

Lick Run Greenway Corridor & South Fairmount Proposed Zone Changes

Equitable Growth and Housing Committee
Department of City Planning & Engagement
September 26, 2023

Background

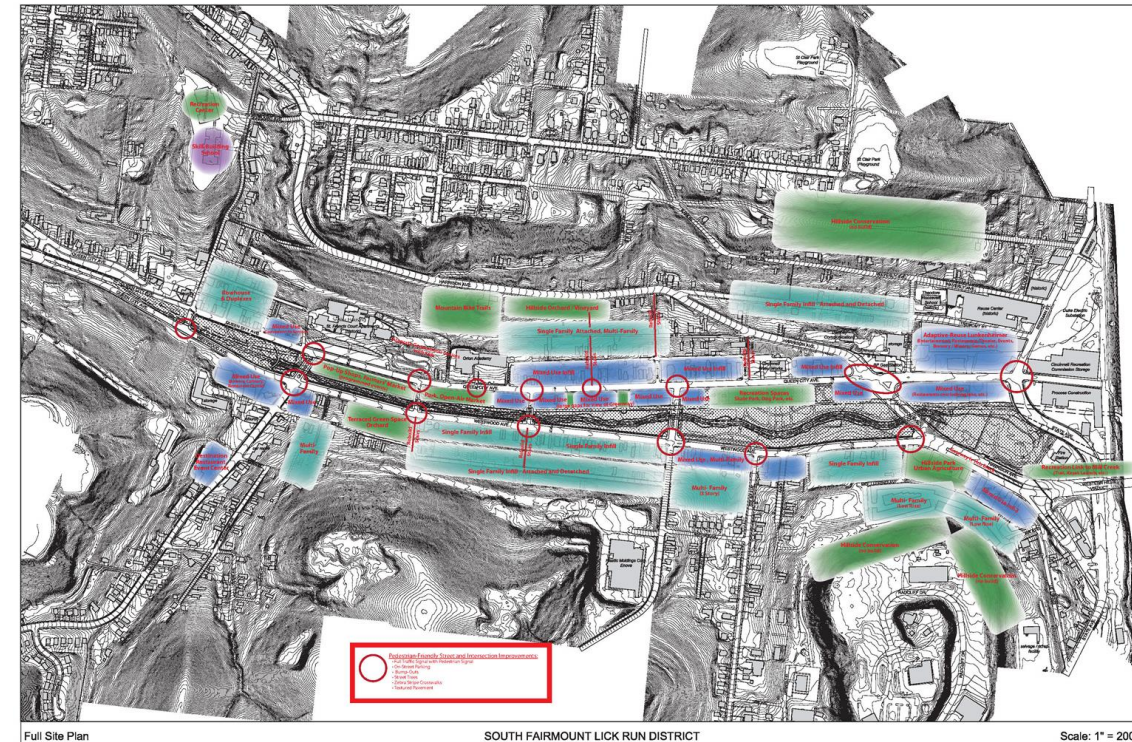
- AIA Urban Design Workshop on Lick Run District (2020)
- South Fairmount Community Council zoning study request (April 2021)
- Completion of Lick Run Greenway (May 2021)



Photo Credits: Cincinnati Enquirer, Cincinnati Magazine + Google Images

Conducting the Zoning Study

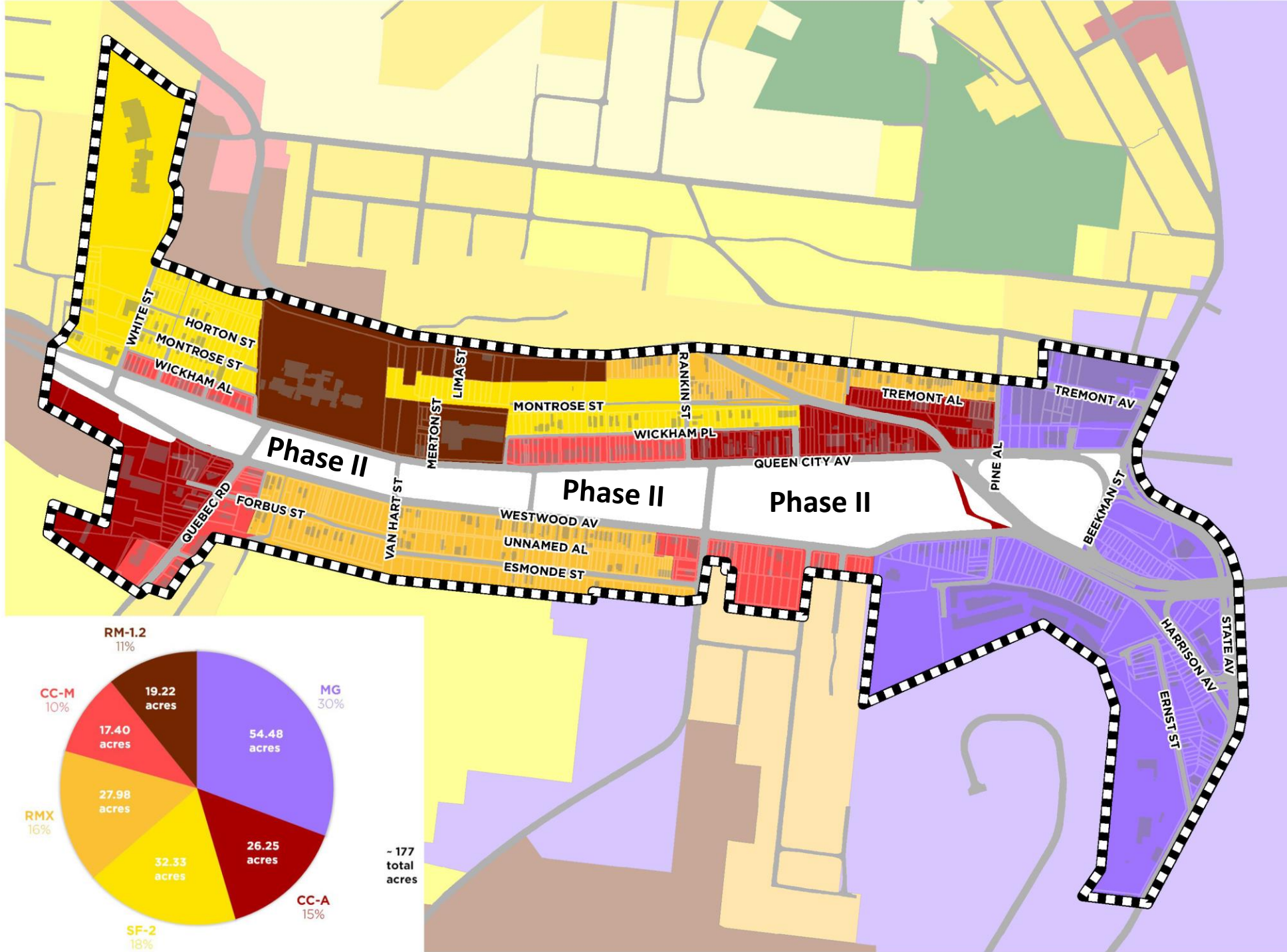
- Review of past plans
- Review of the community's workshop outcomes
- An analysis of existing zoning
- An analysis of potential zoning districts to respond to plans and community goals



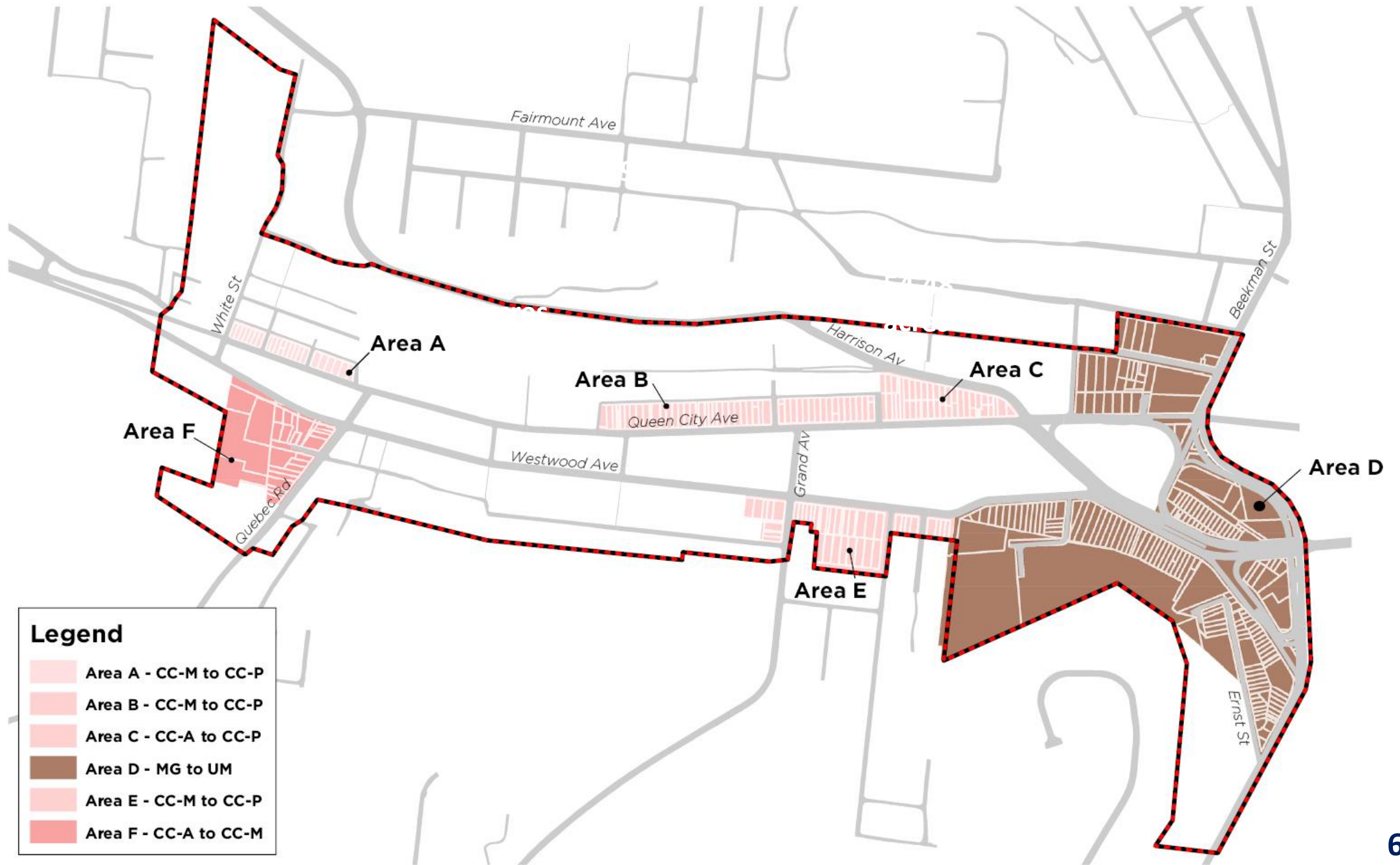
Conducting the Zoning Study



Existing Zoning Analysis Phase I



Proposed Changes



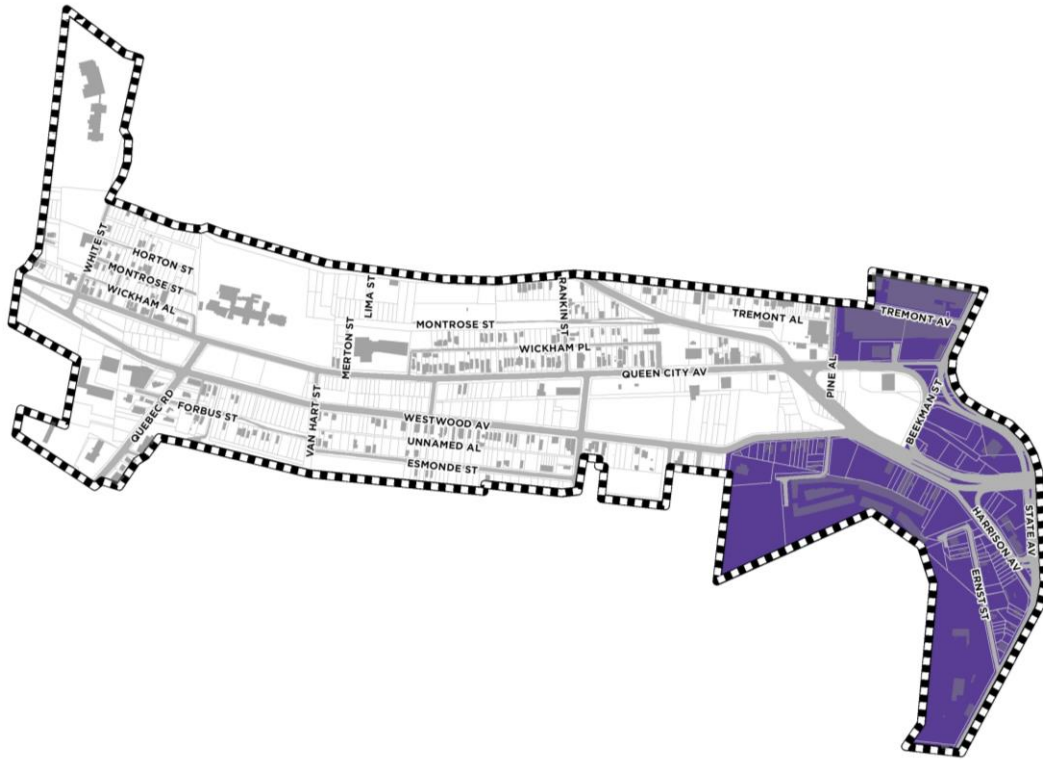
Manufacturing General



30% of Phase 1 study area



Manufacturing General



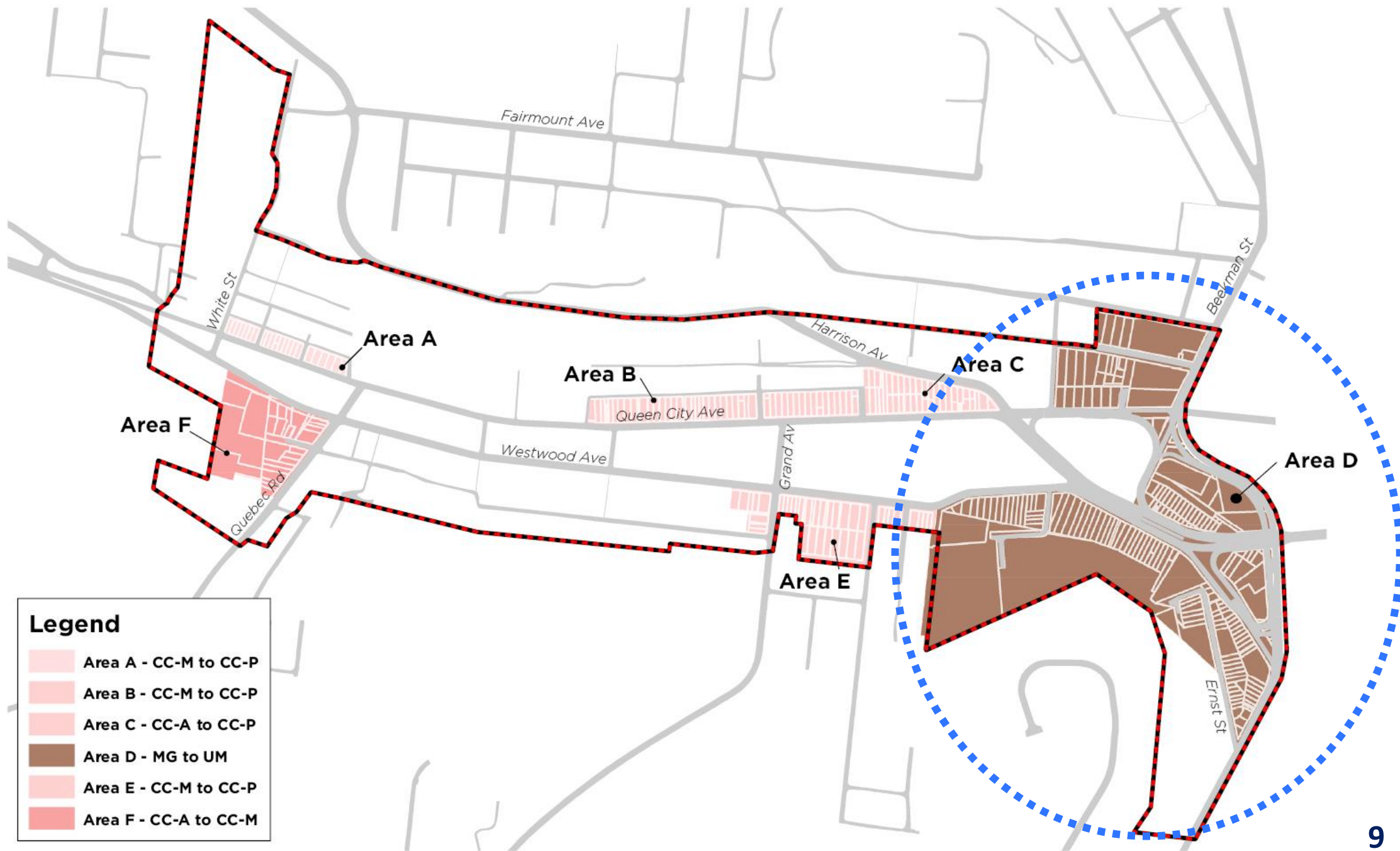
Existing Zoning: A wide variety of supporting and related commercial and manufacturing establishments

Concept Plan: Entertainment, restaurants, theater, events, brewery/winery, games

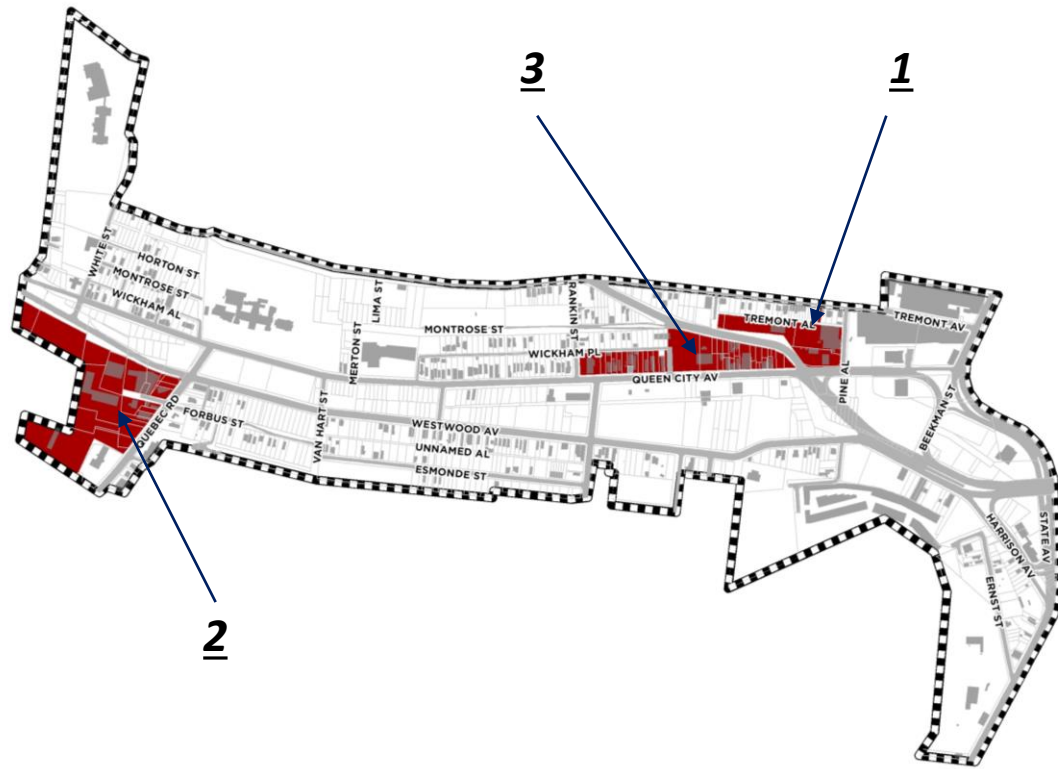
Proposed Zoning: URBAN MIX – UM

Allows: BnBs, Daycares, Single-family residential, offices, hospitals, parks and rec facilities, business services, drinking & eating establishments (drive-thrus are not permitted), retail (up to 15,000 sq. ft), and hotels.

Proposed Changes



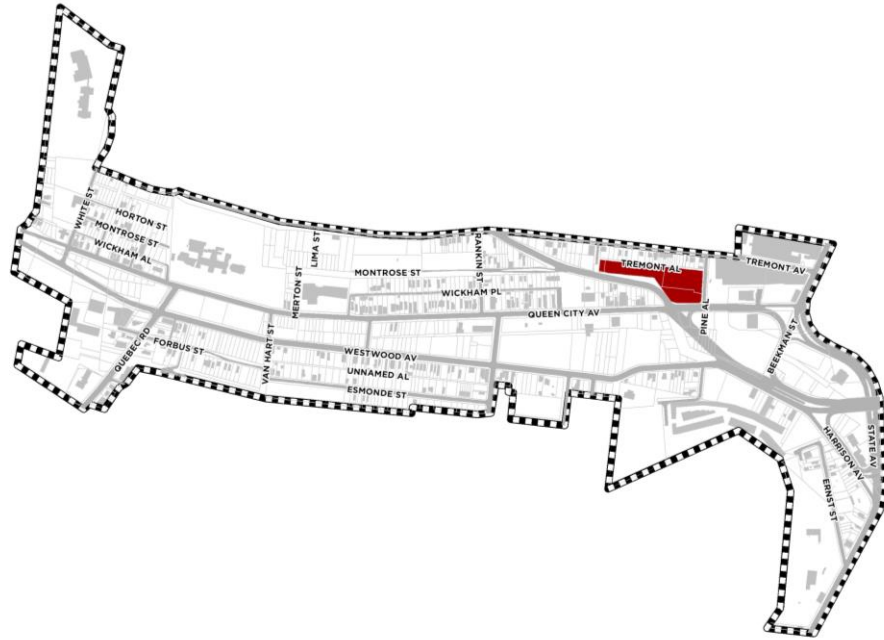
Commercial Community – Auto-oriented



15% of Phase 1 study area



Commercial Community – Auto-oriented (1)



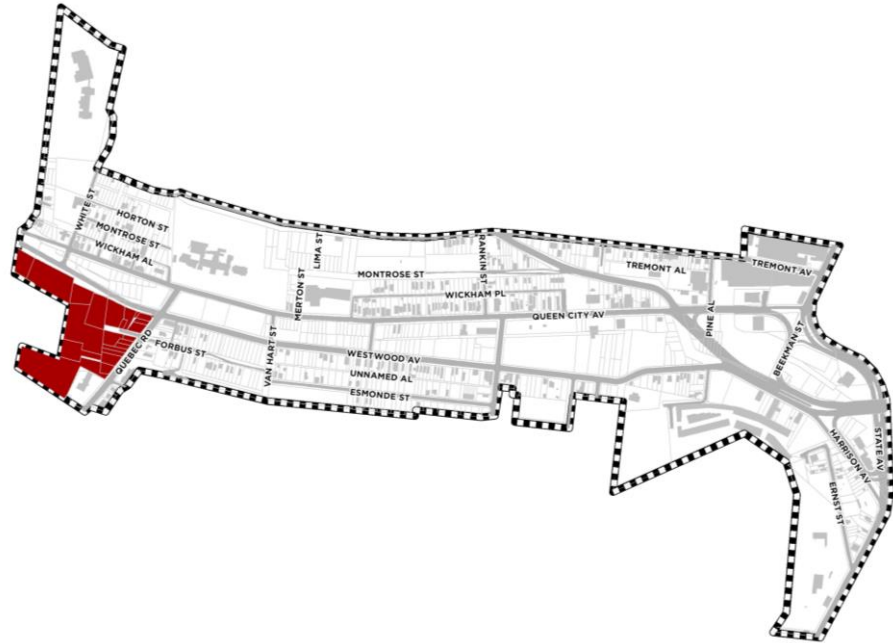
Existing Zoning: Easy automobile access; large buildings with parking in front.

Concept Plan: Nothing noted

No Proposed Zone Change: Area is not pedestrian friendly; intersection of two main roads; auto-oriented uses are appropriate here



Commercial Community – Auto-oriented (2)



Existing Zoning: Easy automobile access; large buildings with parking in front.

Concept Plan: Mixed-use, restaurant district, brewery, etc.

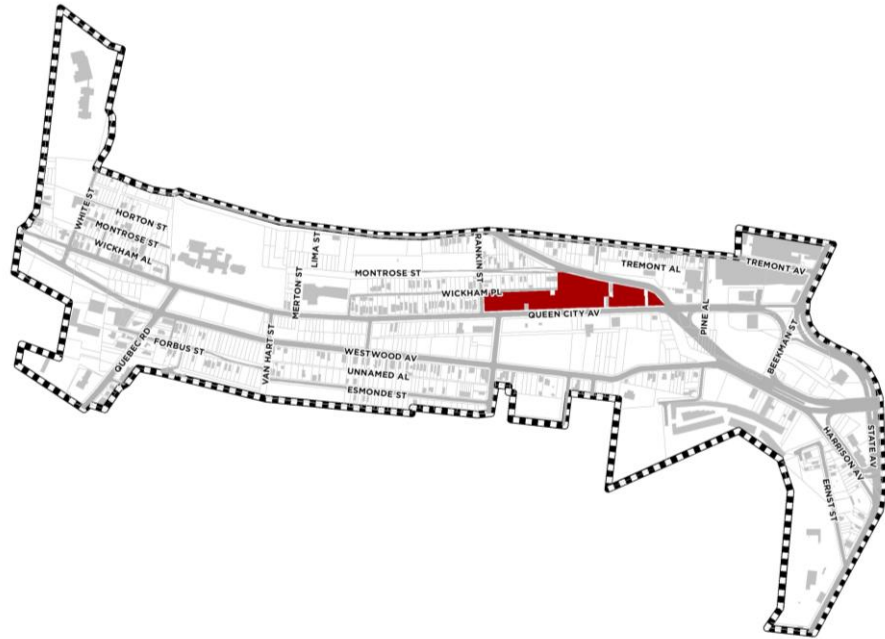
Proposed Zoning: Commercial Community – Mixed.



This district designation is intended to provide for a mix of the pedestrian and auto-oriented development. Older, pedestrian-oriented buildings may be intermixed with newer, auto-oriented uses.

Car wash and fuel sales are permitted.

Commercial Community – Auto-oriented (3)



Existing Zoning: Easy automobile access; large buildings with parking in front.

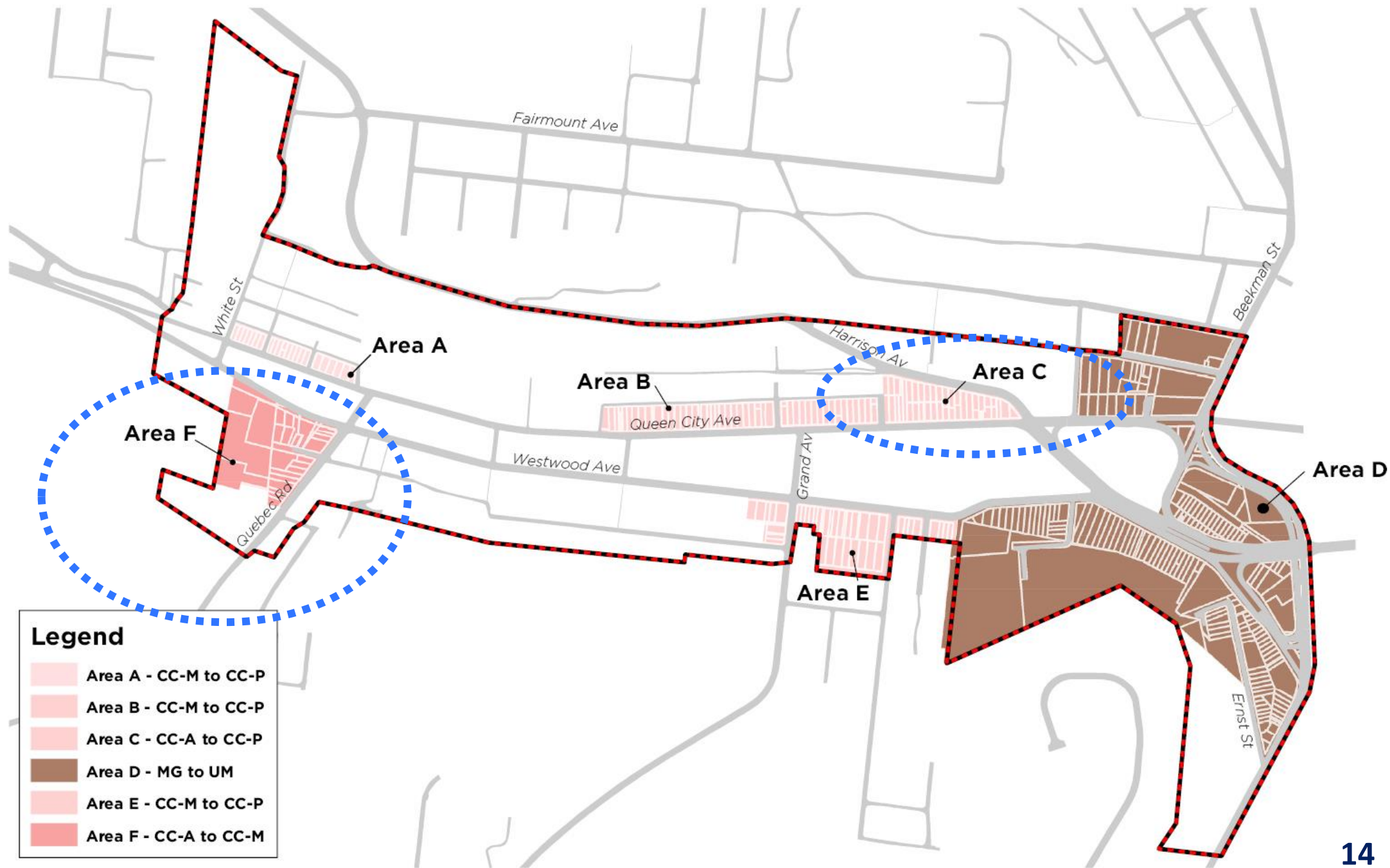
Concept Plan: Mixed-use infill

Proposed Zoning: Commercial Community – Pedestrian.

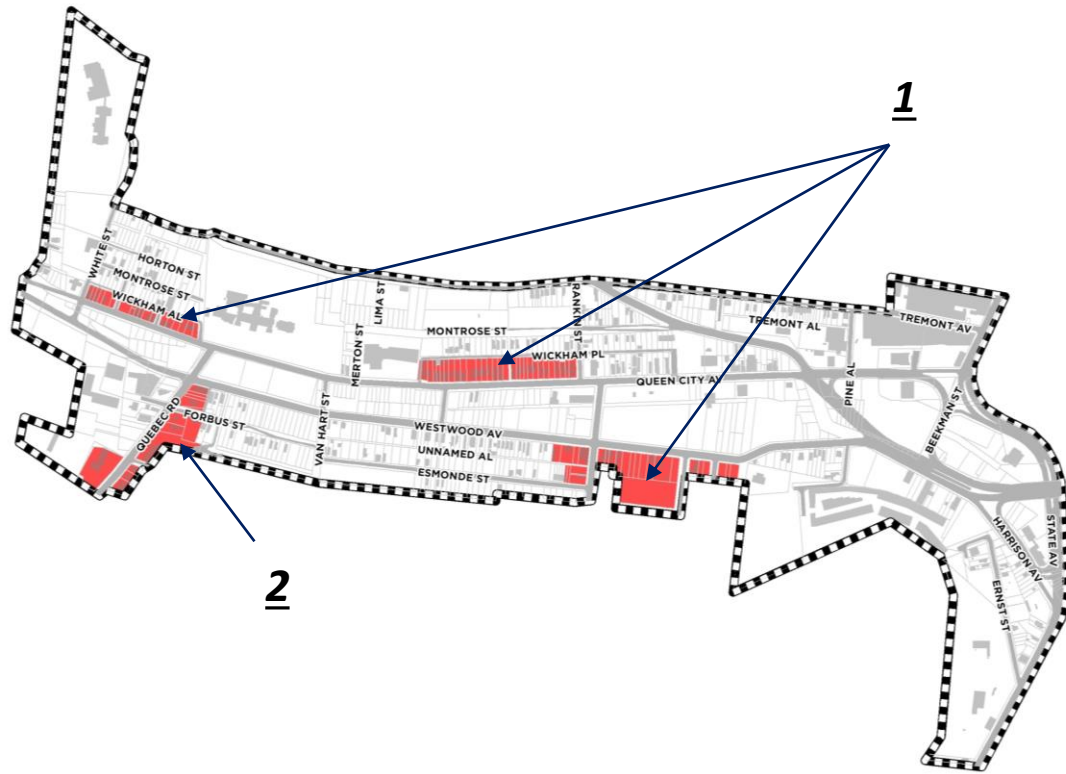


Traditional urban character where buildings are built to street line to provide close relationship with pedestrians. May apply to some areas where a few auto-oriented uses exist, but where restoring the pedestrian character is specified in a community plan.

Proposed Changes



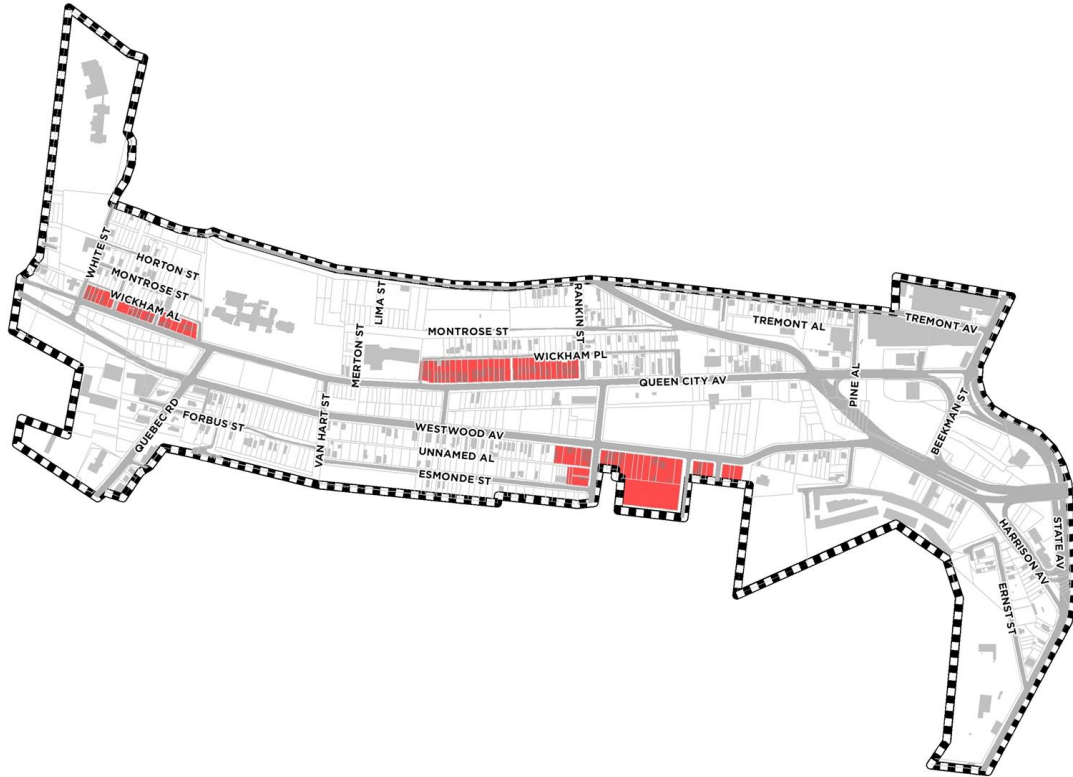
Commercial Community - Mixed



10% of Phase 1 study area



Commercial Community – Mixed (1)



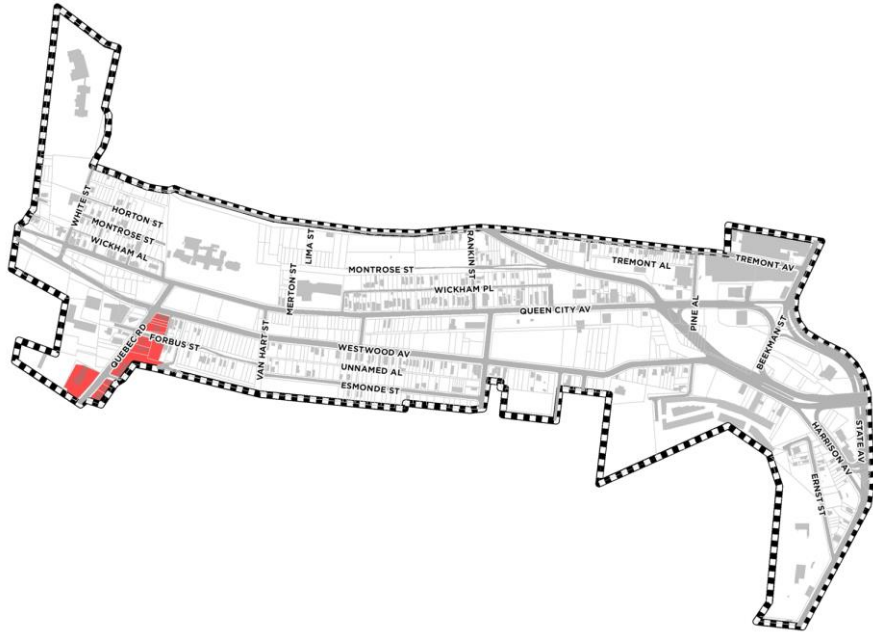
Existing Zoning: Mix of pedestrian and auto-oriented development

Concept Plan: Walkable, mixed-use, pedestrian scale

Proposed Zoning: Commercial Community – Pedestrian.

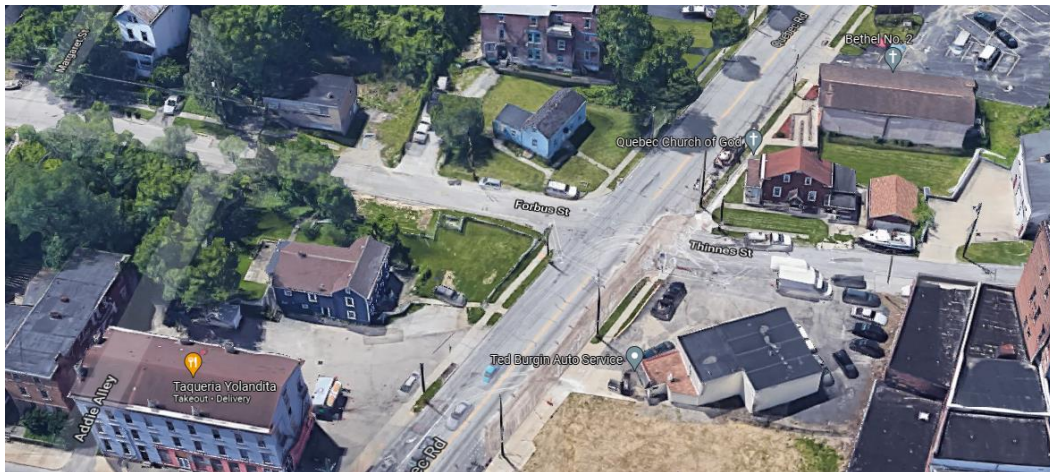
Traditional urban character where buildings are built to street line to provide close relationship with pedestrians. May apply to some areas where a few auto-oriented uses exist, but where restoring the pedestrian character is specified in a community plan.

Commercial Community – Mixed (2)



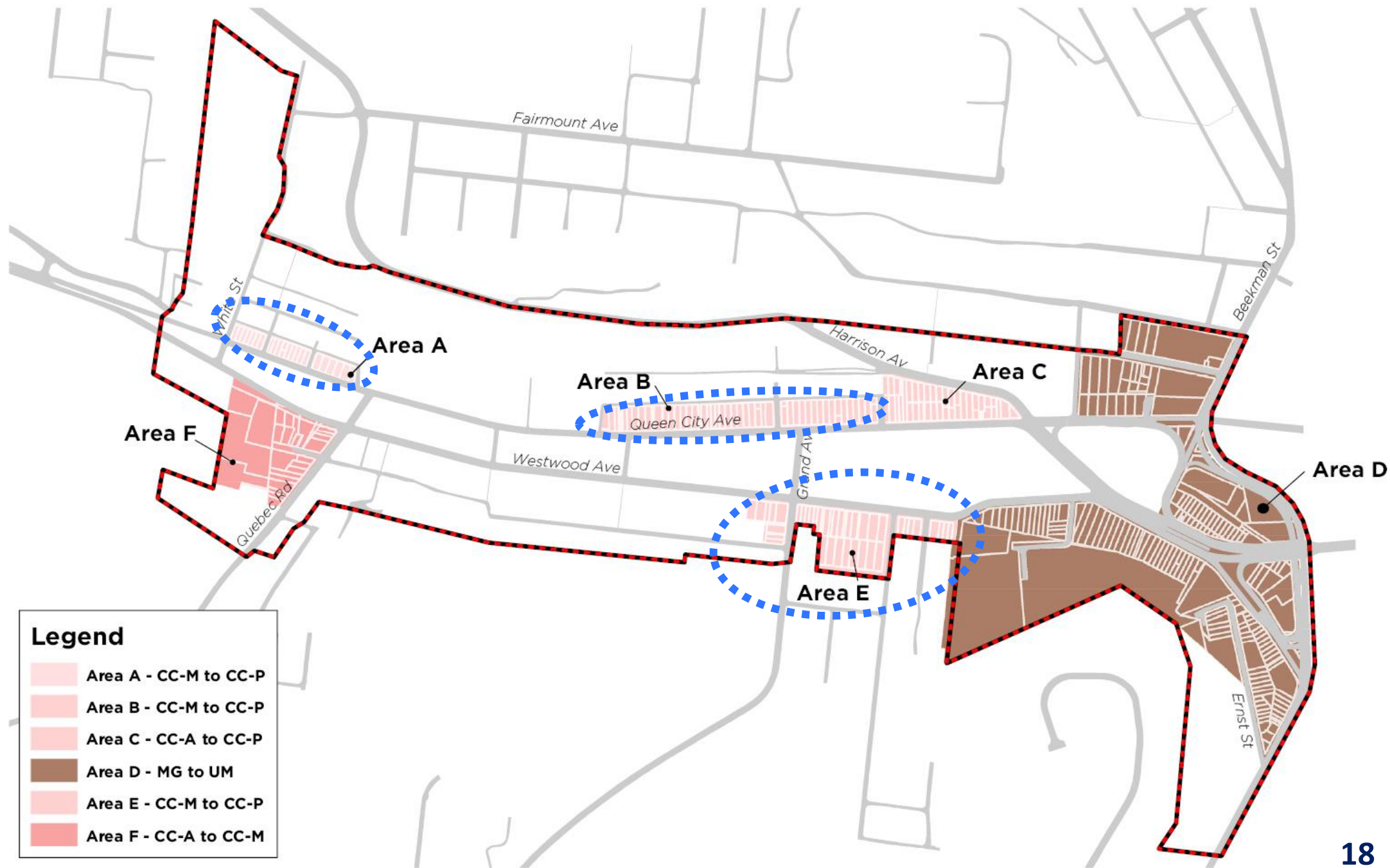
Existing Zoning: Mix of pedestrian and auto-oriented development.

Concept Plan: Mixed-use, destination restaurant, event center, brewery, etc.

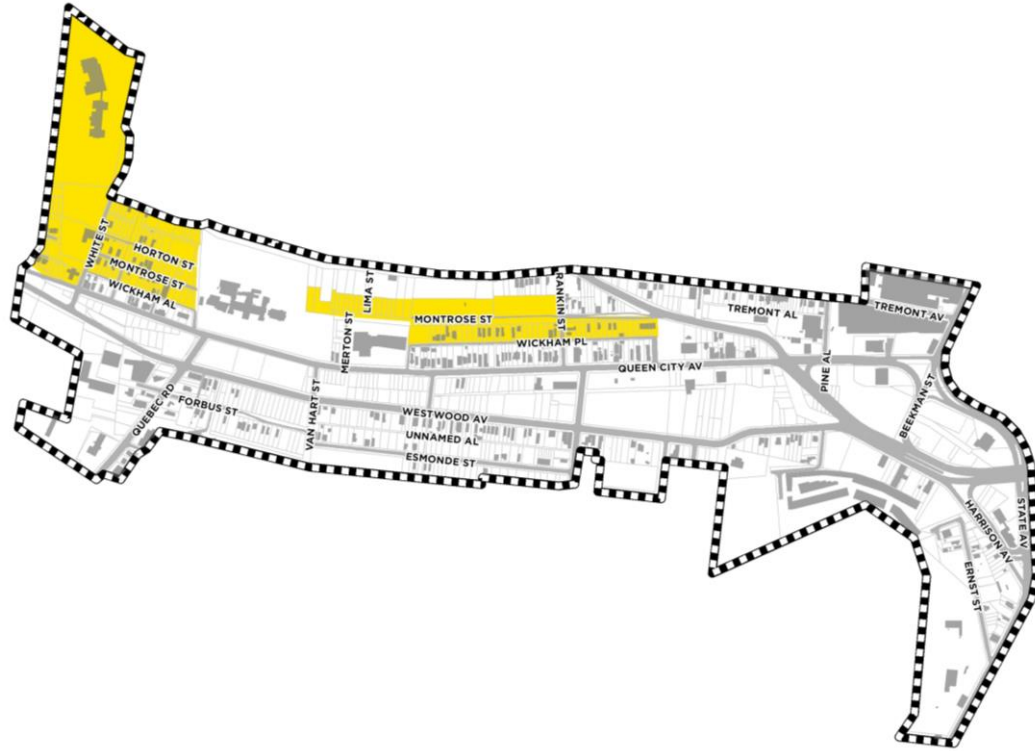


No Proposed Zone Change: Gateway area; buildings are setback a little from street; desired uses may require mix of pedestrian and auto-oriented forms.

Proposed Changes



Single-Family (SF-2)



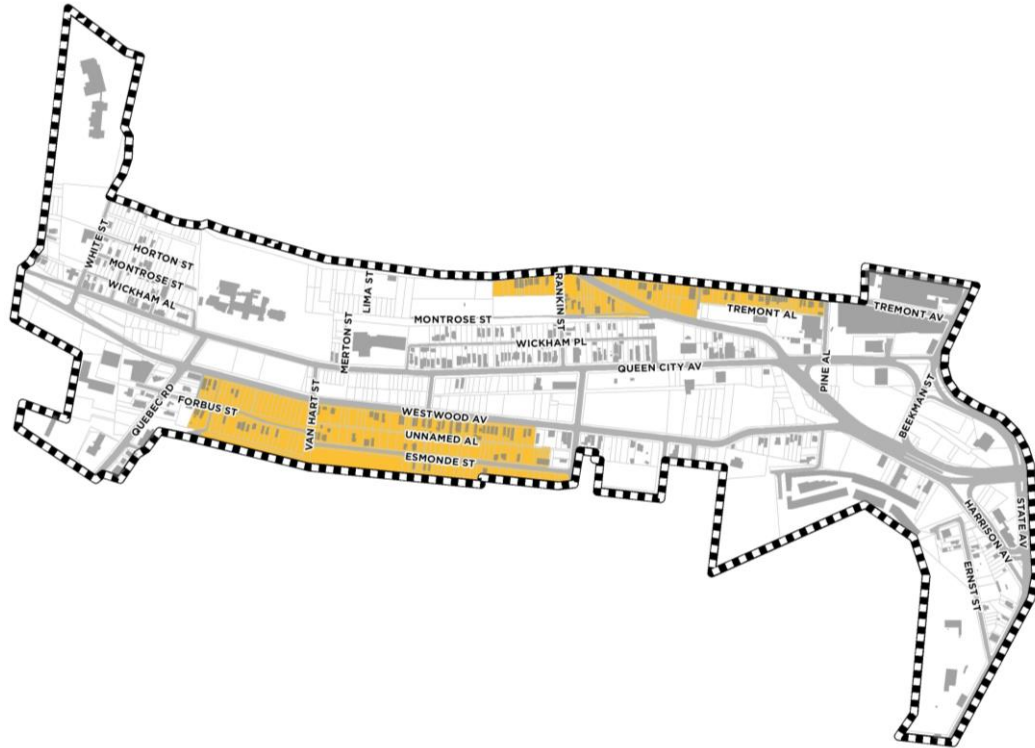
18% of Phase 1 study area

No zone change proposed.

Attached single-family is permitted. Two families and multi-family are permitted as non-conforming uses.



Residential Mixed (RMX)



16% of Phase 1 study area

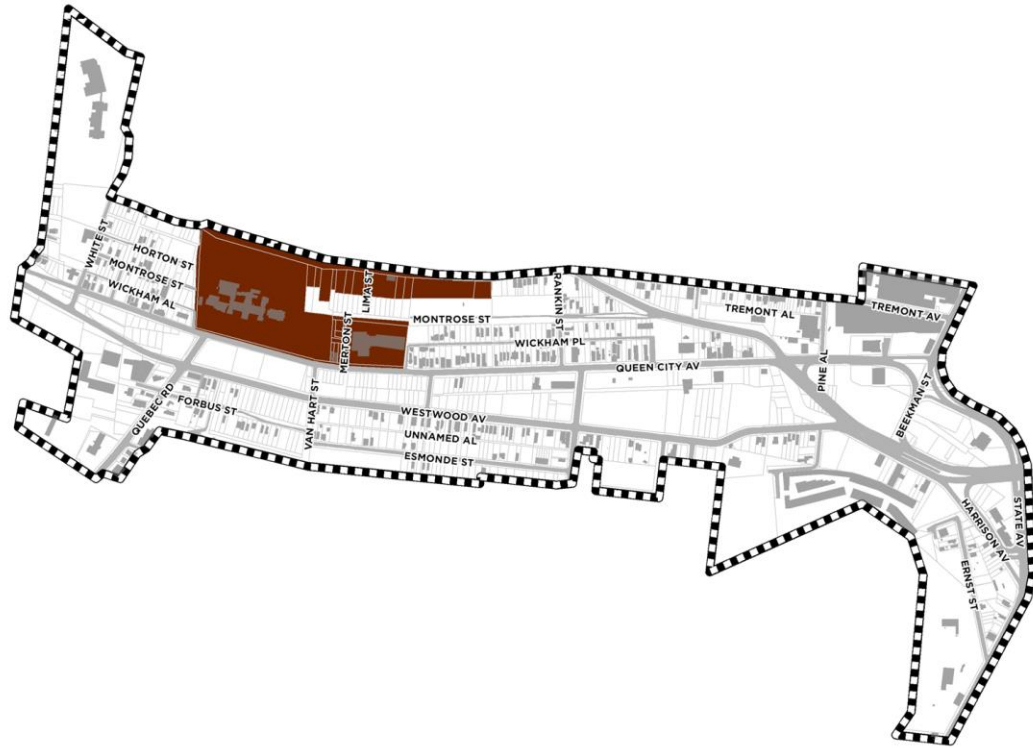
Existing Zoning: Mix of lot sizes and house types at moderate intensities.

Concept Plan: Single-family attached and detached infill.

No zone change proposed:

RMX allows single-family, in addition to low-density multi-family.

Residential Multi-family 1.2 (RM-1.2)



11% of Phase 1 study area

Existing Zoning: Moderately high multi-family residential densities.

Concept Plan: No changes to existing uses noted (currently a senior housing development and school).

No zone change proposed:

Existing zoning is appropriate for current uses; community does not want to change use or form.

Approval Process

1. **South Fairmount Community Council – 8/22 & 9/22**
2. **Public Staff Conference – 10/18/22**
3. **City Planning Commission – 3/17/23**
4. **Equitable Growth and Housing Committee and City Council – 09/26/23**

Consistency with Plans

Cincinnati Choice Neighborhoods Transformation Plan (2014)

Lick Run Watershed Master Plan (2012)

- Creating a *strong neighborhood* core for South Fairmount.
- Promoting a *walkable, mixed use business district* by improving *pedestrian safety*.
- Promoting *market driven redevelopment* along Queen City Avenue.
- Improving desirability of housing by *increasing commercial and recreational options* in the neighborhood.
- Emphasizing the Lick Run corridor and *maximizing density and retail opportunities* along the corridor

Consistent with *Plan Cincinnati (2012)*

CINCINNATI
CHOICE NEIGHBORHOODS
TRANSFORMATION PLAN:
A COMPREHENSIVE COMMUNITY
DEVELOPMENT STRATEGY FOR ENGLISH
WOODS, NORTH FAIRMOUNT, AND
SOUTH FAIRMOUNT

FINAL PLAN

November 18, 2013
Updated March 10, 2014

Prepared by the Community Building Institute with support from
the Cincinnati Metropolitan Housing Authority, Michaels Development Company, Model Group, and WRT Design



Conclusions

Proposed zone changes would:

- Be consistent with the existing surrounding zoning districts and built environment with regards to allowable uses, building scale, massing and adjacent zoning districts.
- Consistent with *Cincinnati Choice Neighborhoods Transformation Plan (2014)* and the *Lick Run Watershed Master Plan (2012)*.
- The proposed zone changes are consistent with four of the Initiative Areas and the Geographic Principle to “Create new centers of activity where appropriate” of *Plan Cincinnati (2012)*.
- This has been a community-driven initiative with buy-in from a majority of property owners within the proposed zone change.

CPC Recommendation

City Planning Commission recommends City Council to take the following action:

APPROVE the proposed zone changes along and adjacent to the Lick Run Greenway Corridor located in South Fairmount as identified in Exhibit F and to exclude the property located at 1367 Ernst Avenue from the zone changes.