 E Clifton Av
135 E Clifton Av
200 E Clifton Av
207 East Clifton Avenue (rear)
508-518 Dandridge
1918 Dunlap Street
2008 Dunlap Street
6 West Elder Street
115-117 West Elder Street
1428 Elm Street
1515 Elm Street
1719 Elm Street
1727 Elm Street
1829 Elm Street
1900 Elm Street
1905 Elm Street
2001 Elm Street
220 Findlay St
230 Findlay Street
221 Grant Street
34 Green St
30 East Liberty Street
116 East Liberty Street
12-24 West Liberty Street
26-32 West Liberty Street
1434 Main Street
1440 Main Street
6 – 10 East McMicken Avenue
115-121 West McMicken Avenue
31 Mulberry Street
33 Mulberry Street
75 Peete Street (Rear)
119 Peete Street
127 Peete Street

Over-the-Rhine Historic District Recommended Updates to the Non-Contributing Building List

1413 Pleasant Street
1519 Pleasant Street
1553 – 1561 Pleasant Street
1530 Race Street
1720 Race Street
South West Corner of Reading Road and Liberty Street
208 Reading Rd
508 Reading Rd
550 Reading Rod
1308 Spring Street
1123 Sycamore Street
1133 Sycamore Street
1203 Sycamore Street
1301 Sycamore Street
1425 Sycamore Street
1150 Vine Street
1314 Vine Street

1324 Vine Street
1331 Vine Street
1335 Vine Street
1518 Vine Street (5 E Liberty St)
208 Wade St
210 Wade St
212 Wade St
1200 Walnut Street
1209 Walnut Street
1212-1224 Walnut Street
1228-1232 Walnut Street
1302 Walnut Street
1306-1316 Walnut Street
1328 Walnut Street
1334-1340 Walnut Street
1350 Walnut Street
1429 Walnut Street

Non-Contributing Building List

209-221 E 12 th Street	34 Green St
528 E 12 th Street	30 East Liberty Street
211-225 West 12 th St	116 East Liberty Street
12 E 13 th Street	12-24 West Liberty Street
101 E 13 th Street	26-32 West Liberty Street
106 E 13 th Street	1434 Main Street
510 E 13 th Street	1440 Main Street
227 E 14 th Street	6 – 10 East McMicken Avenue
113 W 15 th Street	115-121 West McMicken Avenue
115 W 14 th Street	31 Mulberry Street
218 15 th Street	33 Mulberry Street
1117 Broadway Street (rear)	75 Peete Street (Rear)
10 E Central Pkwy	119 Peete Street
114 E Central Parkway	127 Peete Street
16 W Central Parkway	1413 Pleasant Street
108 W Central Pkwy	1519 Pleasant Street
1416 Central Pkwy	1553 – 1561 Pleasant Street
1424-1426 Central Pkwy	1530 Race Street
1428 Central Pkwy	1720 Race Street
1514-1520 Central Pkwy	South West Corner of Reading Rd and Liberty St
1522 Central Pkwy	208 Reading Rd
1718 Central Pkwy	508 Reading Rd
1804-1812 Central Pkwy	550 Reading Rod
1317 Clay Street	1308 Spring Street
1327 Clay Street	1123 Sycamore Street
1335 Clay Street	1133 Sycamore Street
108 E Clifton Av	1203 Sycamore Street
134 E Clifton Av	1301 Sycamore Street
136 E Clifton Av	1425 Sycamore Street
135 E Clifton Av	1150 Vine Street
200 E Clifton Av	1314 Vine Street
207 East Clifton Avenue (rear)	1324 Vine Street
508-518 Dandridge	1331 Vine Street
1918 Dunlap Street	1335 Vine Street
2008 Dunlap Street	1518 Vine Street (5 E Liberty St)
6 West Elder Street	208 Wade St
115-117 West Elder Street	210 Wade St
1428 Elm Street	212 Wade St
1515 Elm Street	1200 Walnut Street
1719 Elm Street	1209 Walnut Street
1727 Elm Street	1212-1224 Walnut Street
1829 Elm Street	1228-1232 Walnut Street
1900 Elm Street	1302 Walnut Street
1905 Elm Street	1306-1316 Walnut Street
2001 Elm Street	1328 Walnut Street
220 Findlay St	1334-1340 Walnut Street
230 Findlay Street	1350 Walnut Street
221 Grant Street	1429 Walnut Street

SUBJECT: A report and recommendation on proposed amendments to the Over-the-Rhine (OTR) Local Historic District guidelines in Over-the-Rhine, Pendleton, and Mt. Auburn.

GENERAL INFORMATION:

Location: Various addresses generally bounded by Central Parkway on the West and South, Reading Road and Sycamore Street on the East and West McMicken and Seitz Street on the North.

Petitioners: Over-the-Rhine Foundation, 1311 Vine Street, Cincinnati, OH 45202

ATTACHMENTS:

Provided in addition to this report are the following:

- A. Application submitted in 2020
- B. Over-the-Rhine New Construction Guidelines submitted by applicants in 2020
- C. Timeline of Engagement and Development in 2020
- D. Non-Contributing List Analysis dated 2020
- E. Amendments to Existing Guidelines by applicants dated 7/6/2020
- F. Comparison Chart between Existing Guidelines and Proposed in 2020
- G. Height Comparison Analysis Map dated 2020
- H. Staff Conference Attendance on 7/15/20
- I. Submitted Comments for 9/24/20 City Planning Commission meeting
- J. Department of Community and Economic Development comments submitted in September 2020
- K. Additional Comments post-Historic Conservation Board meeting in August 2020
- L. Revised Comparison Chart between Existing Guidelines and Proposed Guidelines 8/20/2020
- M. Historic Conservation Board Official Recommendation 8/25/2020
- N. Revised Comparison Chart between Existing Guidelines, Proposed Guidelines 9/24/20, Revised guidelines for 12/2/22
- O. Recommended changes on 11/18/22 submittal and new language for conditional approval
- P. Revised Monumental Building list proposed by staff 11/14/22
- Q. Revised Glossary list proposed by staff 11/14/22
- R. Comments - 2021 interviews, and written comments and testimony from 2020
- S. More recent correspondence for 12/2/22 City Planning Commission meeting

BACKGROUND:

The Over-the-Rhine Foundation (OTRF), a non-profit organization dedicated to the preservation of the Over-the-Rhine (OTR) neighborhood, began work in 2014 on a proposal to revise the Over-the-Rhine Local Historic District Conservation Guidelines to incorporate more detailed rules for new construction. The current guidelines were adopted in 2003 and have been utilized to guide development in the OTR Local Historic District since that time.

The OTRF submitted their initial proposal for revising the guidelines to the City in August of 2019. After their initial review, both City staff and external stakeholders raised concerns with the OTRF regarding the proposal's potential to materially impact development in the OTR Historic District. The OTRF then agreed to conduct additional stakeholder engagement in an attempt to refine and develop the guidelines to address those concerns.

Several additional meetings were held with City staff, and one additional meeting was held with City staff and external stakeholders, including developers, architects, and contractors. Following these meetings, the OTRF revised its original proposal; however, those revisions did not resolve many of the initial concerns raised by internal and external stakeholders, including the Department of Community and Economic Development and many developers and architectural firms that are active in redevelopment of OTR. The more prominent concerns are described below in the Public Comment section.

The OTRF's revised proposal was presented to the Historic Conservation Board (HCB) on August 3, 2020. In addition to written testimony, the HCB hearing included several parties speaking in favor of the application and multiple groups speaking against them. Following an extended discussion, the HCB recommended adoption of the proposal with certain conditions recommended by the City's Urban Conservator, including that further review and revision to the proposal occur (specifically regarding the provisions around height) prior to its submission to the City Planning Commission for consideration.

On September 24, 2020, the Cincinnati Planning Commission (CPC) reviewed a proposal to revise the Over-the-Rhine (OTR) Local Historic District Guidelines New Construction Section. This proposal was tabled with instruction for Planning staff to conduct additional community engagement prior to returning to the CPC with their revised proposal.

Staff started in January 2021, seeking to conduct Zoom interviews with every person who submitted comments in writing or testified at the September 24, 2020, City Planning Commission meeting. These interviews continued throughout 2021. The interviews included those who testified at the public staff conference held on 7/15/20, the collection of written comments, and people who testified at the CPC meeting on 9/24/20. Staff reached out to a total of approximately 50 people and interviewed 40. There were 13 architects, 10 developers, 15 property owners and 2 Non-Profits. Some people contacted did not return messages from staff requesting an interview. The goal of the interviews was to capture any additional thoughts each person may have had regarding the subject.

In July 2022 the applicant submitted revisions to the design guidelines to the Urban Conservator. The Urban Conservator and Zoning Administrator met with the applicants on July 26, 2022, and detailed feedback/comments were sent with suggested new language. The applicant sent the same submission with no changes in October and the Urban Conservator and Zoning Administrator met with the applicant on October 20, 2022, sending comments again without further changes. The final submission was made on November 18, 2022, with no changes since the July 26, 2022, submission.

EXISTING GUIDELINES, PROPOSED REVISIONS SUBMITTED BY APPLICANT 2020 AND CURRENT 2022 PROPOSED GUIDELINES BY APPLICANT WITH STAFF'S PROPOSED REVISIONS:

1) Storefronts Existing Guidelines: The **existing guidelines** state that new storefronts should be similar to existing historic storefronts.

Proposed 2020 revised guidelines state that storefronts should feature the basic components of a storefront system, including a bulkhead, transom windows and display windows.

Opponents say that this would prevent them from designing a full height storefront glass and folding glass doors. This limits business's ability to have open air, indoor/outdoor dining, which may become the norm for bars and restaurants in the future.

2022 Proposed Revised Guidelines: Keep proposed 2020 language submitted by applicant (Attachment O).

2) Setbacks Existing Guidelines: The **existing guidelines** state that setbacks should be consistent with adjacent similar uses along the street.

Proposed 2020 Revised Guidelines state similar language.

2022 Proposed Revised Guidelines: Reconciled (Attachment O).

3) Height Existing Guidelines: The **existing guidelines** state that a new building can be one story higher or lower than adjacent buildings. Height is one of the most important elements of a building that can automatically make a building overpower and detract from neighboring contributing buildings. The current guideline provided limitations in both creating times when new construction would be too tall and overpower the neighboring buildings, but it has also provided times where new construction was limited because of buildings that were either taller or shorter than the majority of the buildings on a block.

Proposed 2020 revised guidelines

- (a) Using median height as the general goal removes the anomalies from the block and could allow for a taller building while also making sure new buildings are compatible in height and do not overpower the historically tallest building on the block.
- (b) Having an allowance for buildings along Central Parkway to be taller recognizes the reality that Central Parkway is a unique situation that always had a unique building pattern and history within the neighborhood. While the intention was to allow buildings along the East West portion of Central Parkway to also be taller, the current guideline does not read that way and historic staff does propose to amend the guideline on page 15 Guideline 09 to read
 - o Buildings on Central Parkway north of Liberty Street and on the East West portion of Central Parkways...

- (c) Allowing corner buildings to be taller while still limiting that it should be secondary to the tallest historic building on the block recognizes that corners were historically taller and anchors while still respecting the tallest historic building on a block.
- (d) Staff has done an analysis show in Attachment H of some major sites within the district that are vacant or non-contributing buildings that could be potential development sites. This is not a study of all developable sites, but was intended to see the impact of the proposed guidelines on major sites. In the analysis staff compared if the existing guidelines of one story above or below adjacent contributing buildings (i.e. the buildings directly neighboring on the same block face) what the allowable height would be versus what the allowable height would be in looking at the median height of the block face. With just a handful of exceptions the height for the majority of the sites studied would be either the same or higher under the proposed guidelines. In some calculations provided on the map there would be 17 sites of the 45 studied that would be allowed to have more stories than under the existing guidelines, 6 sites that would have fewer stories, and 22 that would remain the same as what would be allowed today.
- (e) The applicant has discussed the concerns regarding height with many community groups/developers and architects. While Historic Staff believes that what has been presented is appropriate, staff is supportive of continued dialogue and potential adjustments to the language prior to final approval given that what is presented is still consistent with preservation best practices. Historic Staff is also supportive of the limitation that new construction shouldn't be taller than or appear taller than historic contributing buildings as new construction should not overwhelm existing buildings. In the National Trust for Historic Preservation Publication "Regulating New Construction in Historic Districts" it states "*The height of the new construction should fall within the ranges seen for the block, and if there are varying heights among different building types, again the dimensions for the building type proposed should govern.*" Historic Staff supports this as a foundation/principle for a guideline for height and the specifics of how this is applied for a specific district can be detailed further in the guidelines for that district.

Opponents are concerned about the limitations on height preventing more density, which is crucial in developing affordable housing. Also, the average lot size in Over-the-Rhine is 25' wide by 85' to 100' deep. Building taller is the only way to create more square footage to meet the market demand for single-family homes.

2022 Proposed Revised Guidelines

Proposal is that any new construction can be as tall or as short as the tallest or shortest contributing building on the block. However, the applicants submitted a Monumental Building list that excludes taller contributing historic buildings from being included in a calculation for determining height in any block. That list has been revised by Historic staff deleting buildings that should not be on the list (Attachment O).

- 4) Balconies Existing Guidelines:** Currently the **existing new construction guidelines** don't explicitly address balconies. There is only one line in Site Improvements that states "metal balconies are not discouraged."

This does not give any framework of where they are appropriate. In general buildings in Over-the-Rhine are set to the street and the only projections from buildings are oriel windows, the natural undulation from sills and lintels, cornices, and signs. Although balconies are not common, they do exist in Over-the-Rhine, sometimes on the rear or side of a building. Fire escapes were later additions and are necessary for building egress and safety issues, however they are often used for outdoor space as well. It is understandable to want private outdoor spaces within a dense urban environment.

Proposed 2020 revised guidelines state how to sympathetically add in balconies and provide for outdoor space without sacrificing contextual development such as creating large voids in an otherwise solid plane along the street or large projections that are not part of the contextual fabric.

Opponents want the guidelines to provide for more flexibility when designing balconies on the front façade.

2022 Proposed Revised Guidelines: Reconciled to keep 2020 proposed language (Attachment O).

- 5) **Roof Decks Existing Guidelines** simply state that “Rooftop decks should not be highly visible from the principal façade.”

Proposed 2020 revised guidelines state that “rooftop decks and roof access enclosures must be no more than minimally visible from abutting streets, must not be highly visible from the public realm, and must minimize disturbance of roof top views from other buildings.”

The one element that Staff does have concern for is the statement regarding “must minimize disturbances of rooftop views from other buildings.” As the historic district has its foundation in that a designation is for the “public good” having a guideline that is specifically about a private dominion is problematic.

Opponents find this guideline confusing and overly restrictive. Well-designed decks should be visible as an architectural feature of the new building. The majority of new construction projects desire roof decks, with additional amenities and rooftop access enclosures.

2022 Proposed Guidelines: changed the “must” to a “should” (Attachment O).

- 6) **Vehicular Entrances Existing Guidelines** have no mention of vehicular entrances. Also, it is crucial to maintain the pedestrian friendly nature of Over-the-Rhine. Numerous curb cuts and cars pulling out across pedestrian sidewalks into the street is not safe.

Proposed 2020 Revised Guidelines A simple solution would be to say they are simply inappropriate and not permitted on front facades and side elevations.

Opponents say that is not practical to market a development that requires parking on the street or in a nearby garage. However, the reality is that the automobile is necessary and crucial to

marketing real estate in Over-the-Rhine. Even as there are not parking requirements within the district, parking is still desired.

The proposed guidelines do not dictate a style. There is no mention of a requirement or guideline regarding the need to be a specific style. Rather the guidelines outline the individual elements and characteristics of a building and how new construction should incorporate those patterns and characteristics to provide a compatible and sensitive design.

Providing a strong framework for compatible design helps to minimize negative impacts of new construction that would detract from the historic district. It helps to provide economic stability in property values to the existing property owners.

Proposed 2022 Guidelines: Accept the applicant’s proposed change (Attachment O).

7) Use of the words “must” and “should” Existing Guidelines

The word “must” is rarely used and the word “should” is preferred

Proposed 2020 Revised Guidelines excessively use the word “must” over “should”

Proposed 2022 Guidelines Historic staff has revised the use of “must” to “should” in many places throughout (Attachment O).

HISTORIC CONSERVATION BOARD REVIEW PROCESS

New infill construction requires review and approval by the Historic Conservation Board (HCB). In order to apply to the HCB, the applicant must first receive an adjudication letter from the Urban Conservator (UC). Applicants will typically submit preliminary building designs to the UC for an initial review. During this review the UC reviews the proposed infill against the Historic Conservation Guidelines for the district. If the UC feels that there are certain aspects of the project that do not comply with the guidelines, these concerns are communicated to the applicant to give them a chance to revise the drawings to better comply. Ultimately, after the initial review, the applicant may decide to make changes to the drawings, or they may elect to proceed to the HCB as is.

After the complete Certificate of Appropriateness (COA) application is officially submitted to and accepted by the Law Department, it is scheduled for a future HCB agenda. UC Staff then reviews the full application and prepares a Staff Report with a recommendation for the HCB. The staff recommendation is based on substantial compliance with the Conservation Guidelines. Staff recommendations are typically for approval, approval with conditions, or denial. At the hearing, the UC presents the project and summarizes the Staff Report, findings and recommendations. The HCB then may ask specific questions of Staff and/or the applicants, and also hears any testimony provided by members of the public before ultimately making their decision.

Per Section 1435-09-2 of the Cincinnati Zoning Code, in order to approve a project, the HCB must find that the project substantially conforms to the Conservation Guidelines, or that the property owner has demonstrated by credible evidence that the property owner will suffer economic hardship if the COA is not approved. Decisions of the HCB are appealable to the Zoning Board of Appeals (ZBA).

Per Section 1449-17, the Zoning Board of Appeals may find that the order, adjudication, or decision is illegal, arbitrary, capricious, unreasonable, or unsupported by the preponderance of substantial, reliable, and probative evidence on the whole record. Consistent with its findings, the board may affirm, reverse, vacate, or modify the order, adjudication, or decision, or remand the cause to the officer or body appealed from with instructions to enter an order, adjudication, or decision consistent with the findings or opinion of the Board.

PUBLIC COMMENTS:

In addition to engagement prior to submission, a joint public staff conference with the City's Historic Conservation Office and the Department of City Planning and Engagement was held on July 15, 2020, to receive public feedback concerning the OTRF's proposal. It was held in-person in City Hall's City Council Chambers, and there was also a virtual option for attendees to participate via Zoom. Notices were sent to property owners within the boundary of the OTR Local Historic District, the OTR Foundation, Pendleton Community Council, Mt. Auburn Community Council and the Over-the-Rhine Community Council.

The OTRF and proponents of the proposed revised guidelines focused their comments on the goal of preserving the historic fabric of OTR and ensuring that new construction in the district will enhance the built environment. Additionally, they believe the proposed guidelines provide additional clarity to the existing guidelines and are sufficiently flexible.

However, several groups challenged this position and raised serious questions over the appropriateness and economic impact of the proposed revised guidelines in 2020. They included developers and numerous design and architecture professionals that are all active and heavily involved in the redevelopment and preservation of OTR: 3CDC, The Model Group, Inc., Urban Sites, GBBN, and Platte Architecture and Design, New Republic Architecture, Northpoint Group, and Cincinnati Development Fund.

Since 2020 the applicants have met with many of these groups to discuss and better understand their comments and concerns and made some revisions as a result. On 10/20/22 3CDC submitted a letter not objecting to the proposed guidelines, but not directly providing support. In addition, Model Group and Urban Sites also submitted letters recently not objecting to the proposed guidelines, but not directly providing support (Attachment T). City staff has not received written communication on the current submittal from other developers or architects that commented in 2020. The City's Department of Community and Economic Development (DCED) voiced concerns at the proposed guidelines as originally submitted in 2020. DCED has not provided comment on the most recent submittal. DCED's primary concerns ranged from the comprehensive to the specific.

More comprehensive DCED concerns raised in 2020 included the following:

- That new guidelines would increase development costs, which would make it harder for smaller and minority-owned developers to work in OTR and will increase City-subsidy required to support projects;

- That new guidelines would result in reduced density, which would negatively impact the development of affordable housing, housing affordability in a general sense, and the economic base available to support neighborhood businesses;
- That new guidelines would unintentionally encourage “faux historic” development, undermining the integrity of the OTR historic district;
- That the new guidelines were too strict and prescriptive or formulaic, preventing flexibility in meeting challenging development problems, reducing creativity in new building design, and undermining the discretion of the Historic Conservation Board members; and
- That due to the far-ranging nature of the shifts proposed in the new guidelines and the potential impacts that much more stakeholder engagement was necessary.

Some of the specific concerns raised were:

- The extensive use of the word “must” versus “should,” as compared to their typical use in historic district guidelines;
- The proposed height regulations were too strict and would negatively impact the economic feasibility of projects;
- The need for flexibility in building storefronts;
- The need to permit greater setbacks on upper floors to allow for structures to be built at greater heights without negatively impacting the view from the street level; and
- The need to allow for greater flexibility in permitting balconies, roof decks, and vehicular entrances in order to meet modern needs and trends. Commercial properties such as office buildings, bars/restaurants and hotels could be prevented from having any type of rooftop deck, garden, bar, restaurant, etc.

THE ROLE OF THE CITY PLANNING COMMISSION:

The City Planning Commission’s consideration of the OTRF’s proposal should be comprehensive. While the Historic Conservation Board narrowly focuses on proposed guidelines’ effectiveness at preserving historic districts and structures, the law prescribes a broader review for the City Planning Commission that considers not only the preservation of historic districts and structures but also planning and economic development considerations. Specifically, Cincinnati Municipal Code (CMC) Section 1435-07-2-B provides that the City Planning Commission shall consider all of the following factors in making its recommendation to the City Council:

In making a determination, the City Planning Commission shall consider all of the following factors:

- (1) The relationship of the proposed revised OTR New Construction Guidelines to the comprehensive plans of the city and of the community in which the proposed Historic Guidelines apply; and

The revised guidelines are consistent with Plan Cincinnati (2012). In the Sustain Initiative Area, a Goal recommends to “preserve our natural and built environment” and “preserve our built history with new development incentives and regulatory measures” (pages 193-194).

The revised guidelines as proposed also are partially consistent with the Over-the-Rhine Comprehensive Plan (2002) in that the design guidelines for the locally designated OTR Local Historic District “provide a framework for continual revitalization” (page 32). However, they go too far in the area of height and rooftop amenities restrictions, the use of the words “must” and

“should” and the arbitrary list of Monumental buildings. Staff has suggested alternative language.

- (2) The effect of the proposed amendments on the surrounding areas and economic development plans of the city; and

The revised guidelines as proposed could inhibit the revitalization of the area and may have a negative impact on the community and economic development plans of the city unless staff’s suggested revisions are made.

- (3) Such other planning and historic preservation considerations as may be relevant to the proposed designation.

The revised guidelines as proposed may not assist in the redevelopment of the Over-the-Rhine Local Historic District by promoting overly restrictive infill construction within the historic district and the Over-the-Rhine community unless staff’s suggested revisions are made.

CONSISTENCY WITH PLANS:

These amendments to the Over-the-Rhine Local Historic District New Construction Guidelines in OTR is consistent with *Plan Cincinnati* (2012) in the Sustain Initiative Area, a Goal recommends to “preserve our natural and built environment” and “preserve our built history with new development incentives and regulatory measures” (pages 193-194).

This designation also is partially consistent with the *Over-the-Rhine Comprehensive Plan* (2002) in that the design guidelines for the locally designated OTR Historic District “provide a framework for continual revitalization” (page 32). However, they go too far in the area of height and rooftop amenities restrictions, the use of the words “must” and “should” and the arbitrary list of monumental buildings which can be reconciled with staff’s suggested revisions.

ANALYSIS:

Since 2020, the applicants have made some changes to the proposed guidelines and City Planning Staff is grateful to the applicants for the extensive time and energy they spent engaging with stakeholders and reconsidering certain elements of their submittal. Overall, Staff feels that the proposed Infill Guidelines provide value to the historic review process, especially through the use of graphic representations of the guidelines within the final document. However, the final set of revisions submitted by the applicant did not incorporate some of Staff’s recommended revisions. For instance, Staff still has serious concerns regarding the proposed guidelines for application requirements related to building height, roof top amenities, and with portions of the proposed text, primarily in the prevalence of the use of “must” and the complexity of the language. A glossary of historic and architectural terms for use when reading through the proposed guidelines, which is new in 2022, was provided by the applicant and Historic Staff has proposed a revised list (Attachment Q).

Height

Regarding height, in general, Staff finds the proposed height guidelines very specific and possibly difficult for the layperson to comprehend and would likely make development more costly and difficult for applicants. Historic Conservation Staff does not have the capacity to survey entire block faces, which would put this on the applicant. In cases where proposed heights are close to maximums based on context, applicants will need to survey entire block faces at a minimum and include them in elevation

drawings. In some cases, this would extend to additional block faces as well. Conforming with a specific measure on height instead of compatibility doesn't allow for evaluation of setback minimally visible additional height, or the different visual impact of different roof forms. As noted above, Staff finds the existing language to be defensible, produce compatible outcomes, and easy to understand and would not recommend changes to the way height is reviewed. Some changes they considered were particularly in the area of height, by recommending that any new construction can be as tall or as short as the tallest or shortest contributing building on the block. However, the applicants submitted a Monumental Building list that excludes taller contributing historic buildings from being included in a calculation for determining height in any particular block. The list has been updated by Historic Staff proposing removing some significant taller historic buildings so they can be used for calculated height in their respective blocks where those buildings exist (Attachment P).

Specific Language of Must and Should

The use of "must" indicates that applicants must comply with the standard in all circumstances and is used heavily throughout the document. In a district as large and varied as Over-the-Rhine, Staff feels that it is important for the Historic Conservation Board (HCB) to analyze projects based on their specific merits, and the immediate surrounding historic context. Staff has concerns that the prevalence of "must" will inhibit the HCB's ability to ensure site-specific compatible development. The applicants have stated that it is their intention that the HCB should never approve a project against a "must", but the applicant would have the option to appeal the HCB decision to the Zoning Board of Appeals (ZBA). Staff feels that the HCB is in a better position to make a determination of compatibility on historic projects than the ZBA. The use of "should" instead of "must" would allow greater flexibility on a case-by-case basis without requiring the additional time and expense of requiring an appeal to the ZBA (Attachment P).

The City Planning Commission must additionally consider how the proposed revised guidelines would fit comprehensively into the framework of *Plan Cincinnati* and overall development in Cincinnati, including, among other things, the long-term impacts on economic development, neighborhood sustainability, and housing affordability and equity. These concerns are embodied in the Live Goal to "provide quality healthy housing for all incomes levels" and to "develop additional incentives for inclusion of affordable units in new-construction rental properties" (pp. 165-166), and the Sustain Action Step to "incentivize development that involves the community at the outset of a project through faster review and permitting" (p.197).

Overall, Staff feels that the proposed Infill Guidelines provide value to the historic review process, especially through the use of graphic representations of the guidelines within the final document. Staff does, however, have serious concerns with portions of the proposed text, primarily in the prevalence of the use of "must" and the complexity of the language and application requirements related to building height.

The use of "must" indicates that applicants must comply with this standard in all circumstances and is used heavily throughout the document. In a district as large and varied as Over-the-Rhine, Staff feels that it is important for the Historic Conservation Board (HCB) to analyze projects based on their specific merits, and the immediate surrounding historic context. Staff has concerns that the prevalence of "must" will inhibit the HCB's ability to ensure site-specific compatible development. The applicants have stated that it is their intention that the HCB should never approve a project against a "must", but the applicant would have the option to appeal the HCB decision to the Zoning Board of Appeals (ZBA). Staff feels

that the HCB is in a better position to make a determination of compatibility on historic projects than the ZBA. The use of “should” instead of “must” would allow greater flexibility on a case-by-case basis without requiring the additional time and expense of requiring an appeal to the ZBA.

The recommendation below covers provisionally approving the New Construction Infill Guidelines with staff’s revisions, the revised Monumental Building list and the revised Glossary List with the condition that all of these revisions come back to Planning Commission for final approval.

RECOMMENDATION:

The staff of the Department of City Planning and Engagement recommends that the City Planning Commission take the following action:

PROVISIONALLY APPROVE the proposed New Construction Infill Guidelines on the condition that staff for the Department of City Planning and Engagement prepare and present the following documents to the City Planning Commission for final approval:

- a. A set of New Construction Infill Guidelines that incorporates the staff’s proposed revisions reflected on Attachment O (Recommended Changes on 11/18/2022 submittal and new language for conditional approval), Attachment P (Revised Monumental Building List), and Attachment Q (Revised Glossary List); and
- b. A set of the existing Over-the-Rhine Local Historic District Guidelines modified to address guidelines that are obsolete or will be inconsistent with the New Construction Infill Guidelines upon their adoption.

Respectfully submitted:

Approved:



Caroline Hardy Kellam, Senior City Planner
Department of City Planning and Engagement

Katherine Keough-Jurs, FAICP, Director
Department of City Planning and Engagement

April 19, 2023

Cincinnati City Council
Council Chambers, City Hall
Cincinnati, Ohio 45202

Dear Members of Council:

We are transmitting herewith an Ordinance captioned as follows:

AMENDING certain provisions of the Over-the-Rhine Local Historic District Conservation Guidelines governing the conservation and development of the Over-the-Rhine Local Historic District in the Over-the-Rhine, Pendleton, and Mt. Auburn neighborhoods.

Summary

The Over-the-Rhine Foundation (OTRF), a non-profit organization dedicated to the preservation of the Over-the-Rhine (OTR) neighborhood, began work in 2014 on a proposal to revise the Over-the-Rhine Local Historic District Conservation Guidelines to incorporate more detailed rules for new construction. The current guidelines were adopted in 2003 and have been utilized to guide development in the OTR Local Historic District since that time.

The OTRF's revised proposal was presented to the Historic Conservation Board (HCB) on August 3, 2020. Following an extended discussion, the HCB recommended adoption of the proposal with certain conditions recommended by the City's Urban Conservator, including that further review and revision to the proposal occur (specifically regarding the provisions around height) prior to its submission to the City Planning Commission for consideration.

On September 24, 2020, the City Planning Commission (CPC) reviewed a proposal to revise the Over-the-Rhine (OTR) Local Historic District Guidelines New Construction Section. This proposal was tabled with instruction for the Department of City Planning and Engagement (DCPE) staff to conduct additional community engagement prior to returning to the CPC with their revised proposal.

The revised submission from OTRF was submitted on November 18, 2022, and was subsequently scheduled for the City Planning Commission on December 2, 2022.

CITY PLANNING COMMISSION ACTION ON DECEMBER 2, 2022:

At the City Planning Commission meeting on December 2, 2022, representatives of the OTRF steering committee and historic preservationists spoke in favor of the OTRF's proposed revisions to the OTR New Construction guidelines. In addition, numerous architects, developers, contractors, consultants and the Department of Community and Economic Development Department (DCED) spoke in favor of DCPE staff's recommendation. After extensive testimony from both sides, the City Planning Commission voted in favor of staff's recommendation to:

PROVISIONALLY APPROVE the proposed New Construction Infill Guidelines on the condition that staff for the Department of City Planning and Engagement prepare and present the following documents to the City Planning Commission for final approval:

- a. A set of New Construction Infill Guidelines that incorporates the staff's proposed revisions reflected on Attachment O (Recommended Changes on 11/18/2022 submittal and new language

for conditional approval), Attachment P (Revised Monumental Building List), and Attachment Q (Revised Glossary List); and

- b. A set of the existing Over-the-Rhine Local Historic District Guidelines modified to address guidelines that are obsolete or will be inconsistent with the New Construction Infill Guidelines upon their adoption.

The vote was as follows:

Moved to approve the staff's recommendation on the Legislative Discussion Agenda.

Motion: Mr. Weber
Second: Ms. Sesler
Ayes: Mr. Eby, Ms. Sesler, Mr. Weber
Nays: Mr. Samad, Ms. Smitherman
Absent: Ms. Kearney
Excused: Mr. Stallworth

DCPE staff and the applicants made the revisions approved by the City Planning Commission. The Law Department and the Urban Conservator have reviewed and amended the original existing historic guidelines by replacing the former new construction section with an incorporated reference to the approved new construction guidelines document. In addition, there were some other minor housekeeping adjustments made to the existing guidelines.

On April 7, 2023, the City Planning Commission voted unanimously to take the following actions:

1. **ACCEPT** the revisions made to the Over-the-Rhine Local Historic District New Construction Guidelines made by Department of City Planning and Engagement staff as directed by the City Planning Commission's motion at the meeting dated December 2, 2022; and
2. **CONFIRM** the approval of the New Construction Guidelines, as so revised by Department of City Planning and Engagement staff, as more particularly detailed in Attachment A; and
3. **APPROVE** the revisions made by Department of City Planning and Engagement staff to the Over-the-Rhine Local Historic District Guidelines, as more particularly detailed in Attachment B.

Motion to Approve the Administration's recommendation: Mr. Samad

Ayes: Mr. Weber
Ms. Kearney
Mr. Stallworth
Ms. Sesler
Mr. Samad
Ms. Beltran

Seconded: Mr. Weber

THE CITY PLANNING COMMISSION



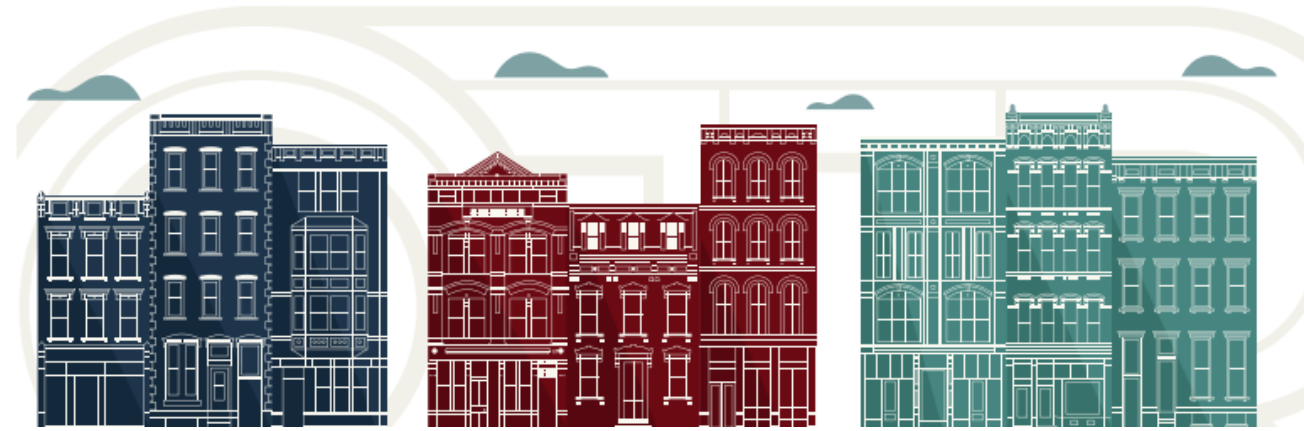
Katherine Keough-Jurs, FAICP, Director
Department of City Planning and Engagement

May 9, 2023

To: Equitable Growth and Housing Committee
From: Sheryl M. M. Long, City Manager
Subject: Presentation – Amendments to Over-the-Rhine Local Historic District Guidelines

Attached is the presentation for the May 9, 2023 Equitable Growth and Housing Committee for the proposed amendments to the Over-the-Rhine Local Historic District Guidelines.

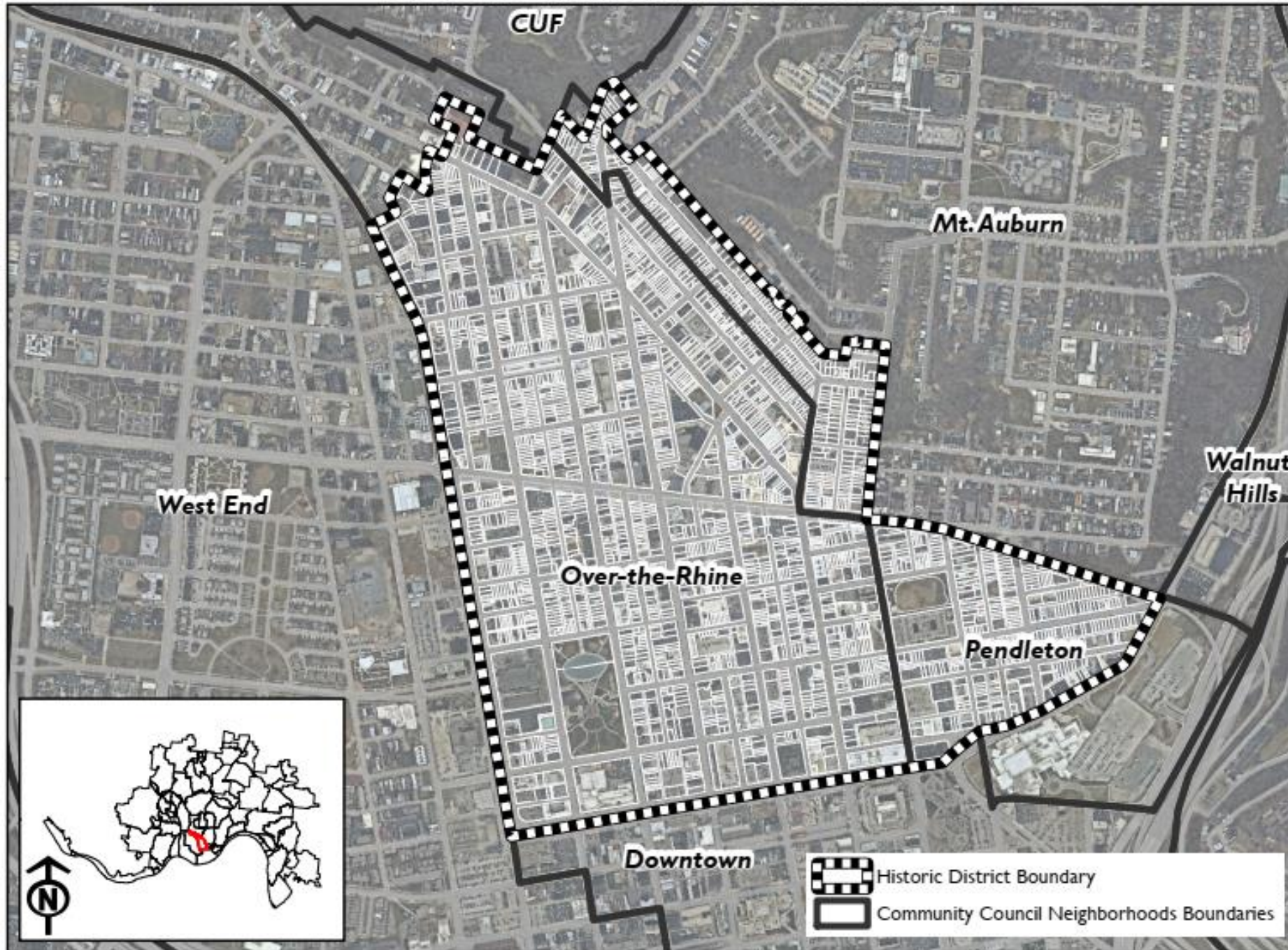
cc: Katherine Keough-Jurs, FAICP, Director, Department of City Planning and Engagement



Proposed Amendments to the Over-the-Rhine Local Historic District Guidelines

Equitable Growth and Housing | May 9, 2023

Over-the-Rhine Historic District



Background

- OTR Foundation (OTRF) began work in 2014 to revise *New Construction* section only of the OTR Local Historic District Guidelines
 - Current guidelines were adopted in 2003 and needed to be revisited in light of increased development interests
 - Covers certain topics not previously addressed
 - More graphics integrated, updated glossary
 - Revised Non-Contributing Building List

Background and Community Engagement

- OTRF submitted first draft to City in 2019
- There was extensive community engagement with local stakeholders and City staff
- Joint in-person / virtual public staff conference on *first draft* was held on July 15, 2020
- Notices sent to applicant team, all property owners, OTR, Pendleton, and Mt. Auburn community councils

Background and Community Engagement

- Proponents emphasized preservation, new construction fitting in, and providing clarity to existing guidelines
- Opponents raised serious questions about breadth of restrictions, appropriateness, economic impact
- Initial opposition included developers, design and architecture professionals, and DCED

- August 2020: Historic Conservation Board (HCB)
 - Approved the proposal with condition that the height section was improved before City Planning Commission
- September 2020: City Planning Commission (CPC)
 - Tabled item and directed staff to conduct additional community engagement due to significant opposition

HCB and CPC

- DCPE conducted stakeholder interviews throughout 2021
- All persons who submitted written or in-person testimony at staff conference, HCB and CPC meetings were offered time to be engaged
- Approximately 40 stakeholder interviews
- Some minor revisions made and scheduled back to CPC for December 2, 2022

City Staff Revision Summary

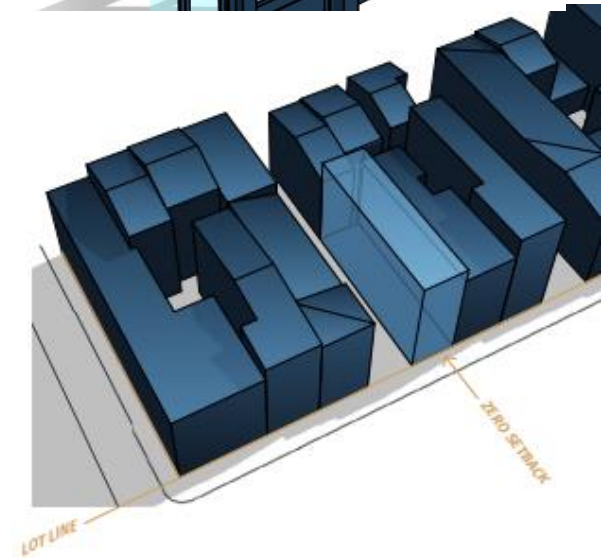
Storefronts:

Should feature bulkhead, transom and display windows



Setbacks:

Should be consistent with adjacent similar uses along the street



Height:

Can be one story higher or lower than adjacent buildings



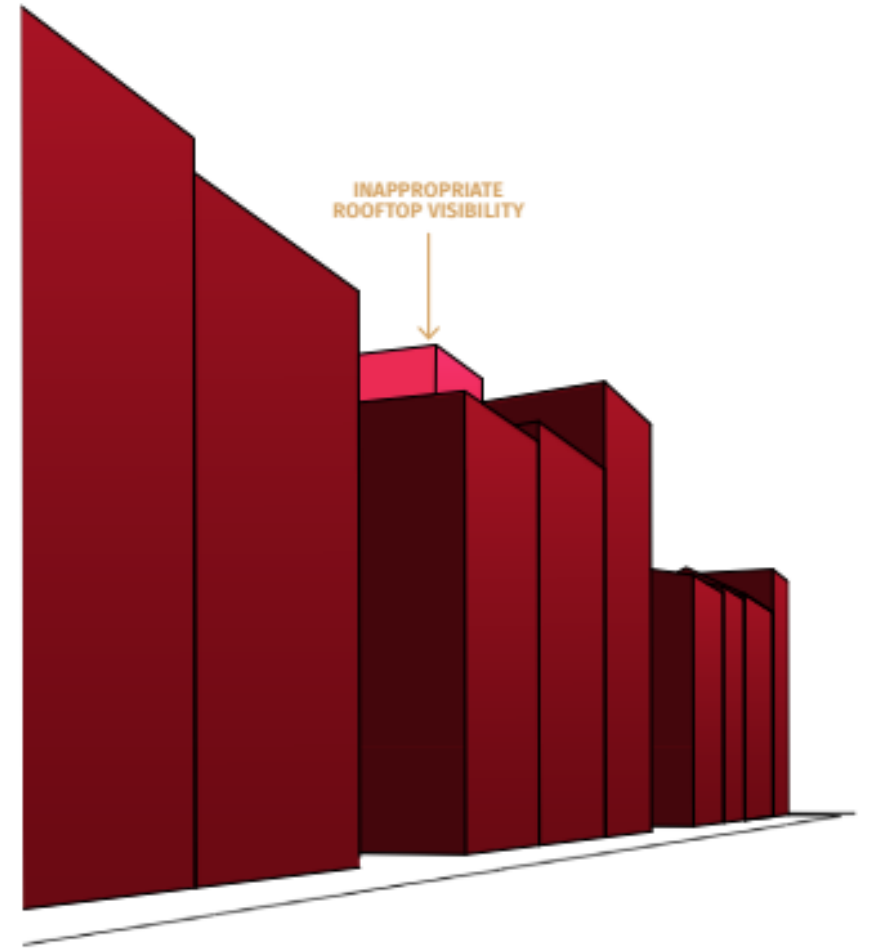
City Staff Revision Summary

Balconies:

May be sympathetically added to non-street facing walls to provide for outdoor space without sacrificing contextual development

Roof Decks:

Should be no more than minimally visible from abutting streets, must not be highly visible from the public realm, and must minimize disturbance of roof top views from other buildings



City Staff Revision Summary

Vehicular Entrances:

Inappropriate and generally not permitted on the front facades and side elevations

Use of the words “must” and “should” in the Guidelines:

Use of “must” was changed to “should” in many places throughout the guidelines

City Planning Commission – December 2, 2022

- Presented City staff revisions in recommendation
- After extensive testimony on both sides – CPC voted in favor of staff’s recommendation and that:
 - DCPE staff return to CPC with the cleanly revised documents for final approval including:
 - Revised new construction guidelines
 - Revised existing guidelines to remove old language
 - Revised non-contributing building list

Analysis

- Zoning Code Section 1435-07-2-B Factors Analysis
 - Relationship of proposal to City and neighborhood plan
 - Effect of proposal on surrounding areas and economic development plans of the City
 - Other planning and historic preservation considerations as may be relevant to the proposal

Consistency with Plans

Plan Cincinnati (2012)

- *Sustain Initiative Area* – “Preserve our natural and built environment”
- *Policy Principles* – “Build on our assets” and “Preserve our resources and facilitate sustainable development”

Over-the-Rhine Comprehensive Plan (2002)

- Provide a framework for continual revitalization



O V E R - T H E - R H I N E



C O M P R E H E N S I V E P L A N

JUNE 2002

Further Analysis

- Amendments to the guidelines provide value to the historic review process
- Incorporation of graphic/visual representations
- DCPE staff reviewed the final documents submitted by OTRF and they were deemed complete and accurate
- Final review and approval by CPC on April 7, 2023
- If approved, this would take effect July 8, 2023

Recommendation

The City Planning Commission unanimously recommended at their 4/7/2023 meeting that City Council take the following action:

AMEND certain provisions of the Over-the-Rhine Local Historic District Conservation Guidelines governing the conservation and development of the Over-the-Rhine Local Historic District in the Over-the-Rhine, Pendleton, and Mt. Auburn neighborhoods.

Date: April 26, 2023

To: Mayor and Members of City Council 202301243
From: Sheryl M. M. Long, City Manager
Subject: EMERGENCY ORDINANCE – MARYLAND AVENUE ARTWORK

Attached is an emergency ordinance captioned as follows:

AMENDING Ordinance 07-2021 to depict the actual artwork to be donated to the City in Exhibit A to the ordinance.

On January 6, 2021, Council passed Emergency Ordinance 0007-2021 for artwork donated by Price Hill Will, depicting a mural, freestanding planters with artwork, and a sculpture, to be installed in the public right-of-way on Maryland Avenue in the Lower Price Hill and East Price Hill neighborhoods.

The mural and planters have been installed. The vision for the sculpture installation has evolved, as structural, maintenance, and utility concerns were noted during review of the detail drawings. The sculpture depicted in Attachment B reflects the coordination between DOTE, the artist, and Price Hill Will.

This amendment to the original ordinance is needed due to the change in the artwork image and shape. The location of the sculpture has not changed. An emergency ordinance is needed to allow for installation by Price Hill Will at the earliest time possible.

The Administration recommends passage of the attached ordinance.

Attachment A – Ordinance #0007-2021
Attachment B – Proposed Artwork, updated April 7, 2023

cc: John S. Brazina, Director, Transportation and Engineering

EMERGENCY

JRS

- 2023

AMENDING Ordinance 07-2021 to depict the actual artwork to be donated to the City in Exhibit A to the ordinance.

WHEREAS, on January 6, 2021, Council approved Ordinance 07-2021 authorizing the City Manager to install and maintain artwork within City-owned right-of-way in the Lower Price Hill and East Price Hill neighborhoods known as Maryland Avenue; and

WHEREAS, Exhibit A to Ordinance 07-2021 depicted a mural and sculptural arches to be displayed as the City's own expression notwithstanding any provisions of the Cincinnati Municipal Code that would normally restrict such displays; and

WHEREAS, the neighborhood communities, including Price Hill are, upon further reflection and additional community engagement with the Administration, seeking to modify the artwork intended to be donated to and displayed by the City; and

WHEREAS, Ordinance 07-2021 must be amended to substitute the attached Attachment A, which depicts the actual artwork to be donated to and displayed by the City; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That Ordinance 07-2021, approved by Council on January 6, 2021, is hereby amended to substitute the attached Attachment A for Exhibit A attached to Ordinance 07-2021.

Section 2. That all terms of Ordinance No. 07-2021 not amended by this ordinance remain in full force and effect.

Section 3. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to allow the public art project to proceed to allow for the

corresponding benefits to the City and the neighborhoods of Lower Price Hill and East Price Hill to begin at the earliest possible time.

Passed: _____, 2023

Aftab Pureval, Mayor

Attest: _____
Clerk



EMERGENCY

City of Cincinnati

An Ordinance No. 7

JRS

- 2020

AWB

AUTHORIZING the City Manager to install and maintain a mural and sculpture arches in certain public right-of-way in the Lower Price Hill and East Price Hill neighborhoods known as Maryland Avenue, notwithstanding any conflicting Department of Transportation and Engineering rules and regulations or any provision of the Cincinnati Municipal Code that would prohibit the installation and maintenance of the mural and sculpture arches.

WHEREAS, the City of Cincinnati wishes to install a mural and sculpture arches (“Artwork”), as depicted in Exhibit A to this ordinance, in certain City-owned right-of-way known as Maryland Avenue in the Lower Price Hill and East Price Hill neighborhoods in order to enliven the space and to promote public awareness of the arts; and

WHEREAS, the City may designate one or more agents or contractors, including Price Hill Will (“Price Hill Will”), to carry out all or a portion of the work required to install and maintain the Artwork; and

WHEREAS, the City may also accept donations from one or more persons, including Price Hill Will, in order to offset the cost and expense associated with the installation and maintenance of the Artwork and to ensure the installation and maintenance of the Artwork shall have little or no impact on the General Fund of the City of Cincinnati; and

WHEREAS, the installation and maintenance of the Artwork shall be performed under the management of the Department of Transportation and Engineering (“DOT”), and any agents or contractors of the City, including Price Hill Will, shall comply with rules and regulations established by DOT regarding the installation and maintenance of the mural, including rules and regulations concerning its location, size, materials, and means of installation and maintenance as necessary to ensure public safety; and

WHEREAS, the City’s installation and maintenance of the Artwork is the City’s own expression, constitutes government speech, and does not signify the City’s intent to create a free speech forum; and

WHEREAS, the City will own the Artwork created under this project, will maintain complete control over the public right-of-way as necessary for public safety, and will require the artists who install and maintain the mural to waive their rights to the installation, including waiving all applicable rights to the Artwork under the federal Visual Artists Rights Act of 1990, 17 U.S.C. §§ 106A and 113(d), so as to ensure that expression made through the Artwork constitutes government speech; and

WHEREAS, the extent of maintenance and repair of the Artwork shall remain within the City's discretion, and the Artwork shall remain subject to removal by the City, in part or in whole, at any time; and

WHEREAS, DOTE has determined that the Artwork will not detract from, interfere with, or obscure official traffic control devices, will be safe, and will not unreasonably interfere with the use of Maryland Avenue by pedestrians and motorists; and

WHEREAS, the City has an interest in promoting the arts, including within the public right-of-way, notwithstanding the provisions of the Cincinnati Municipal Code that would normally prohibit such displays, when the proposed display will not negatively impact the health, safety, or welfare of residents and users of the right-of-way; and

WHEREAS, Council finds that the installation and maintenance of the Artwork in Lower Price Hill and East Price Hill will beautify the public right-of-way, enhance civic pride, and advance public health and wellness goals; and

WHEREAS, the installation and maintenance of this Artwork is consistent with the "Live" goal to "Create a more livable community" as described on page 156 of Plan Cincinnati (2012); now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the City Council hereby declares the installation and maintenance of the mural and sculpture arches identified on the attached Exhibit A ("Artwork") in certain City-owned right-of-way in the Lower Price Hill and East Price Hill neighborhoods known as Maryland Avenue to be a matter of significant public interest, and it hereby resolves to raise public awareness of the arts through the installation and maintenance of this conspicuous interactive and visual art; further that, notwithstanding the provisions of the Cincinnati Municipal Code that would normally restrict such displays within the public right-of-way, Council has determined that the installation and maintenance of the Artwork is in the interest of the public health, safety, morals, and general welfare and will not negatively impact the health, safety, morals, or welfare of residents and users of the public right-of-way.

Section 2. That the City's installation and maintenance of the Artwork is the City's own expression, constitutes government speech, and does not signify the City's intent to create a free speech forum.

Section 3. That the City Manager is hereby authorized to install and maintain the Artwork in that certain City-owned right-of-way in the Lower Price Hill and East Price Hill neighborhoods known as Maryland Avenue, which Artwork shall be substantially consistent with the design depicted on the attached Exhibit A, attached hereto and incorporated herein by reference, and shall be located in the area depicted on the same exhibit, notwithstanding any conflicting Department of Transportation and Engineering ("DOTE") rules and regulations, and any provisions of the Cincinnati Municipal Code.

Section 4. That the installation and maintenance of the Artwork shall be performed under the management of the Department of Transportation and Engineering ("DOTE"), and any agents or contractors of the City, including Price Hill Will, shall comply with rules and regulations established by DOTE regarding the installation and maintenance of the Artwork, including rules and regulations concerning its location, size, materials, and means of installation and maintenance as necessary to ensure public safety.

Section 5. That the City Manager is authorized to engage one or more agents or contractors to assist with the City's installation and maintenance of the street mural on such terms and conditions that the City Manager determines are in the best interests of the City, and any work performed by the agents and contractors so engaged by the City Manager shall be performed under the management of the City Manager or her designee, who shall have the sole authority to approve the design, location, size, materials, and means of installation and

maintenance of the mural and to establish rules and regulations for the same as necessary to ensure public safety.

Section 6. That the extent of maintenance and repair of the Artwork shall remain within the City's discretion, and the Artwork shall remain subject to removal by the City, in part or in whole, at any time.

Section 7. That the City will own the Artwork created under this project, will maintain complete control over the right-of-way as necessary for public safety, and will require the artists who install and maintain the Artwork to waive their rights to the installation, including waiving all applicable rights to the Artwork under the federal Visual Artists Rights Act of 1990, 17 U.S.C. §§ 106A and 113(d), so as to ensure that expression made through the Artwork constitutes government speech.

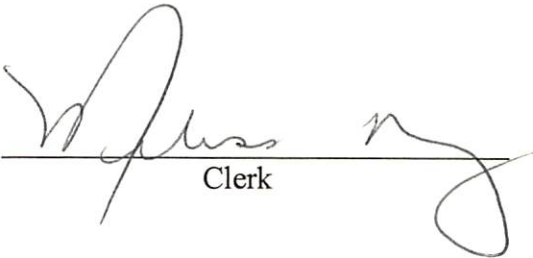
Section 8. That the City Manager is authorized to accept donations, including materials, labor, money, and in-kind services, on such terms and conditions that the City Manager determines are in the best interests of the City, in order to offset the cost and expense associated with the installation and maintenance of the Artwork, so that the installation and maintenance of the Artwork shall have little or no impact on the General Fund of the City of Cincinnati.

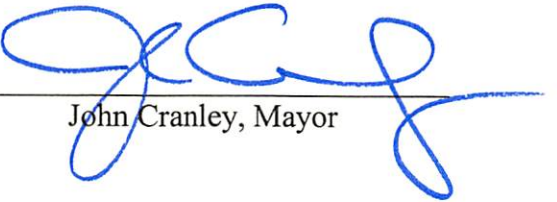
Section 9. That the proper City officials are hereby authorized to do all things necessary and proper to comply with the terms of Sections 1 through Section 8 hereof.

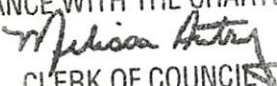
Section 10. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to allow the public art project described in this ordinance to

proceed as scheduled and to allow the corresponding benefits to the City and the neighborhoods of Lower Price Hill and East Price Hill to begin at the earliest possible time.

Passed: January 4, 2020

Attest: 
Clerk

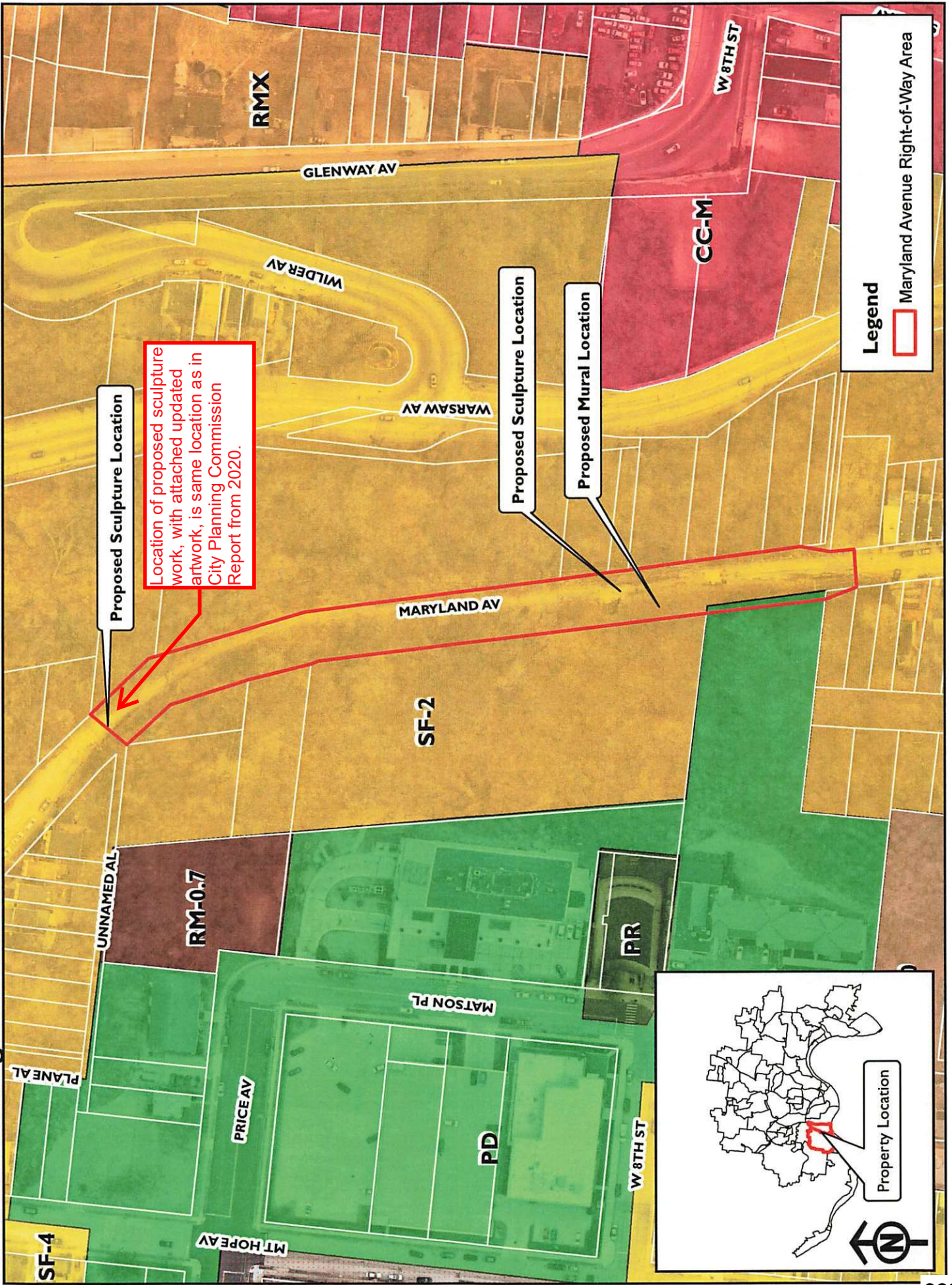

John Cranley, Mayor

I HEREBY CERTIFY THAT ORDINANCE NO. 7-2021
WAS PUBLISHED IN THE CITY BULLETIN
IN ACCORDANCE WITH THE CHARTER ON 1-19-2021

CLERK OF COUNCIL

ATTACHMENT A

April 7, 2023

Notwithstanding Ordinance for Artwork Installation in East Price Hill and Lower Price Hill





Depicted artwork and location remains same
April 7, 2023



WELDS



5X5 TUBE WELDED TO BACK OF 3 I-BEAMS

BACK VIEW



5X5 SQUARE TUBE 154" WELDED TO ALL THREE VERTICAL EXISTING VERTICAL POSTS

Updated artwork for proposed sculpture work

April 7, 2023

FRONT VIEW

