

Honorable City Planning Commission
Cincinnati, Ohio

SUBJECT: A report and recommendation on a proposed Notwithstanding Ordinance to permit the development of a two-family dwelling at 932 McPherson Avenue in East Price Hill.

GENERAL INFORMATION:

Location: 932 McPherson Avenue, Cincinnati, OH 45205

Petitioner: Vice Mayor Christopher Smitherman
801 Plum Street, Cincinnati 45202

Owner: BLOC Ministries
911 West 8th Street, Cincinnati 45203

EXHIBITS:

Provided in addition to this report are the following exhibits:

- Exhibit A Location Map
- Exhibit B Proposed Notwithstanding Ordinance
- Exhibit C Renovation Plans

BACKGROUND & PROPOSED NOTWITHSTANDING ORDINANCE:

The petitioner, Vice Mayor Christopher Smitherman, requests a Notwithstanding Ordinance to permit the development of a two-family dwelling at 932 McPherson Avenue in East Price Hill. The subject property is zoned Single-family (SF-2) and located a block south of the East Price Hill Neighborhood Business District along Warsaw Avenue. The property owner, BLOC Ministries (BLOC), purchased the property and the existing vacant building on the property in 2019 from the Hamilton County Land Reutilization Corporation. BLOC Ministries is a faith-based non-profit organization that focuses on healthy personal relationships and activities that help to build hope, purpose, and virtual life skills for students, families, and adults to thrive and succeed despite difficult circumstances. The organization has been active in the neighborhood for over 24 years.

BLOC proposes to renovate the interior of the existing building into a two-family dwelling to serve seven graduates of BLOC's recovery program. The existing building footprint is not proposed to be changed. Since the property is located in a SF-2 zoning district which does not permit two-family dwellings, a Notwithstanding Ordinance is requested to permit the renovation of the existing building into a two-family dwelling. The requested permission is notwithstanding the use limitations in Chapter 1403, "Single-Family Districts," and any other applicable zoning regulations that would prevent the property's development and use as a two-family dwelling, including, but not limited to, the off-street parking requirements set forth in Section 1425-19, "Off-Street Parking and Loading Requirements," of the Cincinnati Zoning Code.

ANALYSIS:

The Department of City Planning and Engagement has generally taken a position to not support Notwithstanding Ordinances for land use decisions because they do not comply with the Cincinnati Zoning Code that the department is charged with developing and enforcing. However, Cincinnati Municipal Code Section 111-5 establishes a list of factors by which a City Council committee may

consider a notwithstanding ordinance application. As such, the City Planning Commission shall consider the following when making a recommendation on notwithstanding ordinances to City Council:

- 1) Whether the proposed application will not have an adverse effect on the character of the area or the public health, safety and welfare;

The proposed use and rehabilitation of the building at 932 McPherson Avenue will not have an adverse effect on the area. There are no proposed changes to the existing building footprint and the use will remain residential which is consistent with the surrounding neighborhood.

- 2) Whether the proposed application is consistent with the purposes of this code and the zoning district where the subject property is located including but not limited to:

- (a) Providing a guide for the physical development of the city.

Not applicable to this application.

- (b) Preserving the character and quality of residential neighborhoods.

The proposed Notwithstanding Ordinance would permit the renovation of an existing single-family dwelling into a two-family dwelling which is consistent with the surrounding neighborhood. The proposed renovation will be an interior renovation and the existing structure will not be changed substantially. Additionally, the proposed renovation will return a currently vacant property to a productive, residential use.

- (c) Fostering convenient, harmonious and workable relationships among land uses.

The land uses surrounding the subject property are predominantly residential, including single-, two-, and multi-family dwellings, and commercial uses. The proposed two-family dwelling is consistent with this land use pattern.

- (d) Achieving the arrangement of land uses described in the comprehensive plan for the development of the city as may have been adopted by council.

The proposed Notwithstanding Ordinance is consistent with Plan Cincinnati (2012) (see "Consistency with Plans" for further analysis).

- (e) Promoting the economic stability of existing land uses and protecting them from intrusions by inharmonious or harmful land uses.

The proposed two-family dwelling is consistent with the residential land uses in the area and will support the nearby commercial uses in the East Price Hill Neighborhood Business District along Warsaw Avenue which is one block north of the subject property.

- (f) Providing opportunities for economic development and new housing for all segments of the community.

The proposed two-family dwelling will provide safe and quality housing for seven graduates of BLOC's recovery program.

- (g) Creating pedestrian-friendly environments to reduce reliance on the automobile for travel.
The subject property is located within 0.12 miles walking distance of the East Price Hill Neighborhood Business District along Warsaw Avenue. The Route 33 bus runs along Warsaw Avenue with bus stops located at the intersection of McPherson Avenue and Warsaw Avenue. Additionally, the subject property is less than 500 feet from a full-service grocery store.
- (h) Preventing excessive population densities and overcrowding of land or buildings.
The proposed Notwithstanding Ordinance would permit a two-family dwelling to house seven individuals. Section 1401-01-F2 states that up to four persons unrelated to each other by blood, marriage, or legal adoption, may live together as a single housekeeping unit.
- (i) Ensuring the provision of adequate open space for light, air and fire safety.
The proposed Notwithstanding Ordinance does not provide a variance from any other laws of the City of Cincinnati. The owner would need to abide by the building code and fire regulations outlined in the Cincinnati Municipal Code.
- (j) Ensuring that development is compatible with the environment, particularly on the hillsides and along the riverfront.
Not applicable to this application.
- (k) Promoting the conservation, protection, restoration and enhancement of the historic resources of the city.
The subject property is not located within a historic district. The proposed Notwithstanding Ordinance would permit the rehabilitation of an existing building, preserving the built character on the street.
- (l) Lessening congestion in the public streets by providing for off-street parking and loading areas for commercial vehicles.
Section 1425-19, Off-Street Parking and Loading Requirements, requires one off-street parking space per unit in a SF-2 zoning district. The proposal does not provide any off-street parking, and thus seeks relief through the Notwithstanding Ordinance. The subject property one block away from the Route 33 bus which connects East Price Hill with Downtown to the east and Westwood to the northwest.
- (m) Providing effective signage that is compatible with the surrounding urban environment.
Proposed signage for the building was not submitted as part of the application. However, a condition of the proposed Notwithstanding Ordinance is that the property shall remain subject to all other provisions of the Cincinnati Municipal Code, including the SF-2, "Single-family," zoning district, including any signage regulations.
- (n) Setting standards by which a nonconforming use may continue to function and to provide for the adaptive reuse of nonconforming buildings.

Not applicable to this application.

PUBLIC COMMENT AND NOTIFICATION:

Notice of the December 17, 2021 City Planning Commission was sent to property owners within a 400-foot radius of the subject property, as well as the East Price Hill Improvement Association and Price Hill Will, on December 2, 2021. BLOC Ministries, an organization that has been active in the neighborhood for over 24 years, has discussed the proposed project with neighbors. They have not received any concerns. Staff has not received any additional correspondence to-date.

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012)

The proposed Notwithstanding Ordinance is consistent with *Plan Cincinnati* in the Live Initiative Area, specifically the Goal to “Provide a full spectrum of housing options and improve housing quality and affordability” (p. 164). Within that Goal, the proposal is consistent with two of the Strategies: “Provide quality healthy housing for all income levels” (p. 165) and “Offer housing options of varied sizes and types for residents at all stages of life” (p. 169). The proposed renovation will provide housing for graduates of BLOC’s recovery program. Additionally, it is consistent with the Guiding Geographic Principle to “Focus revitalization on existing centers of activity” (p. 86). The subject property is located within the compact walkable quarter mile of the East Price Hill Neighborhood Business District.

Price Hill Plan (2014)

The proposed Notwithstanding Ordinance is consistent with the Future Land Use map (p. 16) in the *Price Hill Plan (2015)*, which calls for residential uses with a transition to mixed-use along McPherson Avenue. It is also consistent with an Action Step within the Housing section of the plan which states, “Create desirable new and rehabbed homes that provide an attractive housing stock to meet a range of market demands” (p. 21).

CONCLUSIONS:

The proposed Notwithstanding Ordinance would permit a two-family dwelling use in a SF-2 zoning district at 932 McPherson Avenue and waive all associated parking requirements. The requested relief through the Notwithstanding Ordinance has been found to be reasonable since the proposed Notwithstanding Ordinance:

- Complements surrounding land uses
- Enhances the quality and character of the area by rehabilitating an existing vacant building that will fit within the neighborhood context
- Provides safe and quality housing for seven individuals within proximity of a bus route and Neighborhood Business District
- Is consistent with *Plan Cincinnati (2012)* and the *Price Hill Plan (2014)*

However, the Department of City Planning and Engagement has generally taken the position to not support Notwithstanding Ordinances for land use decisions because they do not comply with the zoning laws that the department is charged with developing and enforcing.

RECOMMENDATION:

The staff of the Department of City Planning and Engagement recommends that the City Planning Commission take the following action:

DENY the proposed Notwithstanding Ordinance to permit the development of a two-family dwelling at 932 McPherson Avenue in East Price Hill.

- 1) The Department of City Planning and Engagement cannot support any Notwithstanding Ordinances for land use decisions because the ordinances do not comply with the zoning laws that the Department of City Planning and Engagement is charged with developing and enforcing.

If the City Planning Commission decides to recommend approval of the Notwithstanding Ordinance, the City Planning Commission should consider the following conditions:

- 1) The development and use of 932 McPherson Avenue as a two-family dwelling must be developed as per the plans on file with the Department of Buildings and Inspections under permit no. 2021P07766.
- 2) The Notwithstanding Ordinance does not provide a variance from any other laws of the City of Cincinnati, and the properties shall remain subject to all other provisions of the Cincinnati Municipal Code, SF-2, "Single-family," zoning district.

Respectfully submitted:



Samantha McLean, AICP, Senior City Planner
Department of City Planning and Engagement

Approved:



Katherine Keough-Jurs, AICP, Director
Department of City Planning and Engagement

Proposed Notwithstanding Ordinance at 932 McPherson Ave in East Price Hill

EXHIBIT A

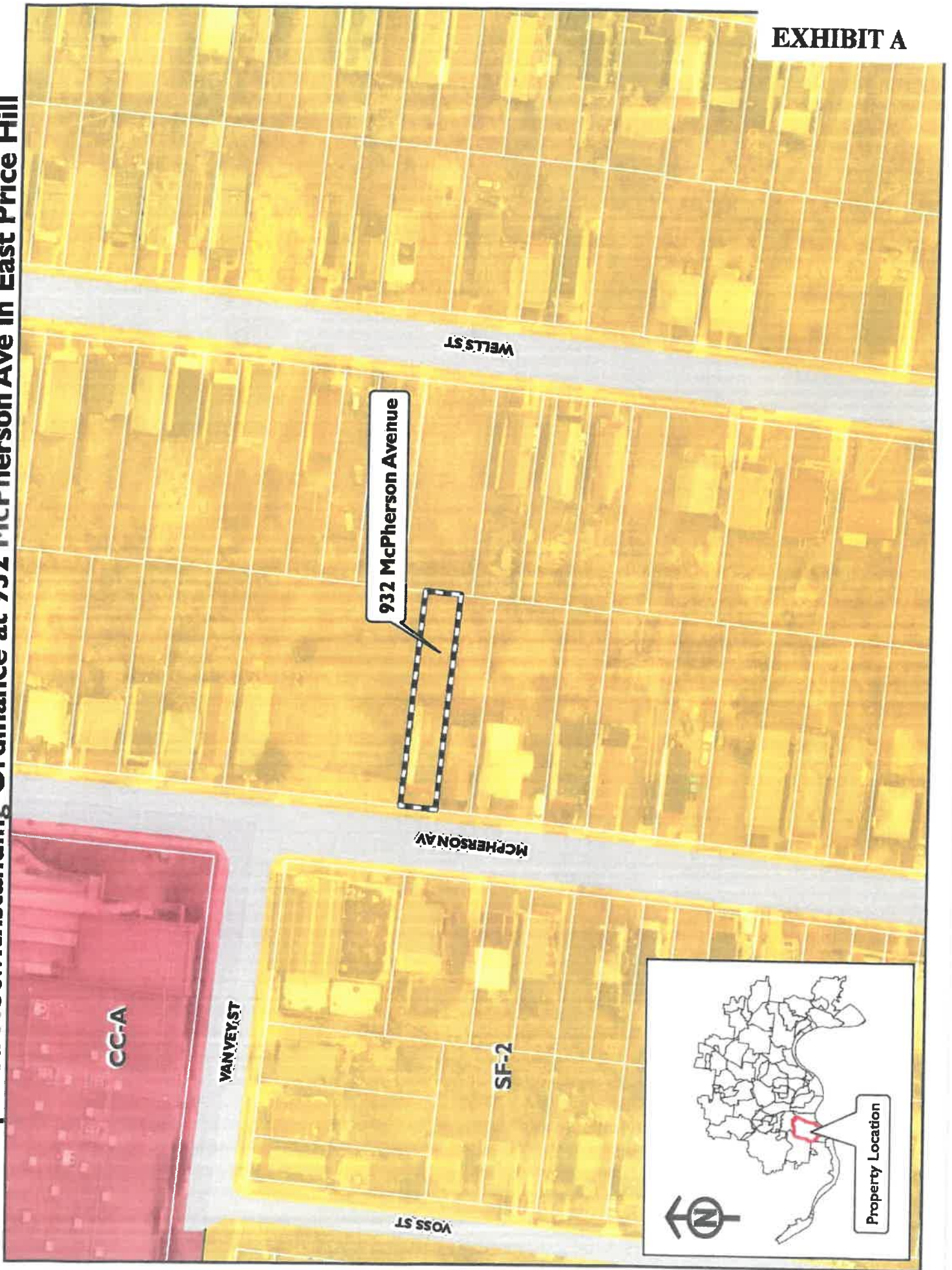


EXHIBIT B



Date: November 23, 2021

AWG/EESW

To: Vice Mayor Christopher Smitherman
From: Andrew Garth, City Solicitor
Subject: Ordinance – 932 McPherson Avenue

Transmitted herewith is an ordinance captioned as follows:

AUTHORIZING the real property located at 932 McPherson Avenue in the East Price Hill neighborhood to be developed and used as a two-family dwelling **NOTWITHSTANDING** the use limitations contained in Chapter 1403, "Single-Family Districts," of the Cincinnati Municipal Code and any other applicable zoning regulations that would prevent the property's development and use as a two-family dwelling.

AWG/MEH/(Ink)
Attachment
35360

AWG/ESW

City of Cincinnati
An Ordinance No. _____

MEH
- 2021

AUTHORIZING the real property located at 932 McPherson Avenue in the East Price Hill neighborhood to be developed and used as a two-family dwelling **NOTWITHSTANDING** the use limitations contained in Chapter 1403, "Single-Family Districts," of the Cincinnati Municipal Code and any other applicable zoning regulations that would prevent the property's development and use as a two-family dwelling.

WHEREAS, BLOC Ministries, Inc. ("BLOC") owns the real property located at 932 McPherson Avenue in the East Price Hill neighborhood ("Property"), which it purchased from the Hamilton County Land Reutilization Corporation in 2019; and

WHEREAS, the Property is located in the SF-2, "Single-Family," zoning district, and it consists of a single parcel containing a vacant residential structure; and

WHEREAS, BLOC wishes to develop the Property for use as a two-family dwelling to serve graduates of its recovery program ("Project"), but two-family dwellings are not permitted in the SF-2, "Single-Family," zoning district; and

WHEREAS, the Project is compatible with the surrounding land uses in the vicinity of the Property, which land uses include other two-family dwellings, multi-family dwellings, and institutional and commercial uses; and

WHEREAS, reasonable deviations from zoning code provisions that would otherwise prevent the Property's use as a two-family dwelling will benefit the surrounding area by returning a vacant property to productive use and by providing safe and attractive housing to support graduates of BLOC's recovery program; and

WHEREAS, the City Planning Commission, at its regularly scheduled meeting on December 17, 2021, upon considering the factors set forth in Cincinnati Municipal Code ("CMC") Section 111-5, recommended the adoption of a notwithstanding ordinance authorizing the Project subject to certain conditions; and

WHEREAS, a legislative variance authorizing the Project is consistent with *Plan Cincinnati* (2012), specifically its Sustain and Live Initiative Areas that respectively seek to "[b]ecome a healthier Cincinnati" (page 81) and to "provide quality healthy housing for all income levels" (page 165); and

WHEREAS, the Council finds that the Project will enhance the quality and character of the area by rehabilitating an existing vacant building that will fit within the context of McPherson Avenue and the East Price Hill neighborhood; and

WHEREAS, the Council additionally finds that permitting the Project will not have an adverse effect on the character of the area or the public health, safety, and welfare, and the Project is in the best interests of the City and the public's health, safety, morals, and general welfare; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That, following its own independent review and consideration, the City Council incorporates the foregoing recitals as if fully rewritten herein, and it hereby confirms that the legislative variance criteria set forth in Section 111-5 of the Cincinnati Municipal Code are satisfied in all respects.

Section 2. That the Council specifically finds that a legislative variance authorizing the development and use of the property located at 932 McPherson Avenue ("Property") in the East Price Hill neighborhood as a two-family dwelling, which Property is depicted on the map attached hereto as Exhibit A and incorporated herein by reference, will not have an adverse effect on the character of the surrounding area or the public's health, safety, and general welfare, and that it is consistent with the purposes of the Cincinnati Municipal Code and the zoning district within which the Property is located.

Section 3. That the Council authorizes the Property's development and use as a two-family dwelling, subject to the terms and conditions set forth in this ordinance. This authorization is granted notwithstanding the use limitations contained in Chapter 1403, "Single-Family Districts," of the Cincinnati Municipal Code, and any other applicable zoning regulations that would prevent the Property's development and use as a two-family dwelling, including, but not limited to, the off-street parking requirements set forth in Section 1425-19, "Off-Street Parking and Loading Requirements," of the Cincinnati Municipal Code.

Section 4. That the Council authorizes the Property's development and use as a two-family dwelling on the condition that the Property is developed as per the plans on file with the Department of Buildings and Inspections under permit no. 2021P07766.

Section 5. That this ordinance does not provide a variance from any other laws of the City of Cincinnati, and the Property shall remain subject to all other provisions of the Cincinnati Municipal Code and the SF-2, "Single-Family," zoning district.

Section 6. That the City Manager and the appropriate City officials are authorized to take all necessary and proper actions to implement this ordinance, including by issuing building permits and related approvals provided they conform to applicable building codes, housing codes, accessibility laws, and other applicable laws, rules, and regulations.

Section 7. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

GENERAL INFORMATION

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

- 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

- 3. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

- 4. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

CONCRETE

- 1. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

MASONRY

- 1. ALL MASONRY SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

STEEL

- 1. ALL STEEL SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

WOOD

- 1. ALL WOOD SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

MECHANICAL / ELECTRICAL

- 1. ALL MECHANICAL AND ELECTRICAL WORK SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

THERMAL AND MOISTURE PROTECTION

- 1. ALL THERMAL AND MOISTURE PROTECTION SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

ENERGY CALCULATIONS

- 1. ALL ENERGY CALCULATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

GENERAL NOTES

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

PLATE architecture + design 1810 CAMPBELL AVE, SUITE 100 | CINCINNATI, OH 45202 WWW.PLATDESIGN.COM | T: 513.871.1830 F: 513.871.1839

PLATE 10088 4517 11th Street Cincinnati, OH 45202

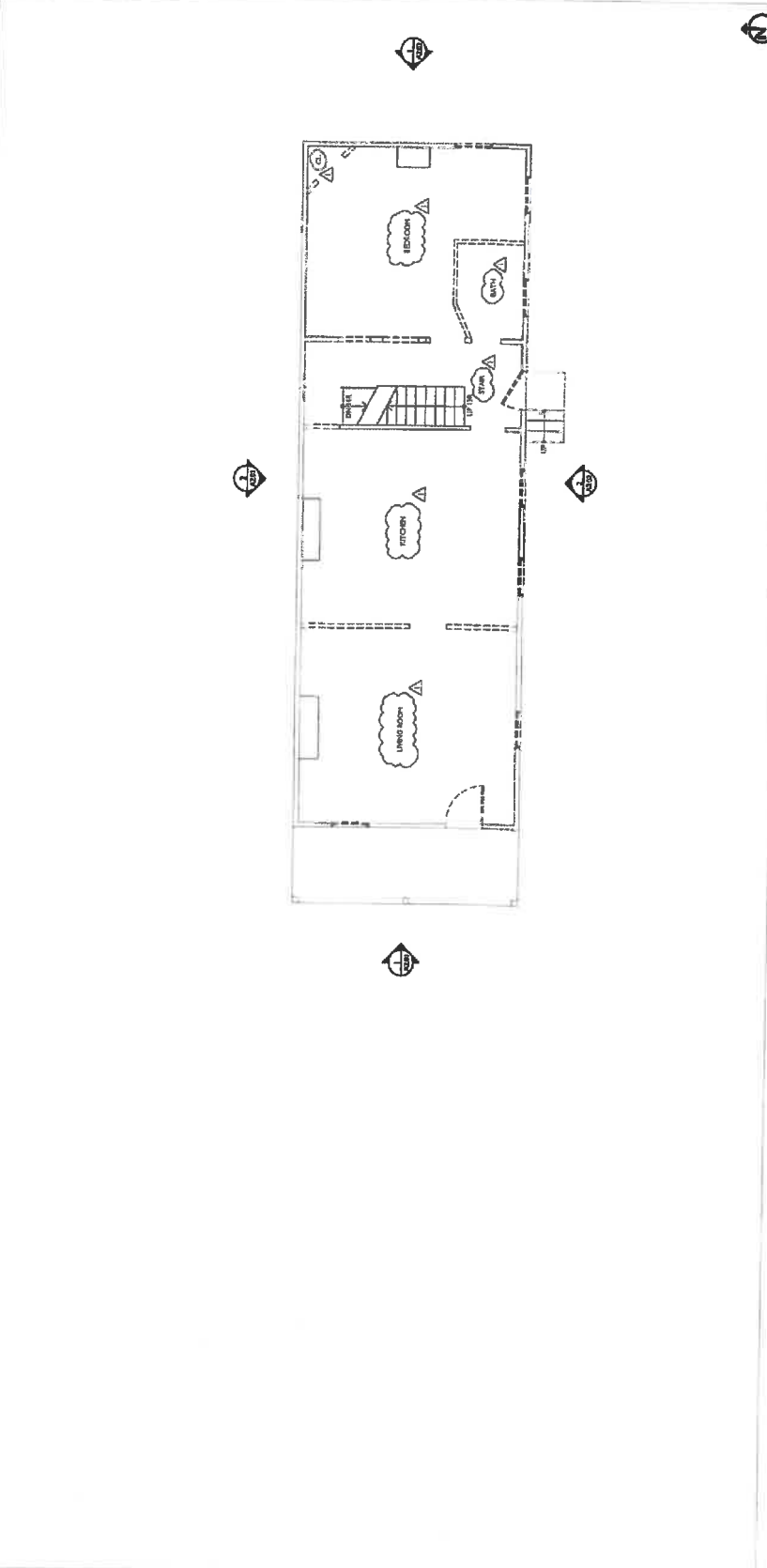
BLOC MINISTRIES INTERIOR RENOVATION 922 MC PHERSON CINCINNATI, OH, 45205

A0.01 GENERAL NOTES - RESIDENTIAL PROJECTS



Project Name: 932 McPherson
 Date: 10/1/2019
 Scale: 1/8" = 1'-0"
 Drawing No: 101.01

- GENERAL NOTES:**
- 1. REMOVE ALL EXISTING PARTITIONS, WALLS, CEILING, AND FLOORING.
 - 2. REMOVE ALL EXISTING PARTITIONS, WALLS, CEILING, AND FLOORING.
 - 3. REMOVE ALL EXISTING PARTITIONS, WALLS, CEILING, AND FLOORING.
 - 4. REMOVE ALL EXISTING PARTITIONS, WALLS, CEILING, AND FLOORING.
 - 5. REMOVE ALL EXISTING PARTITIONS, WALLS, CEILING, AND FLOORING.
 - 6. REMOVE ALL EXISTING PARTITIONS, WALLS, CEILING, AND FLOORING.
 - 7. REMOVE ALL EXISTING PARTITIONS, WALLS, CEILING, AND FLOORING.
 - 8. REMOVE ALL EXISTING PARTITIONS, WALLS, CEILING, AND FLOORING.
 - 9. REMOVE ALL EXISTING PARTITIONS, WALLS, CEILING, AND FLOORING.
 - 10. REMOVE ALL EXISTING PARTITIONS, WALLS, CEILING, AND FLOORING.
- LEGEND:**
- EXISTING INTERIOR WALL TO REMAIN
 - EXISTING EXTERIOR WALL TO REMAIN
 - DEMO INTERIOR WALL
 - DEMO EXTERIOR WALL
 - DEMO CEILING
 - DEMO FLOORING
 - DEMO PARTITION WALL
 - DEMO DOOR
 - DEMO WINDOW
 - DEMO STAIR
 - DEMO ELEVATOR
 - DEMO MECHANICAL
 - DEMO ELECTRICAL
 - DEMO PLUMBING
 - DEMO HVAC
 - DEMO OTHER



SCALE: 1/8" = 1'-0" EXISTING + DEMOLITION PLAN - FIRST FLOOR



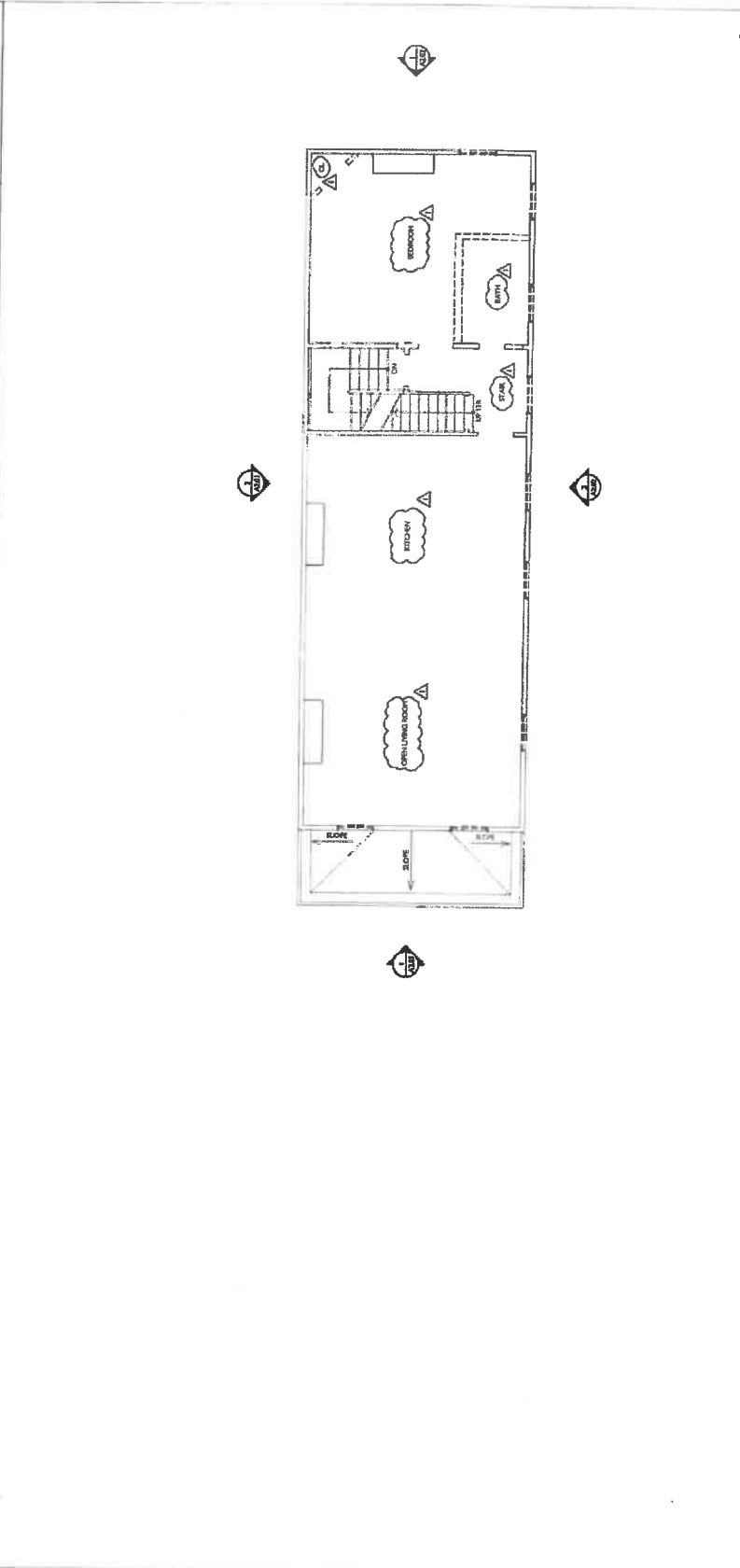
Project Name: BLOC MINISTRIES
 Date: 04/13/2021
 Designer: [Name]
 Checker: [Name]

DEFINING & DEMOLITION PLAN & EXISTENCE CHECKLIST NOTES:

A. REMOVE ALL EXISTING CARPENTRY, WALLS, CEILING, FLOORING, PARTITION WALLS, AND TRIM TO BE REWORKED, CLEANED, AND REFINISHED.
 B. REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOORING, AND TRIM TO BE REWORKED, CLEANED, AND REFINISHED.
 C. REMOVE ALL EXISTING PARTITION WALLS, CEILING, FLOORING, AND TRIM TO BE REWORKED, CLEANED, AND REFINISHED.

LEGEND:

- EXISTING PARTITION WALL
- EXISTING CARPENTRY
- EXISTING FLOORING
- EXISTING CEILING
- EXISTING TRIM
- EXISTING PARTITION WALL TO REMAIN
- EXISTING CARPENTRY TO REMAIN
- EXISTING FLOORING TO REMAIN
- EXISTING CEILING TO REMAIN
- EXISTING TRIM TO REMAIN
- EXISTING PARTITION WALL TO BE REWORKED
- EXISTING CARPENTRY TO BE REWORKED
- EXISTING FLOORING TO BE REWORKED
- EXISTING CEILING TO BE REWORKED
- EXISTING TRIM TO BE REWORKED
- EXISTING PARTITION WALL TO BE DEMOLISHED
- EXISTING CARPENTRY TO BE DEMOLISHED
- EXISTING FLOORING TO BE DEMOLISHED
- EXISTING CEILING TO BE DEMOLISHED
- EXISTING TRIM TO BE DEMOLISHED



SCALE: 1/4" = 1'-0" EXISTING + DEMOLITION PLAN - SECOND FLOOR

AI.03

MOVING PROJECT
 INTERIOR RENOVATION
BLOC MINISTRIES
 932 MC PHERSON
 CINCINNATI, OH, 45205

1910 CARROLL ALLEY, SUITE 200 (CINCINNATI, OH 45202)
 WWW.PLATTEDESIGN.COM | T: 513.871.1030 | F: 513.871.1822
PLATTE
 architecture + design



Project Name: **BLOC MINISTRIES**
 Program Code: **10028**
 License No.: **10028**
 Design Team:
 Drawn By:

EXISTING DEMOLITION PLAN (GENERAL NOTES)

A. REMOVE ALL EXISTING CASING, LINEN, PATIO DOORS AND TRIM TO BE REUSED, CLEANED, AND STORED FOR REUSE.

B. REMOVE ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED.

C. DEMO EXTERIOR WALLS/CLADDING TO BE DEMOLISHED.

D. DEMO EXTERIOR WINDOW WALL.

E. DEMO EXTERIOR WINDOW WALL.

F. DEMO EXTERIOR WINDOW WALL.

G. DEMO EXTERIOR WINDOW WALL.

H. DEMO EXTERIOR WINDOW WALL.

I. DEMO EXTERIOR WINDOW WALL.

J. DEMO EXTERIOR WINDOW WALL.

K. DEMO EXTERIOR WINDOW WALL.

L. DEMO EXTERIOR WINDOW WALL.

M. DEMO EXTERIOR WINDOW WALL.

N. DEMO EXTERIOR WINDOW WALL.

O. DEMO EXTERIOR WINDOW WALL.

P. DEMO EXTERIOR WINDOW WALL.

Q. DEMO EXTERIOR WINDOW WALL.

R. DEMO EXTERIOR WINDOW WALL.

S. DEMO EXTERIOR WINDOW WALL.

T. DEMO EXTERIOR WINDOW WALL.

U. DEMO EXTERIOR WINDOW WALL.

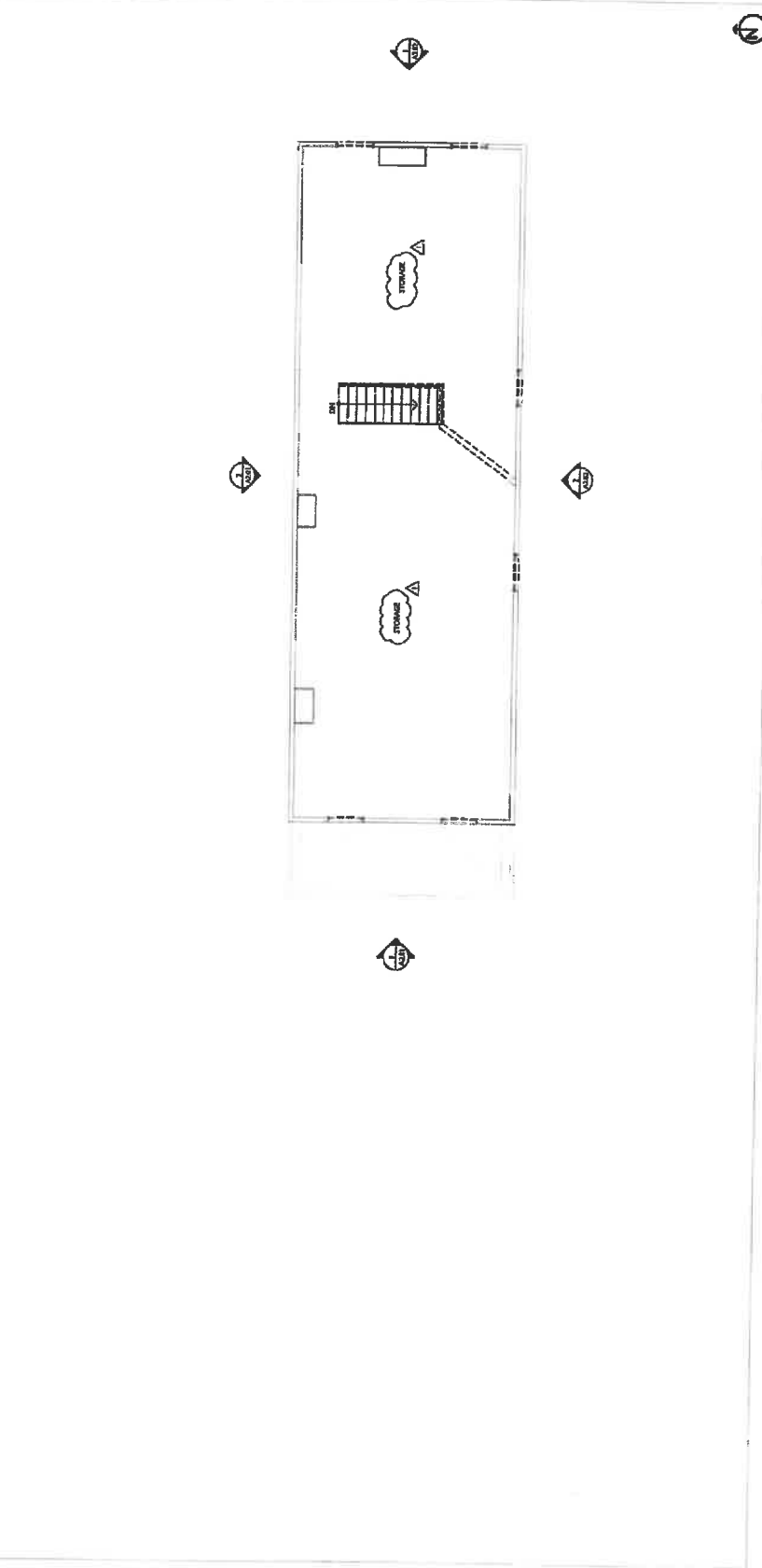
V. DEMO EXTERIOR WINDOW WALL.

W. DEMO EXTERIOR WINDOW WALL.

X. DEMO EXTERIOR WINDOW WALL.

Y. DEMO EXTERIOR WINDOW WALL.

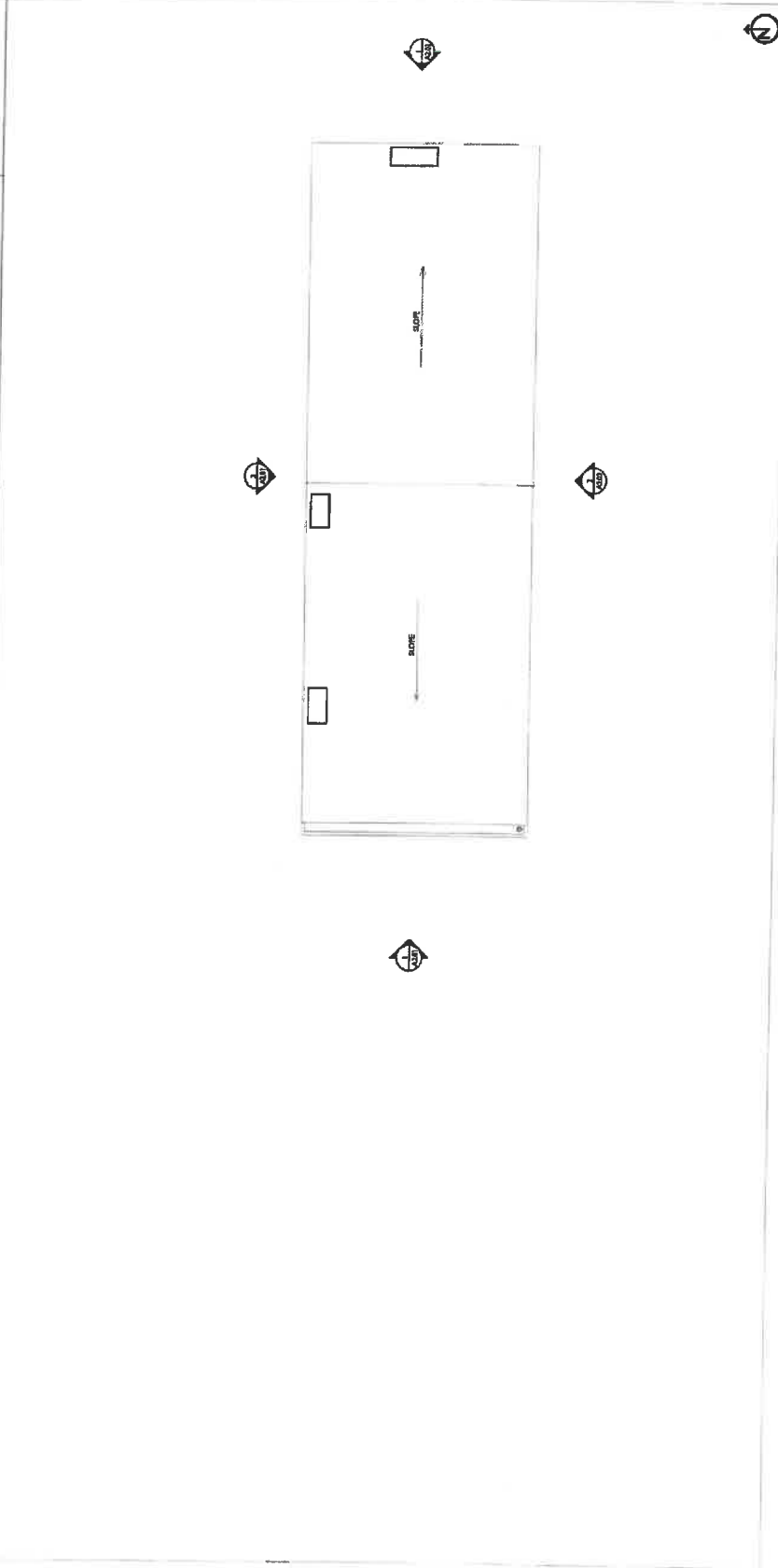
Z. DEMO EXTERIOR WINDOW WALL.



10028 1/4" = 1'-0" EXISTING + DEMOLITION PLAN - THIRD FLOOR

DEFINITIONS AND NOTES:
 A. REMOVE ALL EXISTING ROOFING IN PLACE & RELOCATE EXISTING DRAINAGE.
 B. ALL EXISTING ROOFING TO BE REMOVED, CLEANED, AND STORED FOR REUSE.
 C. REMOVE ALL EXISTING PARTS, WINDOWS AND WALLS, INCLUDING EXISTING DRAINAGE TO CHANNEL DRAIN.

EXISTING EXTERIOR WALL TO REMAIN
 EXISTING EXTERIOR WALL TO BE REMOVED
 EXISTING INTERIOR WALL TO REMAIN
 EXISTING INTERIOR WALL TO BE REMOVED
 EXISTING ROOFING IN PLACE
 EXISTING ROOFING TO BE REMOVED
 EXISTING ROOFING TO BE RELOCATED

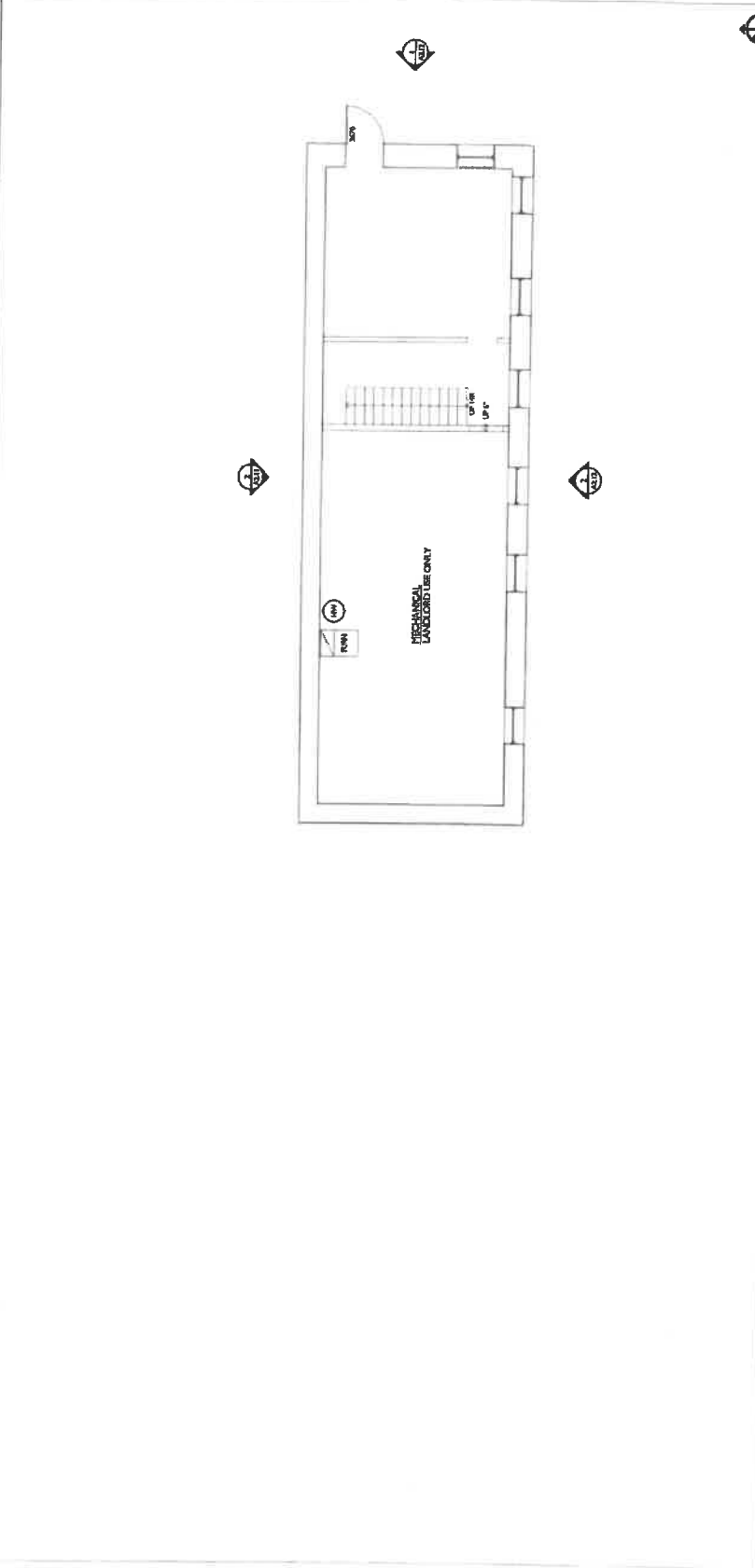


EXISTING + DEMOLITION ROOF PLAN | 1 |



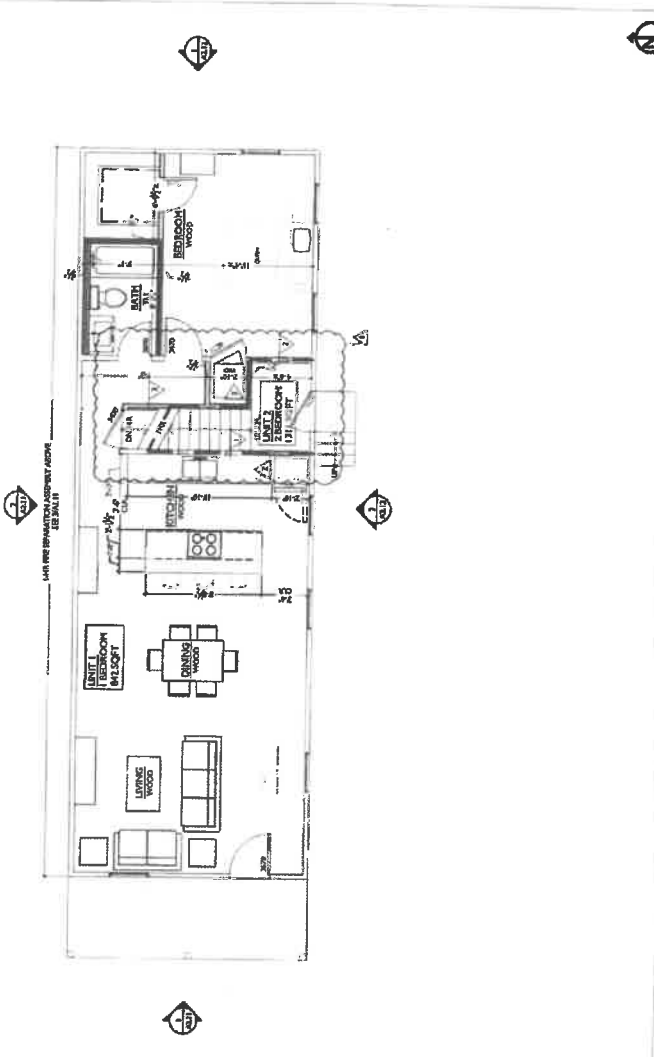
Project Name: 932 MC PHERSON
 Date: 04.11.2021
 Design Team: [Blank]
 Drawn by: [Blank]

- NEW WORK PLATE ELEVATION GENERAL NOTES:**
- A. DIMENSIONS ARE SHOWN TO FACE OF UNLESS NOTED OTHERWISE.
 - B. ALL NEW PARTITION WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.
 - C. PARTITION WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.
 - D. PARTITION WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.
 - E. ALL WINDOWS TO BE REPLACED WITH NEW 60" X 60" DOUBLE GLAZED UNITS.
 - F. ALL WINDOWS TO BE REPLACED WITH NEW 60" X 60" DOUBLE GLAZED UNITS.
 - G. ALL WINDOWS TO BE REPLACED WITH NEW 60" X 60" DOUBLE GLAZED UNITS.
 - H. DOORS TO BE REPLACED WITH NEW 36" X 80" UNITS.
 - I. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.
 - J. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.
 - K. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.
 - L. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.
 - M. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.
 - N. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.
 - O. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.
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 - Y. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.
 - Z. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON BOTH SIDES, 1" GYPSUM BOARD ON INTERIOR WALL.



PROPOSED PLAN - BASEMENT | SCALE: 1/8" = 1'-0"

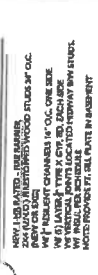
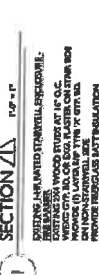
PROPOSED PLAN - FIRST FLOOR
 SCALE: 1/4" = 1'-0"



RATED PARTITION SECTIONS

KEYED NOTES:

- 1 FINISHED FLOOR
- 2 3/4" GYP. BRK. ON P. PLASTER
- 3 3/4" GYP. BRK. ON P. PLASTER
- 4 FLOOR FRAMING AND CEILING
- 5 RATED ASSEMBLY CONTINUOUS TO PART D PARTITION OR WALL
- 6 1/2" MIN. EXISTING CHANNELS @ 16" O.C.
- 7 1/2" MIN. EXISTING CHANNELS @ 16" O.C. HORIZ. ON ONE SIDE OF PARTITION
- 8 3/4" MIN. EXISTING CHANNELS @ 16" O.C. HORIZ. ON ONE SIDE OF PARTITION
- 9 1/2" MIN. EXISTING CHANNELS @ 16" O.C. HORIZ. ON ONE SIDE OF PARTITION
- 10 3/4" MIN. EXISTING CHANNELS @ 16" O.C. HORIZ. ON ONE SIDE OF PARTITION



SECTION 10 1/4" = 1'-0"

SECTION 9 1/4" = 1'-0"

SECTION 8 1/4" = 1'-0"

SECTION 7 1/4" = 1'-0"

SECTION 6 1/4" = 1'-0"

SECTION 5 1/4" = 1'-0"

SECTION 4 1/4" = 1'-0"

RATED PARTITION SECTIONS

KEYED NOTES:

- 1 FINISHED FLOOR
- 2 3/4" GYP. BRK. ON P. PLASTER
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- 10 3/4" MIN. EXISTING CHANNELS @ 16" O.C. HORIZ. ON ONE SIDE OF PARTITION

SECTION 10 1/4" = 1'-0"

SECTION 9 1/4" = 1'-0"

SECTION 8 1/4" = 1'-0"

SECTION 7 1/4" = 1'-0"

SECTION 6 1/4" = 1'-0"



SECTION 7 1/4" = 1'-0"

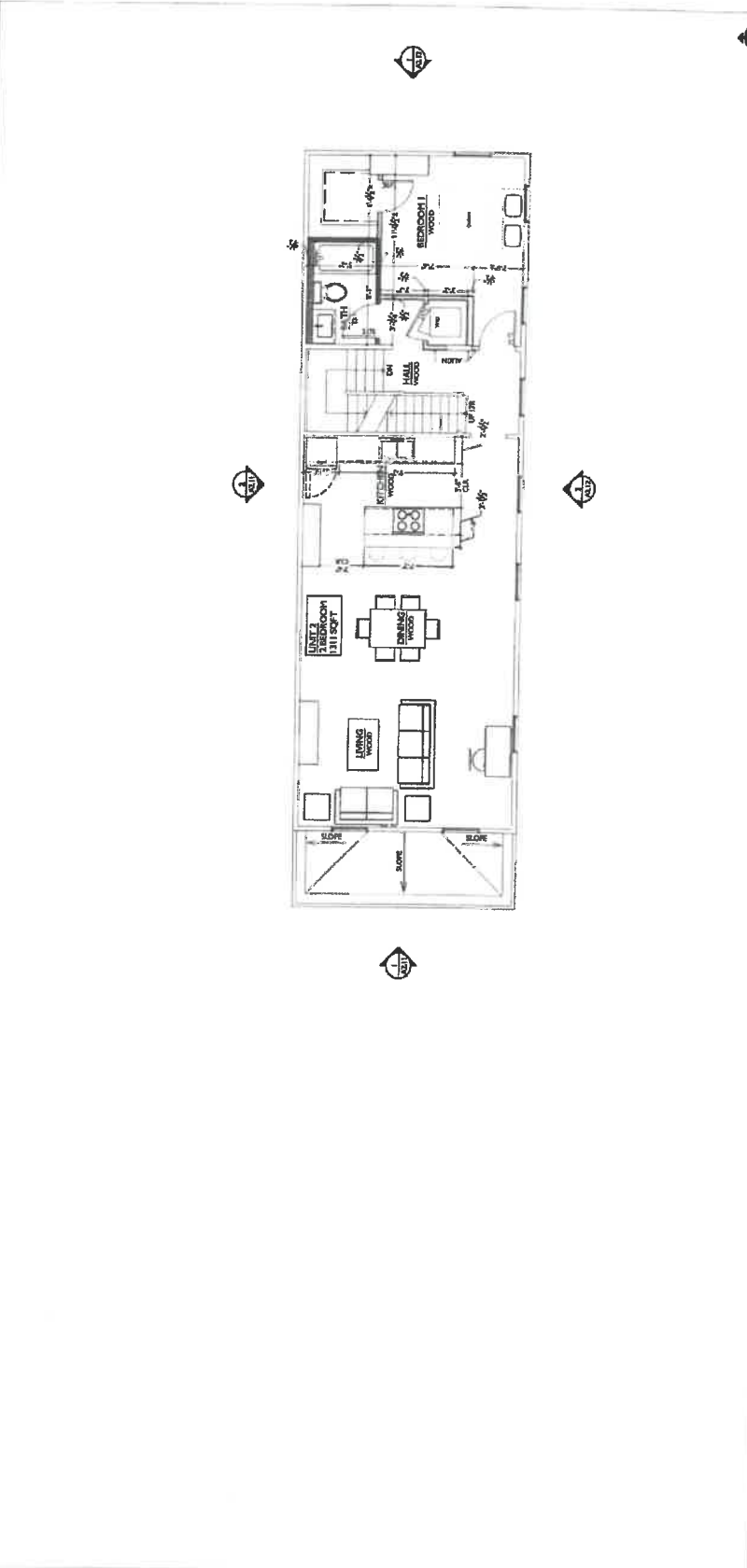
SECTION 6 1/4" = 1'-0"

SECTION 5 1/4" = 1'-0"



Project: 932 McPherson
 Date: 1/28/2014
 Scale: 1/4" = 1'-0"

- REVISIONS:**
- A. CORRECTIONS AS SHOWN TO BE ELEVATION GENERAL NOTES:
 - B. ALL NEW WALLS TO BE CONCRETE BLOCK WITH INTERIOR FINISH TO BE 5/8" GYPSUM BOARD AND 5/8" GYPSUM BOARD OVER 5/8" GYPSUM BOARD. ALL NEW WALLS TO BE 5/8" GYPSUM BOARD OVER 5/8" GYPSUM BOARD. ALL NEW WALLS TO BE 5/8" GYPSUM BOARD OVER 5/8" GYPSUM BOARD.
 - C. ALL NEW WALLS TO BE CONCRETE BLOCK WITH INTERIOR FINISH TO BE 5/8" GYPSUM BOARD AND 5/8" GYPSUM BOARD OVER 5/8" GYPSUM BOARD. ALL NEW WALLS TO BE 5/8" GYPSUM BOARD OVER 5/8" GYPSUM BOARD. ALL NEW WALLS TO BE 5/8" GYPSUM BOARD OVER 5/8" GYPSUM BOARD.
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- GENERAL NOTES:**
- 1. ALL NEW WALLS TO BE CONCRETE BLOCK WITH INTERIOR FINISH TO BE 5/8" GYPSUM BOARD AND 5/8" GYPSUM BOARD OVER 5/8" GYPSUM BOARD. ALL NEW WALLS TO BE 5/8" GYPSUM BOARD OVER 5/8" GYPSUM BOARD. ALL NEW WALLS TO BE 5/8" GYPSUM BOARD OVER 5/8" GYPSUM BOARD.
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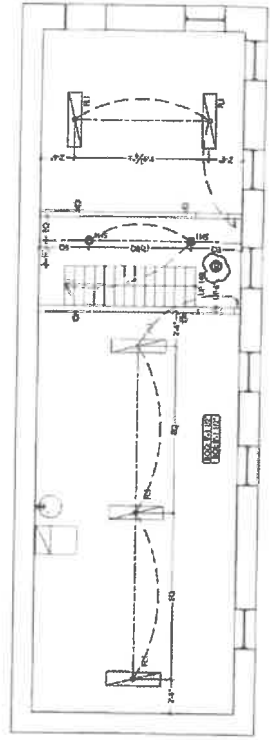
PROPOSED PLAN - SECOND FLOOR | SCALE: 1/4" = 1'-0"



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REFLECTED CEILING PLAN - BASEMENT

SCALE: 1/8" = 1'-0"



- CEILING LIGHTS/LEDS:**
- ① 30W RECESSED LIGHT
 - ② 30W TRACK LIGHT
 - ③ 30W TRACK LIGHT WITH DIMMER
 - ④ 30W TRACK LIGHT WITH DIMMER AND DIMMING INSTRUCTIONS
 - ⑤ SWITCH
 - ⑥ 3WAY SWITCH
 - ⑦ DIMMER OUTLET
 - ⑧ 20A OUTLET FOR APPLIANCES
 - ⑨ 20A OUTLET FOR APPLIANCES WITH GFCI PROTECTION
 - ⑩ CIRCUIT
 - ⑪ WAXTY LIGHT (TO BE EXTRACTED)
 - ⑫ 30W TRACK LIGHT, HAND HELD TO DIMMER, 1/8"
 - ⑬ 30W TRACK LIGHT, WALL MOUNTED
 - ⑭ 30W TRACK LIGHT
 - ⑮ 30W TRACK LIGHT
 - ⑯ 30W TRACK LIGHT
- CEILING LIGHTS/LEDS:**
- ① ALL FIXTURES TO BE APPROVED BY OWNER
 - ② ALL TRACK LIGHTS TO BE APPROVED BY OWNER
 - ③ ALL TRACK LIGHTS TO BE APPROVED BY OWNER
 - ④ ALL TRACK LIGHTS TO BE APPROVED BY OWNER
 - ⑤ ALL TRACK LIGHTS TO BE APPROVED BY OWNER
 - ⑥ ALL TRACK LIGHTS TO BE APPROVED BY OWNER
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 - ⑬ ALL TRACK LIGHTS TO BE APPROVED BY OWNER
 - ⑭ ALL TRACK LIGHTS TO BE APPROVED BY OWNER
 - ⑮ ALL TRACK LIGHTS TO BE APPROVED BY OWNER

AI.22
 INTERIOR RENOVATION
BLOC MINISTRIES
 932 MC PHERSON
 CINCINNATI, OH, 45205

MOCOMO PROJECT
 DATE: 7/21/16 16:30:00
 932 MC PHERSON
 CINCINNATI, OH, 45205

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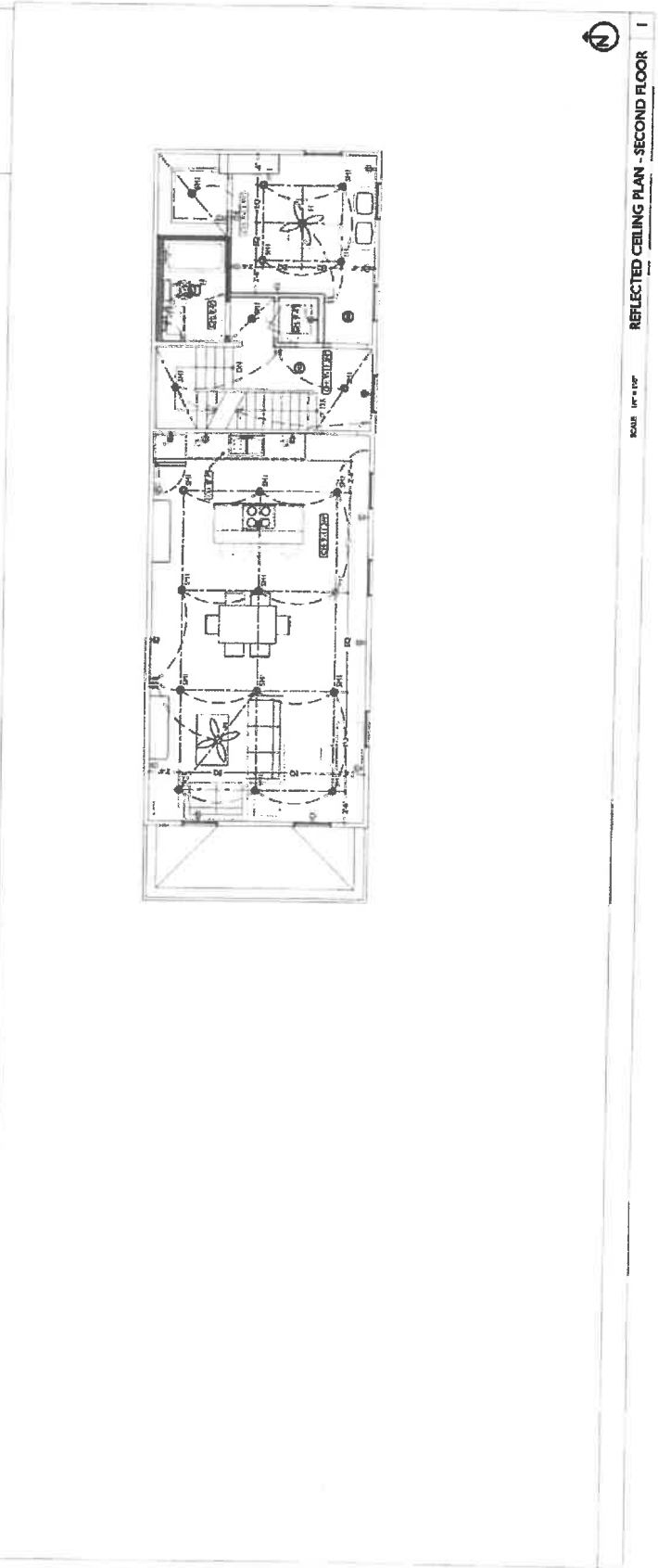
Project Name: 932 MC PHERSON
 Project: BLOC MINISTRIES
 Number: 16/1 - 161236
 Design Team:
 Drawing No:

SYMBOLS:

- SURFACE MOUNT LIGHT
- VANITY SOCKET
- VANITY MIRROR
- CABINET HARDWARE EXTRACTION
- SWITCH
- 3 WAY SWITCH
- DIMMER CONTROL
- ZONED OUTLET FOR APPLIANCES
- GROUND FAULT CIRCUIT INTERRUPTER (GFCI)
- CIRCUIT
- VANITY LIGHT (TO BE SELECTED)
- MIRROR (TO BE SELECTED)
- CABINET HARDWARE (TO BE SELECTED)
- EXTERNAL LIGHT, WALL MOUNTED
- CEILING FAN WITH LIGHT
- CEILING FAN WITHOUT LIGHT
- CEILING MOUNT AIR CONDITIONER

GENERAL NOTES:

- 1. ALL FIXTURES TO BE APPROVED BY OWNER
- 2. CENTER POINTS IN CHANGES TO CENTER POINTS
- 3. VERIFY CONDITIONS LAUNDED WHERE SHOWN
- 4. ALL GAPS TO BE FINISHED GYPSUM JACO



AI.23

INTERIOR RENOVATION
BLOC MINISTRIES
 932 MC PHERSON
 CINCINNATI, OH, 45205

PROJECT NO. 2024-01
 DATE: 07/23/2024

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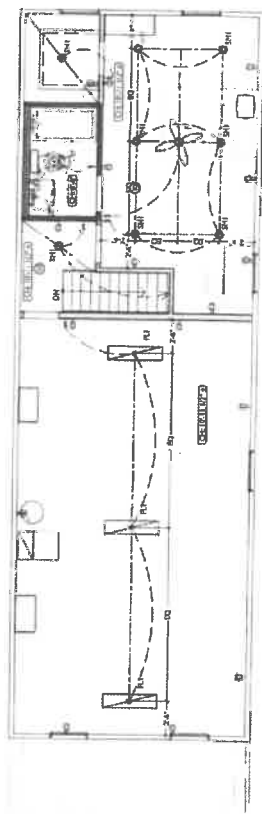


Project Name: BLOC MINISTRIES
 Date: 07/23/2024

Revision: R01 | 07/11/2024

Design Team:
 Designer:

- GENERAL NOTES:**
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 2. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
 - 3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL ORDINANCES.
 - 4. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72) AND ALL APPLICABLE LOCAL ORDINANCES.
 - 5. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL ORDINANCES.
 - 6. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL ORDINANCES.
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 - 9. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL ORDINANCES.
 - 10. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL ORDINANCES.
- LEGEND:**
- SWITCH
 - 2-WAY SWITCH
 - 3-WAY SWITCH
 - 4-WAY SWITCH
 - GROUND FAULT CIRCUIT INTERRUPTER (GFCI)
 - SMOKE DETECTOR
 - VENT LIGHT (NO SELECTOR)
 - 1/2" CUBIC INCH HAND IN/OUT TO OTHER SIDE
 - EXTERIOR LIGHT, WALL MOUNTED
 - 1/2" CUBIC INCH LIGHT
 - CEILING RECESSED LIGHT
- NOTES:**
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
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 - 10. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL ORDINANCES.

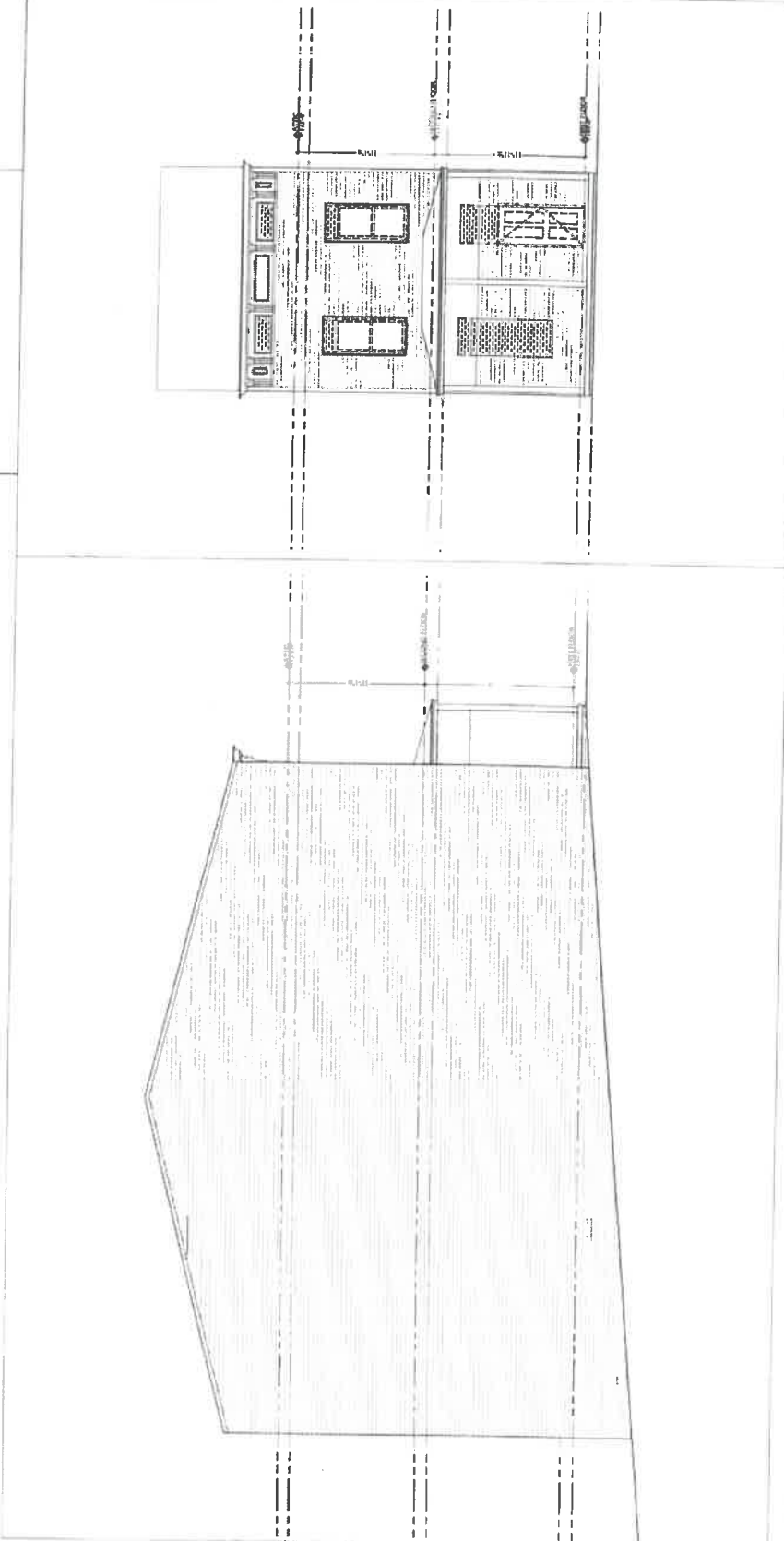


REFLECTED CEILING PLAN - THIRD FLOOR

SCALE: 1/8" = 1'-0"

REMOVE EXISTING WALLS AND CEILING. REPAIR GENERAL JOBS
 A. REMOVE ALL EXISTING CEILING, LUMBER, TRIM, AND TRIM TO BE REPLACED, CLEANED, AND STORED FOR REUSE.
 B. REMOVE ALL EXISTING WALLS AND TRIM TO BE REPLACED, CLEANED, AND STORED FOR REUSE.
 C. REMOVE ALL EXISTING VENT, WINDOWS AND WALL FINISHING. REMOVE CORNER TO EXISTING WALLS.

EXISTING DEMOLITION FRAME CLADDING WITH
 --- EXISTING EXTERIOR WALL TO REMAIN
 --- EXISTING INTERIOR WALL TO REMAIN
 --- DEMO EXISTING WALL/CEILING
 --- DEMO EXISTING MACHINE WALL
 --- EXISTING OVERHEAD
 --- EXISTING VENT
 --- NEW TO ADD TO BE REMOVED



SCALE: 1/4" = 1'-0" EXISTING + DEMOLITION ELEVATION - NORTH |
 SCALE: 1/4" = 1'-0" EXISTING + DEMOLITION ELEVATION - WEST |

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Project Name: BLOC MINISTRIES
 Project No.: 1811201
 Date: 10/1/2018
 Design Team:
 Drawn by:

INTERIOR RENOVATION
 BLOC MINISTRIES
 932 MC PHERSON
 CINCINNATI, OH, 45205
 MOROCCO PROJECT
 10/1/2018

A2.01

EXISTING & DEMOLITION PLANE SYMPLIC SET:
--- EXISTING
--- DEMOLITION

- A. REMOVE ALL EXISTING CURBWORK, LANDSCAPE, AND STORM DRAINAGE
- B. REMOVE ALL EXISTING ROOFING, SILLING, AND TRIM TO BE REPAIRED, CLEANED, AND STORED FOR REUSE
- C. REMOVE ALL EXISTING INTERIORS, INCLUDING PARTITION WALLS, CEILING, FLOORING, AND TRIM TO BE REPAIRED, CLEANED, AND STORED FOR REUSE

- EXISTING
- DEMOLITION
- EXISTING MASONRY WALL
- EXISTING CONCRETE WALL
- EXISTING ROOFING
- EXISTING FLOORING
- EXISTING TRIM
- EXISTING PARTITION WALL
- EXISTING CEILING
- EXISTING FLOORING
- EXISTING TRIM
- EXISTING PARTITION WALL
- EXISTING CEILING
- EXISTING FLOORING
- EXISTING TRIM
- EXISTING PARTITION WALL
- EXISTING CEILING
- EXISTING FLOORING
- EXISTING TRIM

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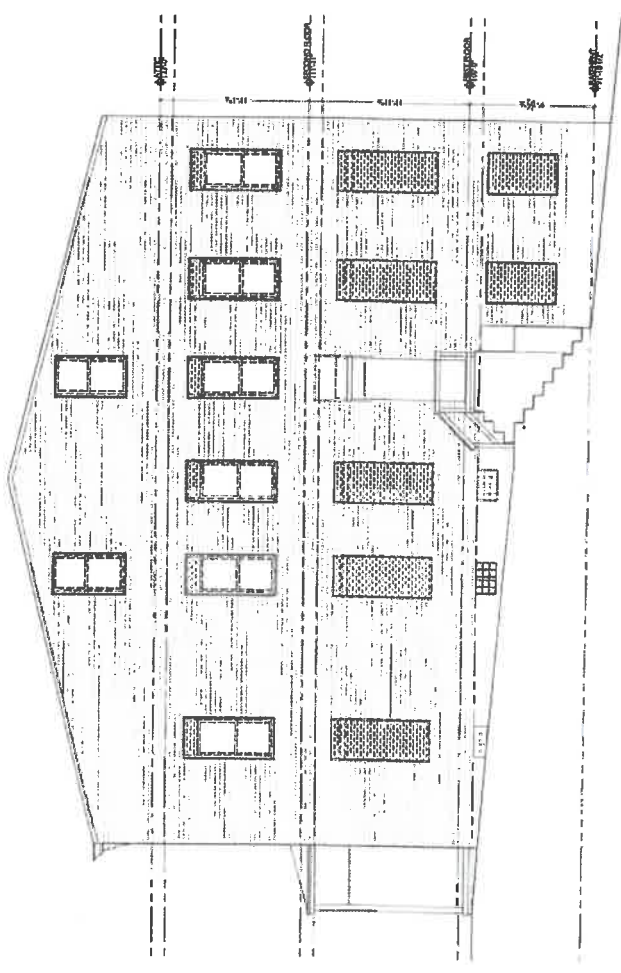
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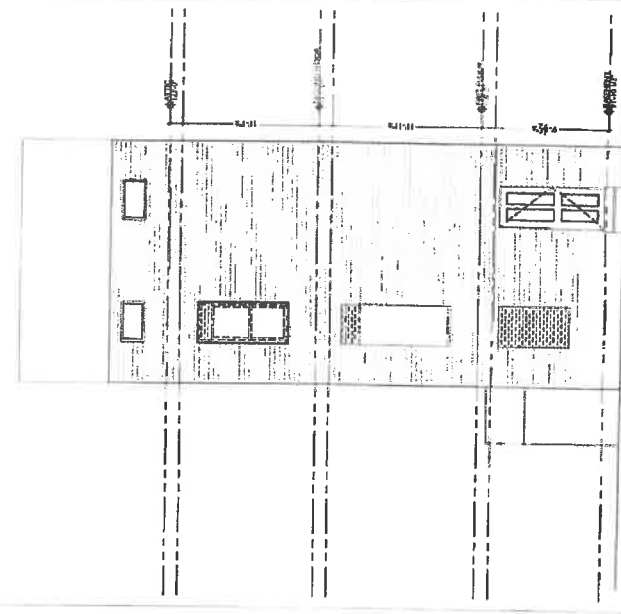
Project Name: BLOC MINISTRIES
Date: 10/11/2021
Design Team:
Drawn By:

INTERIOR RENOVATION
932 MC PHERSON
CINCINNATI, OH, 45205

A2.02



SCALE: 1/8" = 1'-0" EXISTING + DEMOLITION ELEVATION - SOUTH



SCALE: 1/8" = 1'-0" EXISTING + DEMOLITION ELEVATION - EAST

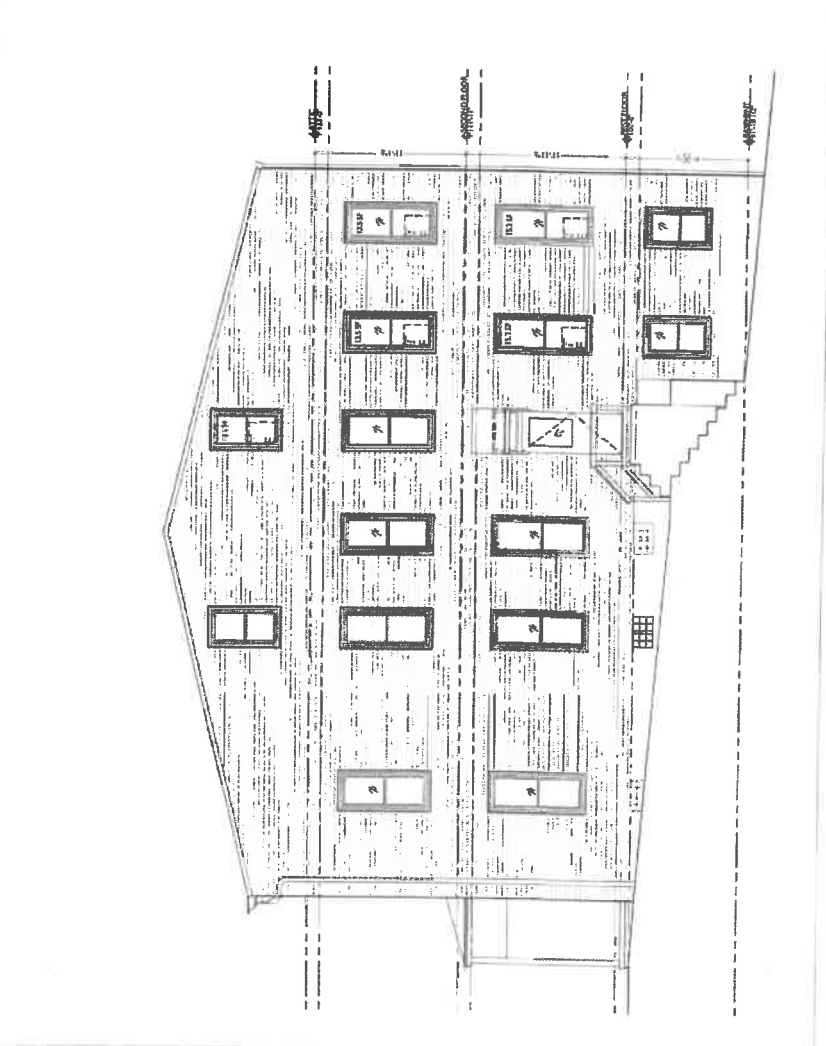
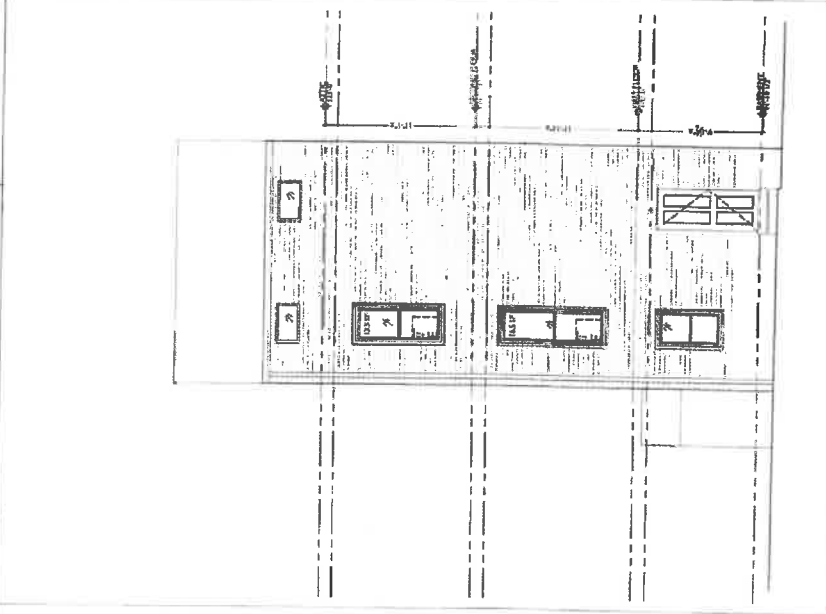


Project Name: 932 MC PHERSON
 Date: 04/13/2011
 Scale: 1/8" = 1'-0"

BLOC MINISTRIES
 INTERIOR RENOVATION
 932 MC PHERSON
 CINCINNATI, OH, 45205

A2.12
 SHEET 2104
 02/20/11

- NEW WORK & REPLACE EXISTING USES:**
- A. DEMOLISH EXISTING INTERIOR WALLS
 - B. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - C. EXISTING INTERIOR WALLS TO REMAIN
 - D. EXISTING INTERIOR WALLS TO REMAIN
 - E. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - F. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - G. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - H. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - I. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - J. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - K. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - L. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - M. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - N. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - O. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
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 - Y. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE
 - Z. ALL NEW INTERIOR WALLS TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD ON EACH SIDE



SCALE: 1/8" = 1'-0" PROPOSED ELEVATION - SOUTH 2 PROPOSED ELEVATION - EAST 1

ITEM #5 - Additional Correspondence

December 13, 2021

City of Cincinnati
City Planning Commission
805 Central Avenue
Cincinnati, OH 45202
Attn: Samantha McClean

To Samantha McClean and the members of the Planning Commission,

On behalf of Price Hill Will, I am writing to advocate for the change of the one family residence at 932 McPherson Avenue to a two family residence by BLOC Ministries. The home will support women in our neighborhood by providing housing for women who are graduates of BLOC's long term recovery program. Each unit will be occupied by one woman. They each have full time employment and will be paying their way forward. Price Hill Will fully encourages and supports this much needed program that improves quality of life and provides further housing stability to our Price Hill communities.

Price Hill Will is a community development corporation dedicated to creating systemic change in Price Hill through equitable physical, civic, social, economic, and creative development that improves the quality of life for all families in our community. We help residents build on their assets and gain skills as we connect them with resources to improve their quality of life. We achieve this via community leadership development, community gardens, neighborhood business district planning and revitalization, residential and commercial real estate development, our MYCincinnati 120-member youth orchestra, arts and cultural events, and many other programs.

Thank you for your consideration. Please feel free to reach out to me if you have any questions – I can be reached at jay@pricehillwill.org.

Thank you,



Jay Kratz, RA
Director of Real Estate Development
Price Hill Will



513-251-3800
3301 Price Avenue
Cincinnati, OH 45205

www.pricehillwill.org
www.arcocincinnati.org
www.mycincinnatiorchestra.org

1562 RUTH AVE LLC
8595 BEECHMONT AVE
103
CINCINNATI OH 45255

2 AI LLC
P O BOX 389220
CINCINNATI OH 45238

2B GUMMY LLC
855 VILLAGE CENTER DR
STE 262
NORTH OAKS MN 55127

903 AVE MCPHEARSON HOLDINGS LLC
24 E UNIVERSITY AVE
#OFC
CINCINNATI OH 45219

905 WELLS LLC
PO BOX 11276
CINCINNATI OH 45211

923 FAIRBANKS AVE LLC
4270 IVY POINTE BLVD
#225
CINCINNATI OH 45245

935 WELLS LLC
1317 HOPPLE ST
CINCINNATI OH 45225

950 MCPHERSON LLC
P O BOX 9422
CINCINNATI OH 45209

AAA FAMILY 2 LLC
3987 EBENEZER RD
CINCINNATI OH 45248

AFFORDABLE HOUSING CORPORATION
2902 GRANDIN RD
CINCINNATI OH 45208

ALFREY CAROLINE A
919 WELLS ST
CINCINNATI OH 45205

ALVAREZ EUGENE & JOAN
947 FAIRBANKS AVE
CINCINNATI OH 45205

AMIDOU IBRAHIM & PADILATOU
3054 WEST TOWER AVE
CINCINNATI OH 45238

ASH VANISE
931 FAIRBANKS AVE
CINCINNATI OH 45205

AVRAHAM EITAN & ORIT
4204 CARRIAGELITE DR
CINCINNATI OH 45241

BARTLETT PHYLLIS L
917 VOSS ST
CINCINNATI OH 45205

BATTISTONI NELLO ROBERTO
846 MCPHERSON AVE
CINCINNATI OH 45205

BLOC MINISTRIES INC
911 W 8TH ST
CINCINNATI OH 45203

BLOC MINISTRIES INC
911 W 9TH ST
CINCINNATI OH 45203

BRITTON RONALD J & OPHALENA
BRITTON
6820 BRAGG LANE
HARRISON OH 45030

BUELTERMAN MARK E & JOHN J
920 WELLS ST
CINCINNATI OH 45205-1827

BUSCH DONALD D SR & JOAN
904 WELLS ST
CINCINNATI OH 45205-1827

CARNES ROSEMARY A
930 MCPHERSON AVE
CINCINNATI OH 45205-1815

CARTHAGE CONTRACTORS LLC
6809 VINE ST
CINCINNATI OH 45216

C-DEVELOPMENT COMPANY LLC
903 FAIRBANKS AVE
CINCINNATI OH 45205

CHILDRESS SHANAY L
909 MCPHERSON AVE
CINCINNATI OH 45205

CINCY HOUSE LLC
PO BOX 14148
CINCINNATI OH 45250

CINVESTMENTS GROUP LLC
6457 GLENWAY AVE
SUITE 112
CINCINNATI OH 45211

DENSFORD WAYNE F & MELISA SUE
939 VOSS ST
CINCINNATI OH 45205-1719

DGTH LLC
P O BOX 32261
CINCINNATI OH 45232

DIEM PHILANA
P O BOX 610713
MIAMI FL 33161

ESCOBEDO JULIAN
2131 LINCOLN AVE
CINCINNATI OH 45224

FAIRBANKS-SUNSET LLC
PO BOX 23316
CINCINNATI OH 45223

FAIRBANKS-SUNSET LLC
P O BOX 9731
CINCINNATI OH 45209

FOLEY DALON I
941 FAIRBANKS AVE
CINCINNATI OH 45205

FOREVER REDEEMED PROPERTIES LLC
PO BOX 24433
CINCINNATI OH 45229

FRYE MARJORIE
939 WELLS ST
CINCINNATI OH 45205

GALACTIC UNION GROUP LLC
201 N 46TH AVE
HOLLYWOOD FL 33021

GREY FOREST DEVELOPMENT LLC
4047 CEDARWOOD LN
CINCINNATI OH 45245

HABITAT FOR HUMANITY OF GREATER
CINCINNATI
4910 PARA DR
CINCINNATI OH 45237

HAMILTON COUNTY LAND
REUTILIZATION CORPORATION
3 EAST FOURTH ST
STE 300
CINCINNATI OH 45202
JONES LAQUEA
925 VOSS ST
CINCINNATI OH 45205

HARMON JAQUUNNA PATRICE
917 FAIRBANKS
CINCINNATI OH 45205

JOHNSON DEBRESHA
920 VOSS ST
CINCINNATI OH 45205

KROGER LIMITED PARTNERSHIP I
1014 VINE ST
CINCINNATI OH 45202

LASWELL JOHNNIE M
909 WELLS ST
CINCINNATI OH 45205-1826

LEE CATHY LUCILLE
932 WELLS AVE
CINCINNATI OH 45205

LOREN REAL ESTATE LLC
7184 GREGORY CREEK LN
WEST CHESTER OH 45069

LUCERNE PROPERTIES LLC
P O BOX 1812
WEST CHESTER OH 45071

MATEO ROSA MARTINEZ
1604 ROSE AVE
CINCINNATI OH 45205

MCCLURE JAMES P
1702 QUEBEC RD
CINCINNATI OH 45205

MCGUANE FRANCIS
924 MCPHERSON AVE
CINCINNATI OH 45205-1815

MELLON VINCENT & SHAAKIRA
SARGENT
930 ENRIGHT AVE
CINCINNATI OH 45205

METCALF IGNACIO A
11211 BUCKHEAD CT
MIDLOTHIAN VA 23113

MEYER MANAGEMENT INC
P O BOX 5486
CINCINNATI OH 45205

MS TEES PROPERTY GROUP
1123 FRONT ST
HAMILTON OH 45011

MUNOZ LUIS & SHANNON G
910 VOSS ST
CINCINNATI OH 45205

NASTOLD MARY M
947 WELLS ST
CINCINNATI OH 45205-1826

NGENDAKUMANA VANANCIA
911 VOSS ST
CINCINNATI OH 45205

NIXON ROBERT H JR
10950 CAROLINA TRACE
HARRISON OH 45030

PACKER JAMES P JR
5764 GLENWAY AVE
CINCINNATI OH 45238

PALACIO OSCAR
8340 RIDGEVALLEY CT
CINCINNATI OH 45247

PHELPS BETTY A
958 MCPHERSON AVE
CINCINNATI OH 45205-1863

PRICE HILL WILL
3301 PRICE AVE
CINCINNATI OH 45205

REAL HANDYMAN SERVICE LLC
963 WELLS ST
CINCINNATI OH 45205

REDEEMED INVESTMENTS LLC
2343 PARK ROSE AVE
DUARTE CA 91010

RISING PHOENIX PROPERTIES LLC
11970 STREAMSIDE DR
LOVELAND OH 45140

ROBERTS RICHARD P & WILMA I
940 WELLS ST
CINCINNATI OH 45205

RUTLAND NAKIA N
937 FAIRBANKS AVE
CINCINNATI OH 45205

SCHLOSS MARGARET
4508 HECTOR AVENUE
CINCINNATI OH 45227

SCHOLL JEFFREY W & ALISON M
4666 GLENWAY AVE
CINCINNATI OH 45238

SFR3 AIC LLC
500 WESTOVER DR
#14104
SANFORD NC 27330

SFR3-020 LLC
228 PARK AVE S
STE 73833
NEW YORK NY 10003

SIMS GREGORY P
927 FAIRBANKS AVE
CINCINNATI OH 45205-1807

SKIMORE JOSEPH & ROBERTA E
949 WELLS ST
CINCINNATI OH 45205

SMITH LEROY
950 WELLS ST
CINCINNATI OH 45205

ST LEON MANAGEMENT LLC
8214 JORDAN RIDGE DR
CLEVES OH 45002

STASER CHRISTOPHER J & KELSIE O
942 MCPHERSON
CINCINNATI OH 45205

STEPHENS HEATHER
911 MCPHERSON AVE
CINCINNATI OH 45205

STOWELL PHILIP A & BARBARA J
928 MCPHERSON AVE
CINCINNATI OH 45205

STRAUGHN PAULA & FREDRICK
835 MCPHERSON AVE
CINCINNATI OH 45205

STRAYHORN VICTOR & CHAUNA
1380 MEREDITH DR
CINCINNATI OH 45231

TAYLOR RONALD F JR & ELIZABETH A
924 ENRIGHT AVE
CINCINNATI OH 45205

VANDENBOSCH MARY
2338 KENTON ST
CINCINNATI OH 45206

VINA REAL-ESTATE INVESTMENT
GROUP LLC
P O BOX 32183
CINCINNATI OH 45232

WALLS REAL ESTATE INVESTMENTS III
LLC
10 GREEN ST
CINCINNATI OH 45202

WEBER NANCY A
6885 WESSELMAN RD
CLEVES OH 45002

WEINGARTNER JEFFREY T
3030 JESSUP RD
CINCINNATI OH 45239

WIGLE MICHAEL J
922 ENRIGHT AVE
CINCINNATI OH 45205-1704

WOLF EMILIE
971 WELLS AVE
CINCINNATI OH 45205

WYOMING DDL LLC
901 MCPHERSON AVE
CINCINNATI OH 45205

YOUNG DWIGHT & STEPHANIE
3952 NORTHBEND RD
CINCINNATI OH 45211

YOUNG STEPHANIE MOORE
831 ROSEMONT AVE
CINCINNATI OH 45205

EAST PRICE HILL IMPROVEMENT
ASSOCIATION
PO BOX 5420
CINCINNATI OH 45205