



City of Cincinnati

801 Plum Street
Cincinnati, OH 45202

Agenda - Final

Economic Growth & Zoning Committee

Vice Mayor Christopher Smitherman, Chairperson
Councilmember Jeff Pastor, Vice Chair
Councilmember Betsy Sundermann

Tuesday, August 4, 2020

10:00 AM

Council Chambers, Room 300

AGENDA

Start of Public Hearing

- 1 [202000814](#) ORDINANCE, dated 6/24/2020, submitted by Patrick A. Duhaney, City Manager, AMENDING the official zoning map of the City of Cincinnati to rezone certain real property commonly known as 644-664 Crown Street in the Walnut Hills neighborhood from the T4N.SF, "Transect Zone 4 Neighborhood Small Footprint," zoning district to the T5N.LS-O, "Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone," zoning district to allow for the construction of a four-story multi-family building and public parking lot.

Sponsors: City Manager

Attachments: [Transmittal](#)
 [Ordinance](#)
 [Attachment](#)

- 2 [202000995](#) ORDINANCE (B VERSION) (EMERGENCY) submitted by Paula Boggs Muething, Interim City Manager, on 8/4/2020, AMENDING the official zoning map of the City of Cincinnati to rezone certain real property commonly known as 644-664 Crown Street in the Walnut Hills neighborhood from the T4N.SF, "Transect Zone 4 Neighborhood Small Footprint," zoning district to the T5N.LS-O, "Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone," zoning district to allow for the construction of a four-story multi-family building and public parking lot.

Attachments: [Transmittal](#)
 [ORDINANCE B VERSION](#)
 [Exhibits VERSION B](#)

3 [202000898](#) ORDINANCE submitted by Paula Boggs Muething, Interim City Manager, on 8/4/2020, AMENDING the official zoning map of the City of Cincinnati to rezone certain real property located in the Oakley neighborhood and commonly known as 2980 Disney Street from the CG-A, "Commercial General Auto-Oriented," zoning district to Planned Development District No. 89, "Graphite Oakley."

Sponsors: City Manager

Attachments: [Transmittal](#)
[Ordinance](#)
[Exhibits A-D for Ordinance](#)
[Memo to Clerk](#)
[Transmittal Letter](#)
[CPC Report](#)

4 [202000899](#) ORDINANCE (EMERGENCY) submitted by Paula Boggs Muething, Interim City Manager, on 8/4/2020, APPROVING a major amendment to the concept plan and development program statement governing Planned Development No. 69 to include certain adjacent properties, thereby approving the rezoning of those properties from the CN-P, "Commercial Neighborhood-Pedestrian," zoning district to Planned Development District No. 69, in order to facilitate the construction of a new multi-family building and a new mixed-used building.

Attachments: [Transmittal](#)
[Ordinance](#)
[Exhibits](#)
[Transmittal Letters](#)
[CPC Staff Report](#)

5 [202000900](#) ORDINANCE (EMERGENCY) submitted by Paula Boggs Muething, Interim City Manager, on 8/4/2020, EXTENDING Interim Development Control District No. 87, "Summit Road in Roselawn," in the Roselawn neighborhood as an interim development control district for a period of six months pursuant to Chapter 1431, "Interim Development Control Overlay Districts," of the Cincinnati Zoning Code.

Attachments: [Transmittal](#)
[Ordinance](#)
[Exhibits](#)
[Transmittal Letters](#)
[CPC Staff Report](#)

- 6 [202000901](#) ORDINANCE (EMERGENCY) submitted by Paula Boggs Muething, Interim City Manager, on 8/4/2020, EXTENDING Interim Development Control District No. 86, "Auburn Avenue in Mt. Auburn," in the Mt. Auburn neighborhood as an interim development control district for a period of six months pursuant to Chapter 1431, "Interim Development Control Overlay Districts," of the Cincinnati Zoning Code.

Attachments: [Transmittal](#)
 [Ordinance](#)
 [Exhibits](#)
 [Transmittal Letters](#)
 [CPC Staff Report](#)

End of Public Hearing

- 7 [202000945](#) MOTION, dated 7/28/2020 submitted by Vice Mayor Smitherman and Councilmember Mann, The Property Tax Working Group (PTWG) was created by motion on September 5, 2018 to study trends related to property taxes. Especially important were, rising property taxes in areas experiencing significant levels of development, helping senior citizens remain in their homes and communities and reporting on best practices of other cities and states. (Please see attach motion and vote by Cincinnati City Council).
The Property Tax Working Group had its final meeting on Thursday, July 23, 2020. This group was Chaired by Carol Gibbs, President/CEO Mt. Auburn Community Development Corporation (MACDC) and Vice Mayor Christopher Smitherman. The idea for the PTWG was the brainchild of M Carol Gibbs.
(Balance of motion on file in the Clerk's Office).

Sponsors: Smitherman

Attachments: [MOTION](#)

- 8 [202000951](#) MOTION, dated July 28, 2020 submitted by Vice Mayor Smitherman and Councilmember Mann, The Property Tax Working Group (PTWG) was created by motion on September 5, 2018 to study trends related to property taxes. Especially important were rising property taxes in areas experiencing significant levels of development, helping senior citizens remain in their homes and communities and reporting on best practices o other cities and states. (Please see the attach motion and vote by Cincinnati City Council). The Property Tax Working Group had its final meeting on Thursday, July 23, 2020. This group was Chaired by Carol Gibbs, President/CEO Mt. Auburn Community Development Corporation (MACDC) and Vice Mayor Christopher Smitherman. The idea for the PTWG was the brainchild of Mrs. Carol Gibbs.
(Balance of motion on file in the Clerk’s Office)

Sponsors: Smitherman and Mann

Attachments: [MOTION](#)

- 9 [202000954](#) MOTION, dated July 28, 2020 submitted by Vice Mayor Smitherman and Councilmember Mann, The Property Tax Working Group (PTWG) was created by motion on September 5, 2018 to study trends related to property taxes. Especially important were rising property taxes in areas experiencing significant levels of development, helping senior citizens remain in their homes and communities and reporting on best practices o other cities and states. (Please see the attach motion and vote by Cincinnati City Council).
The Property Tax Working Group had its final meeting on Thursday, July 23, 2020. This group was Chaired by Carol Gibbs, President/CEO Mt. Auburn Community Development Corporation (MACDC) and Vice Mayor Christopher Smitherman. The idea for the PTWG was the brainchild of M Carol Gibb.
(Motion on file in the Clerk’s Office)

Sponsors: Smitherman and Mann

Attachments: [MOTION](#)

- 10 [202000990](#) MOTION, dated 7/31/2020, submitted by Vice Mayor Smitherman and Councilmember Mann, The Property Tax Working Group (PTWG) was created by motion on September 5, 2018 to study trends related to property taxes. Especially important were, rising property taxes in areas experiencing significant levels of development, helping senior citizens remain in their homes and communities, and reporting on best practices from other cities and states.
WE MOVE that the above Tax Abatement Caps be approved by Cincinnati City Council. A previous Cincinnati City Council removed all caps for tax abatements when the national, regional, and local economy was very different than today.
(BALANCE ON MOTION ON FILE IN THE CLERKS OFFICE)
- Sponsors:** Smitherman
- Attachments:** [MOTION](#)
- 11 [202000915](#) PRESENTATION submitted by Paula Boggs Muething, Interim City Manager, dated 8/4/2020, regarding a proposed zone change at 644-664 Crown Street in Walnut Hills.
- Sponsors:** City Manager
- Attachments:** [Transmittal](#)
 [Presentation](#)
- 12 [202000916](#) PRESENTATION submitted by Paula Boggs Muething, Interim City Manager, dated 8/4/2020, regarding the extension of IDC 86, Auburn Avenue in Mt. Auburn.
- Sponsors:** City Manager
- Attachments:** [Transmittal](#)
 [Presentation](#)
- 13 [202000917](#) PRESENTATION submitted by Paula Boggs Muething, Interim City Manager, dated 8/4/2020, regarding the extension of IDC 87, Summit Road in Roselawn.
- Sponsors:** City Manager
- Attachments:** [Transmittal](#)
 [Presentation](#)
- 14 [202000918](#) PRESENTATION submitted by Paula Boggs Muething, Interim City Manager, dated 8/4/2020, regarding a proposed zone change and major amendment to the Concept Plan for PD-69 in Corryville.
- Sponsors:** City Manager
- Attachments:** [Transmittal](#)
 [Presentation](#)

- 15 [202000919](#) PRESENTATION submitted by Paula Boggs Muething, Interim City Manager, dated 8/4/2020, regarding a proposed zone change at 2980 Disney Street in Oakley.

Sponsors: City Manager

Attachments: [Transmittal](#)
 [Presentation](#)

ADJOURNMENT

June 24, 2020

To: Mayor and Members of City Council

From: Patrick A. Duhaney, City Manager

Subject: Ordinance – 644-664 Crown Street Zone Change

202000814

Transmitted is an Ordinance captioned:

AMENDING the official zoning map of the City of Cincinnati to rezone certain real property commonly known as 644-664 Crown Street in the Walnut Hills neighborhood from the T4N.SF, “Transect Zone 4 Neighborhood Small Footprint,” zoning district to the T5N.LS-O, “Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone,” zoning district to allow for the construction of a four-story multi-family building and public parking lot.

The City Planning Commission recommended approval of the amendment at its January 17, 2020 meeting.

Summary

The petitioner, Samir Kulkarni of Investing for Good, is requesting a zone change at 644-664 Crown Street in Walnut Hills from T4N.SF (Transect Zone 4 Neighborhood Small Footprint) to T5N.LS-O (Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone) to permit the construction of a four-story, multi-family residential building with 78 units and public parking lot. The proposed zone change is for the second phase in the May Square development in Walnut Hills.

The City Planning Commission recommended the following on June 18, 2020 to City Council:

APPROVE the proposed zone change from T4N.SF (Transect Zone 4 Neighborhood Small Footprint) to T5N.LS-O (Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone) located at 644-664 Crown Street in Walnut Hills.

cc: Katherine Keough-Jurs, AICP, Director, Department of City Planning





City of Cincinnati

DBS

7/21/20

An Ordinance No. _____ - 2020

AMENDING the official zoning map of the City of Cincinnati to rezone certain real property commonly known as 644-664 Crown Street in the Walnut Hills neighborhood from the T4N.SF, "Transect Zone 4 Neighborhood Small Footprint," zoning district to the T5N.LS-O, "Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone," zoning district to allow for the construction of a four-story multi-family building and public parking lot.

WHEREAS, Investing for Good, LLC ("Owner") owns certain real property in the Walnut Hills neighborhood commonly known as 644-664 Crown Street ("Property"), which property comprises approximately 1.460 acres and is presently located in the T4N.SF, "Transect Zone 4 Neighborhood Small Footprint," zoning district; and

WHEREAS, the T4N.SF, "Transect Zone 4 Neighborhood Small Footprint," zoning district prohibits the construction of four-story buildings and public parking lots; and

WHEREAS, the Owner wishes to rezone the Property to the T5N.LS-O, "Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone," zoning district to allow for a more diverse mix of construction types, including the construction of a four-story multi-family building and a public parking lot; and

WHEREAS, the City seeks to amend the official zoning map to rezone the Property from the T4N.SF, "Transect Zone 4 Neighborhood Small Footprint," zoning district to the T5N.LS-O, "Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone," zoning district to allow the Property to be developed in a manner that is consistent with existing adjacent and abutting land uses; and

WHEREAS, the proposed zone change is consistent with the goals of the *Walnut Hills Reinvestment Plan (2017)* to "target investment and development in the Peebles Corner area" (page 54), the Action Step to "Invest in People, Homes, and Places" (page 42), and the call for "[b]ulk to shield interstate" (page 43); and

WHEREAS, the proposed zone change is consistent with *Plan Cincinnati (2012)*, specifically the goal to "[p]rovide a full spectrum of housing options, and improve housing quality and affordability" (page 164), as well as the strategy to "[o]ffer housing options of varied sizes and types for residents at all stages of life" (page 169); and

WHEREAS, at a special meeting held on June 19, 2020, the City Planning Commission determined that the proposed zone change is in the interest of the public's health, safety, morals, and general welfare, and it recommended rezoning the Property from the T4N.SF, "Transect Zone

4 Neighborhood Small Footprint,” zoning district to the T5N.LS-O, “Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone,” zoning district; and

WHEREAS, a committee of Council held a public hearing on the proposed rezoning of the Property following due and proper notice pursuant to Cincinnati Municipal Code Section 111-1, and the committee approved rezoning the Property, finding it in the interest of the public’s health, safety, morals, and general welfare; and

WHEREAS, the Council resolves to rezone the Property from the T4N.SF, “Transect Zone 4 Neighborhood Small Footprint,” zoning district to the T5N.LS-O, “Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone,” zoning district, finding it to be in the interest of the public’s health, safety, morals, and general welfare; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the shape and area of the City of Cincinnati’s official zoning map in the location of the real property commonly known as 644-664 Crown Street in the Walnut Hills neighborhood, shown on the map attached hereto as Exhibit “A” and incorporated herein by reference, and being more particularly described on the legal description contained in Exhibit “B” attached hereto and incorporated herein by reference, is hereby amended from the T4N.SF, “Transect Zone 4 Neighborhood Small Footprint,” zoning district to the T5N.LS-O, “Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone,” zoning district.

Section 2. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: _____, 2020

John Cranley, Mayor

Attest: _____
Clerk

June 24, 2020

Cincinnati City Council
Council Chambers, City Hall
Cincinnati, Ohio 45202

Dear Members of Council:

We are transmitting herewith an Ordinance captioned as follows:

AMENDING the official zoning map of the City of Cincinnati to rezone certain real property commonly known as 644-664 Crown Street in the Walnut Hills neighborhood from the T4N.SF, "Transect Zone 4 Neighborhood Small Footprint," zoning district to the T5N.LS-O, "Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone," zoning district to allow for the construction of a four-story multi-family building and public parking lot.

Summary:

The petitioner, Samir Kulkarni of Investing for Good, is requesting a zone change at 644-664 Crown Street in Walnut Hills from T4N.SF (Transect Zone 4 Neighborhood Small Footprint) to T5N.LS-O (Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone) to permit the construction of a four-story, multi-family residential building with 78 units and public parking lot. The proposed zone change is for the second phase in the May Square development in Walnut Hills.

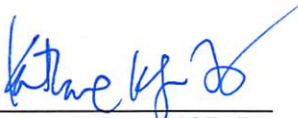
The City Planning Commission recommended the following on June 18, 2020 to City Council:

APPROVE the proposed zone change from T4N.SF (Transect Zone 4 Neighborhood Small Footprint) to T5N.LS-O (Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone) located at 644-664 Crown Street in Walnut Hills.

Motion to Approve: Mr. Juech
Seconded: Mr. Samad

Ayes: Mr. Juech
Mr. Samad
Mr. Smitherman
Mr. Stallworth


THE CITY PLANNING COMMISSION



Katherine Keough-Jurs, AICP, Director
Department of City Planning

June 24, 2020

To: Nicole Crawford, Office of the Clerk of Council

From: Katherine Keough-Jurs, AICP, Director, Department of City Planning 

Copies to: Samantha McLean, City Planner, Department of City Planning

Subject: Scheduling of Ordinance – Amending Zoning at 644-664 Crown Street in Walnut Hills

The above referenced Ordinance is to be scheduled for the Economic Growth and Zoning Committee. This item has been requested to be placed on the next available Economic Growth and Zoning Committee meeting following the required two week notification period.

Included in this submission are the following items:

- 1) The transmittal letter to the Mayor and City Council;
- 2) A copy of the City Planning Commission staff report dated June 19, 2020;
- 3) Additional Attachments
- 4) The Ordinance amending the official zoning map;
- 5) Mailing labels for the notice of the public hearing at the Economic Growth and Zoning Committee; and
- 6) A copy of the mailing labels for your file.

June 19, 2020

Honorable City Planning Commission
Cincinnati, Ohio

SUBJECT: A report and recommendation on a proposed zone change from T4N.SF (Transect Zone 4 Neighborhood Small Footprint) to T5N.LS-O (Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone) located at 644-664 Crown Street in Walnut Hills.

GENERAL INFORMATION:

Location: 644-664 Crown Street, Cincinnati, OH 45206
Petitioner: Samir Kulkarni, Investing for Good
Petitioner's Address: 4520 Cooper Road, Suite 205, Cincinnati, OH 45242

ATTACHMENTS:

Provided in addition to this report are the following attachments:

- Exhibit A – Location Map
- Exhibit B – Zone Change Application, Legal Description, and Plat
- Exhibit C – Site Plan Submitted to Coordinated Site Review
- Exhibit D – Coordinated Site Review Letter
- Exhibit E – Letter from Walnut Hills Area Council
- Exhibit F – Letter from Walnut Hills Area Council Business Group

BACKGROUND:

The petitioner, Samir Kulkarni of Investing for Good, is requesting a zone change at 644-664 Crown Street in Walnut Hills from T4N.SF (Transect Zone 4 Neighborhood Small Footprint) to T5N.LS-O (Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone) to permit the construction of a four-story, multi-family residential building with 78 units. The subject properties are 1.46 acres and are located between William Howard Taft Road to the north, Crown Street to the south, May Street to the east, and I-71 to the west.

The subject properties are currently zoned T4N.SF (Transect Zone 4 Neighborhood Small Footprint). The T4N.SF zone is primarily a residential zone with smaller neighborhood-supporting uses in ancillary buildings that support the walkable nature of the neighborhood. Building heights within this zone are generally up to two-and-a-half stories.

The proposed zone is to T5N.LS-O (Neighborhood Large Setback-Open). This zoning allows for medium to high residential density building types, with medium to large footprints and medium to large setbacks. The open sub-zone provides the same building form but allows for a more diverse mix of uses, such as limited retail and service uses. In this zone, building heights are up to four stories. This zone also reinforces walkable neighborhoods and neighborhood-serving retail and services uses adjacent to the zone.

In April 2019, the City Planning Commission approved a zone change from T4N.SF to T5N.SS-O for the properties located to the south of the subject properties. Subsequently, in May 2019, City Council approved the zone change. That zone change and this proposed zone change are the two phases in the proposed May Square development.

PROPOSED DEVELOPMENT:

May Square is a proposed development located between Taft Road and McMillan Street to the north and south, and May Street and I-71 to the east and west. The proposed development has two phases. A zone change from T4N.SF to T5N.SS-O for the first phase of the project (noted in Exhibit A) was approved by the City Planning Commission in April 2019 and by City Council in May 2019. It consists of a four-story, mixed-use building consisting of street-level, service-based retail, and upper floor multi-family, workforce housing. Approximately 74 parking spaces are proposed for the Phase One site.

For Phase Two, the petitioner is requesting a zone change at 644-664 Crown Street to T5N.LS-O to permit the construction of a 78-unit, four-story, multi-family building with approximately 40 parking spaces and 20 tenant garages. The proposed building will front on Crown Street and the parking lot will be situated between the building and Taft Road. The residential units are proposed to be _____ (waiting to hear back from Samir about affordability a mix of market rate and workforce. Under the current zoning, the desired four-story height would not be permitted. T5N.LS-O is being requested in order to build a four-story building. The "O" Sub-Zone is being requested to permit public parking lot. For parking on the subject properties to be used by the public the development will require a "O" Sub-Zone. The "O" Sub-Zone would permit a public parking lot pending a Use Permit review. The petitioner would like the parking throughout the May Square site (Phase One and Phase Two) to be flexible, so that visitors to the proposed retail spaces along May Street on the Phase One site can park in the lot located on the Phase Two subject properties, for example.

If the zone change is approved, any new construction will have to conform to the guidelines set forth in the Cincinnati Municipal Zoning Code in a T5N.LS-O (Neighborhood Small Setback-Open) zone.

ADJACENT LAND USE AND ZONING:

The subject properties are currently zoned T4N.SF (Neighborhood Small Footprint) as shown on the attached map (Exhibit A). The zoning and land uses surrounding the subject properties are as follows:

- North: T4N.SF (Neighborhood Small Footprint) – William Howard Taft Road and single-family and multi-family residential
- East: T4N.SF (Neighborhood Small Footprint) – single-family residential
- South: T5N.SS-O (Neighborhood Small Setback – Open) – vacant, proposed mixed-use (May Square Phase One)
- West: Interstate-71 (I-71)

ANALYSIS:

The subject properties are currently located in a T4N.SF (Neighborhood Small Footprint) zone which is primarily residential and encourages neighborhood supporting uses in ancillary buildings with a two-and-a-half story building height restriction. The requested T5N.LS-O (Neighborhood Large Setback-Open) zone allows for a more diverse mix of residential buildings and also allows for general retail and small to medium-sized neighborhood supporting services and commercial uses, with a four-story building height limit. The proposed T5N.LS-O zone would allow the petitioner to develop the

properties into a four-story, multi-family development and parking lot. This second phase of the larger May Square development would, in tandem with Phase One, reactivate a currently underutilized block and provide additional housing in the neighborhood. The subject properties abut I-71. The scale of the proposed development is consistent with similar developments along the I-71 corridor and provides a transition from highway to the neighborhood. It will also aid in blocking noise and the view of the highway from the adjacent residential properties. Additionally, the proposed development would support the ongoing investment occurring along McMillan Street. The "O" Sub-Zone would permit a public parking lot on the site and allow for flexible parking use throughout the May Square project site. A public parking lot would also provide parking opportunities for people visiting businesses along McMillan Street.

The current T4N.SF-O zone does not allow for the desired building heights above two-and-a-half stories. The requested zone change to the T5N.LS-O zone would allow the petitioner to build up to four stories and have a public parking lot. The proposed zone, a step down in intensity from the T5N.SS-O zoning district to the south, is consistent with the existing surrounding built environment with regards to allowable uses, building scale, massing, and adjacent zoning districts.

COORDINATED SITE REVIEW:

The petitioner submitted their proposed project for Coordinated Site Review as a Preliminary Design Review in February 2020. At that time, the petitioner requested a zone change to T5N.SS-O. The May Square Phase One site, just south of the subject properties, was rezoned to T5N.SS-O in March 2019. This zone allows for heights up to six-stories. During that zone change process, adjacent property owners had concerns about the permitted heights and consistency with the surrounding neighborhood. Knowing this, the Department of City Planning suggested two potential zone change options during the Coordinated Site Review:

- T5N.LS-O, as it is a step down in intensity regarding form. It only permits heights up to four stories, as opposed to six. The proposed project is for a multi-family building. However, during the review, the petitioner explained their desire to have parking flexibility which would require the "O" sub-zone. In the attached Coordinate Site Review letter (Exhibit D), City Planning staff erroneously noted that this zone would only permit residential uses. This zone permits residential and limited commercial uses.
- A Planned Development District for the entirety of the May Square project site (Phase One and Two), as it would ensure orderly and thorough planning and review procedures that lead to quality design and development. A Planned Development zone change process also requires additional community engagement and input and various stages.

Other City departments provided feedback and requirements moving forth but did not report major concerns. The proposed project will need to go through an additional Coordinated Site Review as a Development Design Review in the future at which point City departments will be able to provide more detailed feedback on the proposed plans. All departmental comments can be seen in the feedback letter (Exhibit D).

PUBLIC COMMENT:

The Department of City Planning held a virtual public staff conference on this proposed zone change on June 4, 2020. Notices were sent to property owners within a 400-foot radius of the subject properties and the Walnut Hills Area Council. The petitioner was present at the meeting in addition to four

community members, and City staff. Of the four community members, three were surrounding property owners. The community members had questions about the location of the proposed parking lot entrance behind the building and concerns about the “O” Sub-Zone. While the proposed development is purely residential, the “O” Sub-Zone would permit limited retail uses. The surrounding property owners are concerned about the potential retail uses that would be permitted.

All property owners within a 400-foot radius of the subject properties and the Walnut Hills Area Council were notified of the City Planning Commission meeting on June 19, 2020, in addition to staff conference attendees. Both the Walnut Hills Area Council and the Walnut Hills Area Council Business Group submitted letters of support. The Walnut Hills Area Council voted in support of the project at their May meeting. Staff has not received any additional correspondence on the proposed zone change as of June 10, 2020.

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012)

The proposed zone change is consistent with the Live Initiative Area of *Plan Cincinnati*, specifically the Goal to, “Provide a full spectrum of housing options, and improve housing quality and affordability” (p. 164) and the Strategy to “Offer housing options of varied sizes and types for residents at all stages of life” (p. 169). This zone change would permit four-story multi-family development that would introduce more housing into the neighborhood.

Walnut Hills Reinvestment Plan (2017)

The proposed zone change is consistent with the *Walnut Hills Reinvestment Plan (2017)*, specifically the Action Item to “Invest in People, Homes, and Places” (p.42). Within this Action Item, the plan identifies the block between I-71 and May Street as a “Interstate Transition” area and calls for “Bulk to shield interstate” (p.43). The proposed development will return vacant lots into a productive use and introduce housing to the neighborhood. The proposed scale of the building will help to block noise and views from the adjacent interstate. The proposed four-story building is also not out of scale for a transition to a three-story neighborhood. Additionally, the proposed zone change supports the plan’s aim to target investment and development in the Peebles Corner area (p. 54). The plan calls for an enhanced retail environment and higher-density residential units and encourages a mix of rehab and new construction of mixed use and residential buildings. While the subject properties are located just north of the Peebles Corner target area, the proposed zone would allow for a multi-family development that would support the nearby retail uses and walkability in the area.

CONCLUSIONS:

The staff of the Department of City Planning supports the proposed change in zoning for the following reasons:

1. The proposed zone is consistent with the existing surrounding built environment with regards to allowable uses, building scale, massing, and adjacent zoning districts.
2. It is consistent with the *Walnut Hills Reinvestment Plan (2017)* which identifies the area as an “Interstate Transition” area and calls for larger scale developments to block noise and views from the interstate. It also supports the plan’s aim to target investment in the Peebles Corner area of the neighborhood.

3. It is consistent with *Plan Cincinnati* (2012) within the Live Initiative Area, specifically the goal to, "Provide a full spectrum of housing options, and improve housing quality and affordability." This zone change will introduce 78 units of housing into the neighborhood.

RECOMMENDATION:

The staff of the Department of City Planning recommends that the City Planning Commission take the following action:

APPROVE the proposed zone change from T4N.SF (Transect Zone 4 Neighborhood Small Footprint) to T5N.LS-O (Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone) located at 644-664 Crown Street in Walnut Hills.

Respectfully submitted:

Approved:

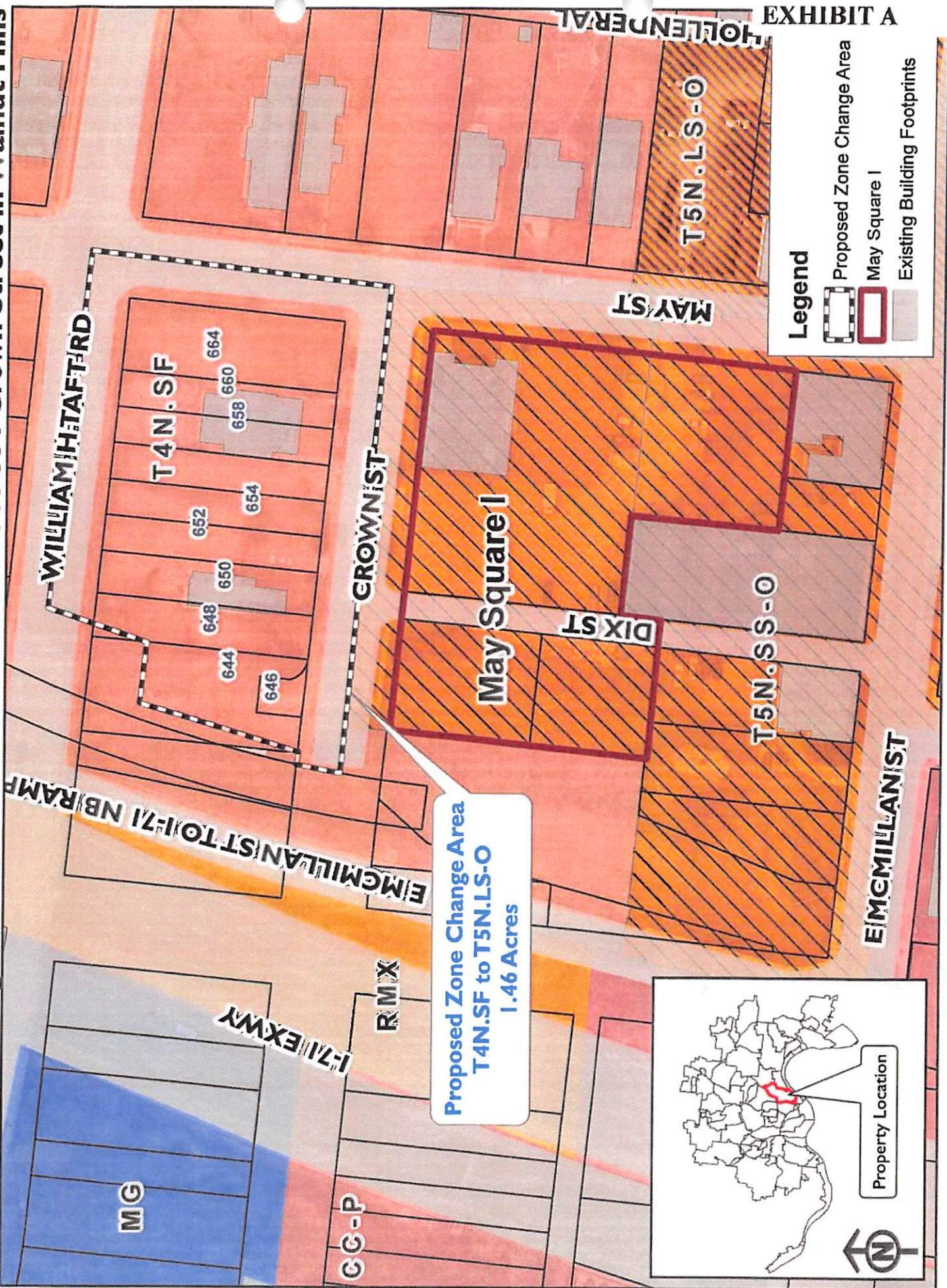


Samantha McLean, City Planner
Department of City Planning

Katherine Keough-Jurs, AICP, Director
Department of City Planning

Proposed Zone Change from T4N.SF to T5N.LS-O at 644-664 Crown Street in Walnut Hills

EXHIBIT A



**Proposed Zone Change Area
T4N.SF to T5N.LS-O
1.46 Acres**

Property Location



PETITION FOR CHANGE OF ZONING OF PROPERTY
LOCATED IN THE CITY OF CINCINNATI, OHIO

EXHIBIT B

To: The Honorable Council of the City of Cincinnati

Date: 3/3/2020

I hereby request your Honorable Body to amend the Zoning Map of the City of Cincinnati by changing the area described in the attached legal documentation and depicted on the attached plat from the T4N.SF Zone District to the T5N.LS-O Zone District.

Location of Property (Street Address): 644-664 Crown Street

Area Contained in Property (Excluding Streets): 0.912 A

Present Use of Property: Vacant

Proposed Use of Property & Reason for Change: We propose a multifamily development with a 4 story building that faces Crown Street.

Property Owner's Signature: 

Name Typed: Samir Kulkarni

Address: 4520 Cooper Road, Suite 205, Cincinnati, OH 45242 Phone: 513-253-6239

Agent Signature: _____

Name Typed: _____

Address: _____ Phone: _____

Please Check if the Following Items are Attached

Application Fee x

Copies of Plat x

Copies of Metes and Bounds x

LEGAL DESCRIPTION

1.460 ACRE

Situated in Section 8, Town 3, Fractional Range 2, Miami Purchase, City of Cincinnati, being part of Arnd Katterhorn's Subdivision as recorded in P.B. 3 Pg. 313, the boundary of which being more particularly described as follows:

BEGINNING at the intersection of the centerlines of Crown Street and May Street;

Thence along the centerline of Crown Street, North $83^{\circ}56'07''$ West a distance of 346.50 feet to a point in the east right of way line of Interstate 71;

Thence along said right of way line the following five (5) courses:

1. North $19^{\circ}20'43''$ East a distance of 30.82 feet;
2. South $83^{\circ}56'07''$ East a distance of 9.00 feet;
3. North $17^{\circ}25'36''$ East a distance of 114.76 feet;
4. South $83^{\circ}56'10''$ East a distance of 42.00 feet;
5. North $20^{\circ}37'19''$ East a distance of 70.26 feet to the centerline of William Howard Taft Road;

Thence along said centerline, South $83^{\circ}56'07''$ East a distance of 247.44 feet to the centerline of May Street;

Thence along the centerline of May Street South $05^{\circ}52'16''$ West a distance of 210.51 feet to the **POINT OF BEGINNING**.

Said parcel contains 1.460 acres, more or less.

The bearings of this description are based on State Plane Coordinates, Ohio South Zone, NAD 83.

This legal description was based on a field survey under the direction of Daniel K. York, Ohio Professional Surveyor Number S-8729 in December of 2018.

PROJECT NO. 18-119	DATE 03/16/2020	SCALE 1" = 30'	PROJECT NAME ZONE CHANGE PLAT
DATE 03/16/2020	SCALE 1" = 30'	PROJECT NAME ZONE CHANGE PLAT	DATE 03/16/2020
DATE 03/16/2020	SCALE 1" = 30'	PROJECT NAME ZONE CHANGE PLAT	DATE 03/16/2020
DATE 03/16/2020	SCALE 1" = 30'	PROJECT NAME ZONE CHANGE PLAT	DATE 03/16/2020

CLIENT: SOLICA ONSTRUCTION
4520 COOPER ROAD, SUITE 205
CINCINNATI, OHIO 45242

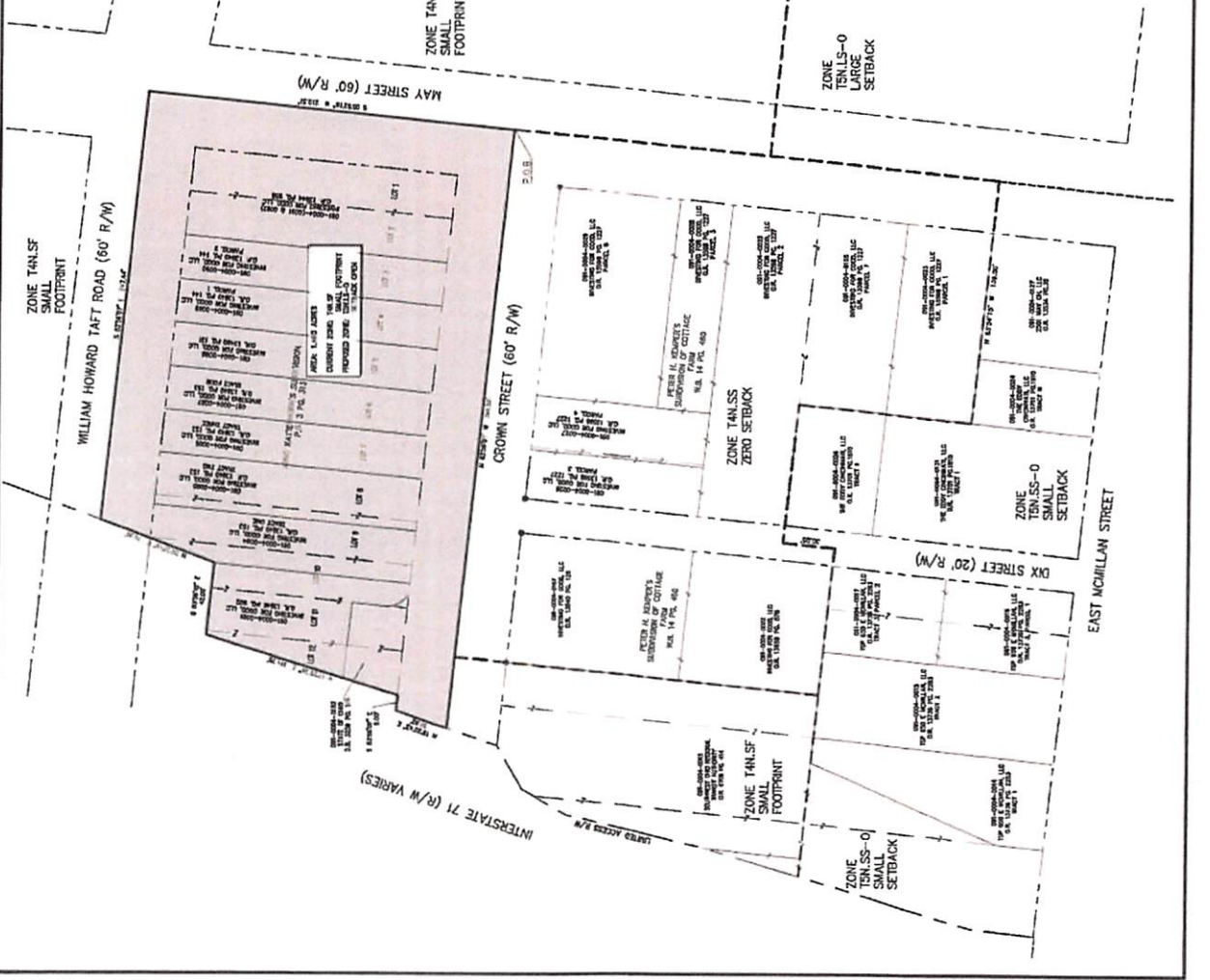
PROJECT: ZONE CHANGE PLAT
1.460 ACRES
SECTION 8, TOWN 3, RANGELAND RANGE 2
MARI RUKCHACK
CITY OF CINCINNATI, HAMILTON COUNTY, OHIO

DATE: 3/16/2020
FILE: 18-119



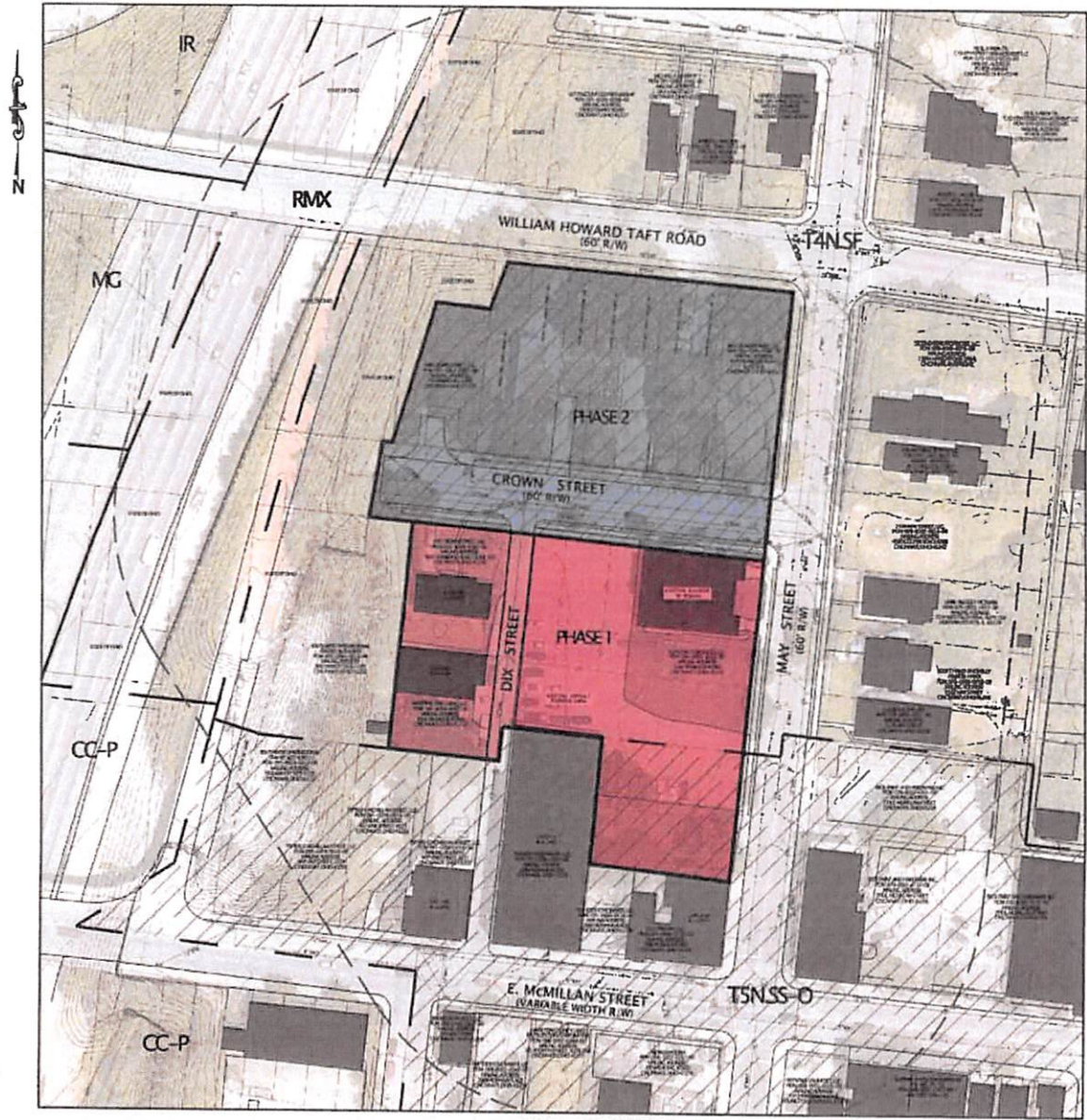
BASES OF SEPARATORS:
SEPARATORS ARE BASED ON THE OHIO STATE PLANS
UNLESS NOTED OTHERWISE.

**THE PROPERTY BOUNDARIES SHOWN ARE BASED ON A FIELD SURVEY BY
CARDINAL SURVEYING AND REPRESENTS A COMPLETE, PROPERLY LEGAL
SURVEY BY DANIEL R. YORK, P.E., LICENSED SURVEYOR,
NO. 10387, STATE OF OHIO.**

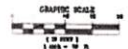


	TSLSS	TSLSF
Office	Yes	No
Retail	Yes	No
Four Story	Yes	No
Street Facing Zero Lotstrip	Yes	No
Mixed Use	Yes	No

- EXISTING 2 FOOT CONTOURS
- - - 200 FOOT OFFSET SITE BOUNDARY LINES
- EXISTING ZONE LINE
- PROJECT PHASE LINE
- TSLSF ZONE (EXISTING) ■ TSLSS-O ZONE (PROPOSED)
- TSLSS-O ZONE (RE-ASSIGNED)



EXISTING CONDITIONS





PHASE 1 (South) SUMMARY

- 4 Levels Below Grade = 43,200sqft (143,700sqft) = 68 units
- 4 Levels above May Street elevation (1000)
- Floor setback from east of May Street = 11' 0" / 2'
- Building length and width overall = 100' 0" x 48' 0"
- Maximum building height above first floor = 30' 0"

PHASE 2 (North) SUMMARY

- 4 Levels Building = 32,200sqft (143,700sqft) = 79 units
- 4 Levels above Crown Street elevation (1000)
- 2 Levels above Hollander Street (981)
- Floor setback from east of May Street = 11' 0" / 2'
- Side Street setback from east of May Street = 10' 0"
- Building length and width overall = 237' 0" x 48' 0"
- Maximum building height above first floor = 30' 0"

OVERALL AREA SUMMARY

- North Phase 1 - 4 Level Building = 65,200sqft (143,700sqft) = 79 units
- South Phase 1 - 4 Level Building = 43,200sqft (143,700sqft) = 68 units

Area	Units
RESIDENTIAL (PHASE 1)	147
RESIDENTIAL (PHASE 2)	79
ONE BEDROOM	110
TWO BEDROOM	37

- (2) TENANT GARAGES PARKING BELOW (147 + 79 = 226 SPA)
- (2) SPA = ADDITIONAL TAxIDEM SPACES
- (E) EXISTING TO REMAIN

PARKING RATIOS	RESIDENTIAL (Unit)	134 CARS
PARKING AVAILABLE	000 CARS	000 CARS
GARAGE PARKING	000 CARS	000 CARS
SPRINT (10/17/21)	000 CARS	000 CARS
SPRINT (10/17/21)	000 CARS	000 CARS
TOTAL	000 CARS	134 CARS

NOTE: ADDITIONAL AVAILABLE PARKING SPACES IN FRONT OF RESIDENTIAL GARAGES ARE NOT INCLUDED IN TOTAL COUNT

PROPOSED IMPROVEMENT

ARCHITECT FOR goodilic

NOTE: DRAWINGS ARE PRELIMINARY. EXISTING CONDITIONS MUST BE FIELD VERIFIED. CROWN HAVEN DEVELOPMENT - 2021.03.20 - PROJECT # 2103-07-001

1.1e

costardi



February 26, 2020

Mr. Samir Kulkarni
4520 Cooper Road, Suite 205
Cincinnati, Ohio 45242

Re: 644-664 Crown Street | May Square (P) – (CPRE200017) Initial Comments and Recommendations

Dear Mr. Kulkarni,

This Preliminary Design Review letter informs you that our Advisory-TEAM has reviewed your proposed project at 644-664 Crown Street in the Community of Walnut Hills. We hope that the information provided below will help you move forward with your project. Please see our initial feedback listed below. We strongly recommend that you return to us for either a Development Design Review or Technical Design Review before you get ready for permitting. Thank you for developing within the City of Cincinnati.

City Planning Department

Immediate Requirements to move forward with project:

1. The subject property is currently zoned T4N.SF. Based on the proposed plans, a zone change would be necessary to permit the proposed height.
2. May Square Phase I, just south of Phase II, is currently zoned T5N.SS-O. This zone (T5N.SS-O) would permit the proposed height and use. However, due to concerns raised by the community during the zone change for May Square Phase I, the following may be more appropriate:
 - o T5N.LS-O, as it would allow the desired form but limit the use to residential.
 - o A Planned Development District for the entirety of the May Square project site (Phase I and II). A PD would ensure orderly and thorough planning and review procedures that lead to quality design and development. It would also allow for community engagement and public input at various stages throughout the process.

Requirements to obtain Permits:

1. The subject properties would need to be consolidated for the proposed development.

Recommendations:

1. It is highly advised that the applicant engages with the community, including community groups like the Walnut Hills Area Council and Walnut Hills Redevelopment Foundation, as well as surrounding property owners along May Street and Taft Road.

Contact:

- **Samantha McLean** | City Planning |513-352-4886 | samantha.mclean@cincinnati-oh.gov

Buildings & Inspections – Zoning

Immediate Requirements to move forward with project:

1. The proposed building type and height for Phase 2 are not permitted in the current T4N.SF Zoning Transect. The City Planning Department is recommending a change to either T5N.LS-O for Phase II or a Planned Development District (PD) for the entirety of May Square.
2. Applicant needs to confirm Phase I has been revised to include no commercial uses, as were previously proposed.
3. Applicant needs to clarify final parcel configuration and work with City Staff to determine if the north portion of Dix Street and Crown Street can be vacated.
4. If a Zone Change to T5N.LS-O occurs:
 - o More detailed plans including elevations will be required for a full review and evaluation of necessary zoning relief. Please note, T5N.LS-O requires 15' minimum front setbacks and proposed setbacks are currently <10'.
 - o Applicant needs to clearly identify the potential use of the existing church for zoning use compliance and parking compliance.
 - o If the north portion of Dix Street is not vacated the parking lot to its west will require a Use Permit Hearing to be used as Parking, and potentially additional zoning relief.

Requirements to obtain Permits:

1. Lot consolidation will be required prior to issuance of building permits.

Recommendations:

1. Refer to City Planning on Rezoning recommendations.
2. Continue to work with Zoning and City Planning Staff to ensure that the proposed development adheres closely to the requirements and intent of the Land Development Code.
3. Applicant is encouraged to provide floor plans and elevations for a future Development Design Review.
4. Phase 2, if a Zone Change to T5N.LS-O occurs:
 - o Of the building forms permitted in T5N.LS-O, Stacked Flats and Mid-Rise appear to meet the height and density desired by the Phase 2 north building project. The Phase 2 north building currently exceeds the 150' maximum permitted width for a Mid-Rise building form. The Phase 2 north building currently exceeds the 200' width requirement for a Stacked Flats building form. The Zoning Division recommends consideration of a Stacked Flats building form with a Forecourt frontage.
 - o Any buildings wider than 150' must be designed to read as a series of buildings no wider than 75' each. Building articulation that meets these requirements should be incorporated into the development of the elevations.
5. Phase 1, if T5N.SS-O zoning remains:
 - o Additional information on use is needed to make recommendations on building type.

- o Any buildings wider than 100' must be designed to read as a series of buildings no wider than 50' each. Building articulation that meets these requirements should be incorporated into the development of the elevations.

Contact:

- **Emily Ahouse** | Zoning | 513-352-4793 | emily.ahouse@cincinnati-oh.gov

Metropolitan Sewer District (MSD)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Detention will be reviewed by Jeff Chen at jeff.chen@cincinnati-oh.gov or 513-244-1357 per Section 303 of the MSD Rules and Regulations.
2. An approved site utility plan will be required for each residence to receive approved permit.
3. Your project may change flow to a sewer overflow. Please complete the Request for Availability of Sewer Service Form online. The link to the online form can be found at http://www.msdbg.org/customer_care/development_services/index.html
4. For information on sewer abandonment please contact Rob Kern at 513-244-5588 or rob.kern@cincinnati-oh.gov

Recommendations:

- None

Contact:

- **Jim Wood** | MSD | 513-352-4311 | jim.wood@cincinnati-oh.gov

Stormwater Management Utility (SMU)

Immediate requirements to move forward with project:

- None

Requirements to obtain Permits:

1. SMU will require detention(s) system(s) for the project.
2. Submit a Stormwater masterplan that addresses all phases. Include:
3. Detention calculations, drainage maps, sections of control structures and detention shop drawings (for tanks).
4. Drainage systems will outlet into combined sewers. Therefore, design may follow MSD 303 rules.
5. Submit a demolition plan that clearly highlights all public infrastructures to be abandoned or made private.
6. Pipes in the R/W must be RCP or DIP (RCP for covers 3' > only). Show profiles for all pipes in public R/W.
7. Any Stormwater conveyance straddling property line must be accompanied with recorded private easements.
8. Submit an approved Erosion/Sediment control plan for the entire site
9. Add SMU Standard Plan Notes (<https://cincinnati-oh.gov/stormwater/construction-and-design/standards/standard-plan-notes-updated-july-2017/>)
10. SMU does not permit Public inlets with 5' of curb aprons. Show that clearance is achieved at northernmost driveway off of May St.

Recommendation:

1. Ties into Public Inlets are not permitted.
2. Maximum sheet flow allowed entire project is for 800 sf pavement.

Contact:

- **Saidou Wane | SMU | 513-591-7746 | saidou.wane@cincinnati-oh.gov**

Water Works

Immediate requirements to move forward with project:

Before Greater Cincinnati Water Work (GCWW) gives approval for this project:

1. Must remain same grade on Crown Street and remain Public Right-of-Way to maintain the existing 48" & 6" public water mains in Crown Street.
2. **The drawing submitted shows an enclosure out in the right-of-way over the 48-inch water main and will not be permitted.**
3. **A flow test will need to be conducted on the existing 6-inch public water mains in May and Crown Streets to determine if the existing public water main will meet the current Fire Codes.**
4. At this present time Greater Cincinnati Water Works is in the process of running a flow tests on the existing public water mains in the area. However, depending on weather, (cold temperatures can cause freezing while conducting the test) it may take some time to receive the flow test results.
 - o If the flow in the existing public water mains meet the current fire department fire code for a multi-story apartment building there, the Greater Cincinnati Water Works will have no issues with the proposed development water service branch connections on the existing water mains. (Or)
 - o If the flows in the existing public water mains do not meet the current fire department fire code requirements, the public water mains in the area will need to be upgraded. Greater Cincinnati Water Works will identify the public water main upgrade timeline. If the owner(s)/developer(s) cannot wait on the Greater Cincinnati Water Works public water main upgrade, the owner(s)/developer(s) can replace the public water mains at their expense with Greater Cincinnati Water Works assistance.

Requirements to obtain Permits:

1. The subject development property is receiving water service from (2) existing 3/4-inch water service branch (H-224895, H-238490) (3) existing 5/8-inch lead water service branch (H-66640, H-21352, H-21524), existing 1-1/2-inch water service branch connected to the existing 6-inch public water main in Crown Street. Existing 5/8-inch lead water service branch (H-25307) connected to the 6-inch public water main in May Street. If the existing 5/8-inch lead water service branch remains in service for this development, the owner(s)/developer(s) will need to eliminate the lead from the water service branch to meet the 2017 ordinance passed by Cincinnati City Council.
2. In accordance with CMC Chapter 401 Division M, this lead service line on your property must be replaced with copper service line. Please contact the GCWW Lead Service Line

Replacement Coordinator Kathleen Frey at (513) 591-5068. Please call 513-651-5323 and/or refer to <http://www.cincinnati-oh.gov/water/lead-information/>.

3. Greater Cincinnati Water Works will not approve any new building permits and water service branch(es) until all conditions are met.
4. Any existing water service branch(es) not to be used for this development, must be properly disconnected at the owner's / developer's expense. Owner would be required to fill out the online FOD form at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing removal of the existing water service branch(es) before any new water service(s) can be sold.

Recommendations:

1. If there are existing water service branches on this property is not to be used for this development, they must be properly disconnected at the owner's / developer's expense. Owner would be required to fill out the online FOD form at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing removal of any existing water service branches before any new water service can be sold. Any questions contact 513-591-7837.
2. The Owner/developer must have a licensed fire protection company and/or plumber that is bonded and certified with GCWW and fill out the Online Branch application <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/> for water service, any questions call (513-591-7836).

Contact:

- **Bill Morris** | WaterWorks | 513-591-7858 | bill.morris@gcww.cincinnati-oh.gov

Fire Department

Immediate Requirements to move forward with project:

1. Confirm that the closest two hydrants have fire flows of at least 1000 GPM at 20 PSI.

Requirements to obtain Permits:

1. Closest hydrants are located at 633 Crown and 2526 May St.
2. Fire Department Connections are to be shown and are to be within 50' of a fire hydrant.
3. Hydrants and FDC placement are not to block fire apparatus access to the structures.
4. If the fire access road is more than 150 you must provide an approved turn around.
5. Bidirectional antenna for fire department communication maybe required for the structure.

Recommendations:

- None

Contact:

- **Fred Prather** | Fire Dept. | 513-357-7595 | fred.prather@cincinnati-oh.gov

Office of Environmental Sustainability (OES)

Immediate Requirements to move forward with project:

- None

Requirements to obtain permits:

- None

Recommendations:

1. Due to the ages of the existing site buildings to be demolished, asbestos, lead based paint, and other hazardous building materials should be surveyed and, if needed, notification and abatement should be conducted following all applicable regulations prior to their demolition.
2. The proposed new residential site buildings in this development appear to be within 500 feet of Interstate 71. All new residential site buildings within 500 feet of the interstate should include a pre-development assessment of the air quality and include design elements that assure healthy indoor air quality is maintained.
3. The development goal should be to earn at a minimum the LEED Certified rating level.
4. Rooftop solar should be considered in the design as a renewable energy source.
5. Site parking areas should include electric vehicle charging stations.
6. Site parking areas should include bike rack areas.
7. Areas designated for trash dumpsters and carts should also have at least equal space designated for recycling dumpsters and carts in the design.
8. The use of trees in the landscape design should be included to enhance urban forestry.
9. The use of non-impervious surfaces should be maximized to the extent practical in the design.

Contact:

- **Howard Miller** | OES | 513-352-6999 | howard.miller@cincinnati-oh.gov

Police Department

Immediate Requirements to move forward with project:

- None at this time.

Requirements to obtain Permits:

- No Comments.

Recommendations:

- None

Contact:

- **Matt Hammer** | Police Dept. | 513-478-2257 | matt.hammer@cincinnati-oh.gov
- **Brandon Kyle** | Police Dept. | brandon.kyle@cincinnati-oh.gov

Health Department

Immediate Requirements to move forward with project:

1. No need for Health to review project as proposed.

Requirements to obtain Permits:

- None

Recommendations:

- None

Contact:

- **Trisha Blake** | Health Dept. | 513-352-2447 | trisha.blake@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Petitioner should begin the Coordinated Report process for the vacation and sale of Crown St. and the portion of Dix St.
2. Dix St needs a public turn around, unless the neighbors agree to a complete vacation of the street.
3. What is happening with the Duke facility on the west side of Dix St.?
4. Both entrances to the parking lot are to be City Standard driveway aprons.
5. May and Taft need 10' of right way from the face of the curb with 10' sidewalk, (possibly 5' sidewalk and 5' tree lawn) at a 2% cross-slope.
6. Remove old driveway aprons and restore to City Standards.
7. Granite curb is to remain and be reset to 6".
8. Work with Urban Forestry on the street trees (861-9070).
9. All work in the right of way requires a DOTE permit.
10. Please contact dteaddress@cincinnati-oh.gov for final addresses. Addresses will need to be assigned prior to submitting for permits.

Recommendations:

- None

Contact:

- **Morgan Kolks** | DOTE | 513-352-5285 | morgan.kolks@cincinnati-oh.gov

Buildings & Inspections – Buildings

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. See OBO 2017 Table 602 for fire rating of exterior walls based on fire separation distance and table 705.8 for opening limitations. See 503.1.2 and 705.3 for buildings on the same lot.

Recommendations:

- None

Contact:

- **Mark Abbott** | B&I Plans Exam | 513-352-4307 | mark.abbott@cincinnati-oh.gov

Department of Community & Economic Development (DCED)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

- None

Recommendations:

- None

Contact:

- **Bob Bertsch** | DCED | 513-352-3773 | bob.bertsch@cincinnati-oh.gov

Law Department

Immediate Requirements to move forward with project:

1. ROW vacation and sale
2. Vacation and sale of ROW involves:
3. Coordinated Report
4. Appraisal
5. Abutter's consent
6. Certificate of Title
7. Planning Commission Approval
8. Council Approval

Requirements to obtain Permits:

- None

Recommendations:

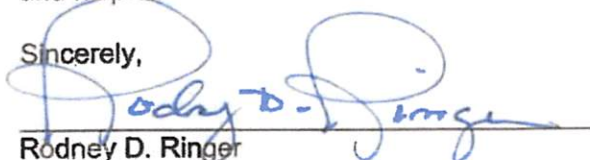
- None

Contact:

- **Charles Martinez** | Law | 513-352-3359 | charles.martinez@cincinnati-oh.gov

This letter is not intended as the City's final approval of your project, but rather as an initial review and consultation to provide feedback from the City's various departments and to better coordinate between the City and developer. We hope you find this process both forthcoming and helpful.

Sincerely,



Rodney D. Ringer
Development Manager
RDR: rdr



area
council

EXHIBIT E

2640 Kemper Lane
Cincinnati, Ohio 45206

www.wearewalnuthills.org

June 1, 2020

City of Cincinnati
Department of Community and Economic Development
Two Centennial Plaza
805 Central Avenue, Suite 700
Cincinnati, Ohio 45202

Delightful Day,

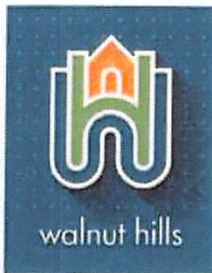
Solica Development and Investing for Good presented to the Walnut Hills Area Council (WHAC) their plans for phase two of May Square at the April 2020 WHAC meeting and the May 2020 Planning & Development Committee Meeting. The following week at the May 2020 WHAC the plan was recapped prior to a vote for a Letter of Support.

The Walnut Hills Area Council voted to support Solica Development and Investing for Goods request for a zone change from the existing zoning to T5N.LS-O for the land and parcels bound between Crown St. to the South and Taft to the North and by I-71 to the West and May St. to the East.

Should you have any questions, please reach out president@wearewalnuthills.com.
Share your joy,

A handwritten signature in black ink, appearing to read 'K. Gardette', written in a cursive style.

Kathryne Gardette
President, Walnut Hills Area Council



business
group

May 14, 2020

To: City of Cincinnati

Re: May Square proposed re-zoning of parcels on May Street

To Whom It May Concern,

The Walnut Hills Business Group (WHBG) is in support of the proposed zoning change, from T4N.SF to T5N.LS-0, for the parcel(s) located along the west side of May Street between Taft Road and Crown Street. A proposed apartment building development at this site was presented to WHBG on April 16, 2020, and a unanimous affirmative vote was taken to issue a letter of our support (with the abstention of Samir Kulkarni, Chairperson of WHBG, due to financial interest in the development).

The members of WHBG are satisfied that this zone change will effectively extend the adjacent T5N density to the south onto a site that is bordered by Interstate I-71. We believe that the proposed development should not require further variance if this zone change is granted. The dwelling units to be added will support other developments that are occurring in the area, which are creating job opportunities.

The WHBG operates as a standing committee of the Walnut Hills Area Council, with its own officers, membership dues, and voice.

Thank you,

A handwritten signature in black ink that reads 'Michael Rountree'. The signature is written in a cursive, flowing style.

Michael Rountree, Secretary
Walnut Hills Business Group

Community Engagement

- Through the entire process for May Square
 - Community was meaningfully engaged over 26 individual times
 - Area Councils
 - Community Input Sessions
 - Community Meetings with the RF
 - Community Design Input Session
 - Meetings with Neighbors
 - Meetings with WH Council Boards
- Have community support from:
 - Area Council
 - Business Group

Project Evolution

- Learnings about Initial Neighborhood Concerns:
 - From Neighbors:
 - No desire for commercial on May Street
 - *New commercial spaces have been removed in development plan.*
 - Building Sizing – This Phase will be limited to 4 stories
 - *Concern over a 5-6 story building. The current request only permits a 4 Story Building.*
 - Number of Residents
 - *Original Project had +/- 175 units. Current Project has 134 units.*
 - **Area Council**
 - Affordability
 - Our project has 30% Workforce housing vs. 20% initially

ITEM 14 - Additional Attachments Received After Written Comment Deadline

McLean, Samantha

From: Scott Hand <scothand@gmail.com>
Sent: Thursday, June 18, 2020 12:06 PM
To: McLean, Samantha
Subject: [External Email] Planning Commission Mtg Comments re: 644-664 Crown St

External Email Communication

Hello, Samantha.

I'll be unable to attend the virtual Planning Commission meeting tomorrow morning.

It looks like the last item on the agenda is the proposed zoning change for 644-664 Crown St. We live immediately across the street from the proposed development and joined you in the meeting a couple of weeks ago.

The developer has changed proposals and plans for a year and a half. We opposed the zoning change for Phase 1 because the proposed plan did not require the density limits or uses allowed in the change and we do not believe that retail should extend off the primary strip into a residential area. The same reasoning holds true for the request of phase 2.

The developer told the neighborhood that they would complete phase 1 and then return for feedback before proceeding with phase 2. This has not happened.

In the Planning Commission Meeting on June 4th, we were finally told the reason for the T5N.LS-O designation is to allow for additional parking across parcel and zoning boundaries. I believe that this is a very poor rationale for allowing additional use groups in an area, especially given that the developer has made no effort to size the development to the limits of the site, either within the existing zoning constraints or even within a use-group limited upgrade to [T5N.LS](#).

Lastly, the developer's proposal to vacate a portion of Dix St in order to maximize the parking capacity on the site is another example of how this proposal is wrong-sized for its location. If there is not enough room for the parking requirement through established zoning regs (and even the design-based transect zoning rules), the building development is not appropriately sized. Even though the proposal keeps a drive connection, it eliminates a portion of the street grid to turn into a parking lot drive aisle - immediately adjacent to an area where the grid was decimated by the construction of I-71. The history and fabric of the neighborhood should not be systematically torn down, especially with facilitation by the city.

Thank you,
Scott Hand
2522 May St, 45206
708-539-5511

Proposed Zone Change from T4N.SF to T5N.LS-O at 644-664 Crown Street in Walnut Hills

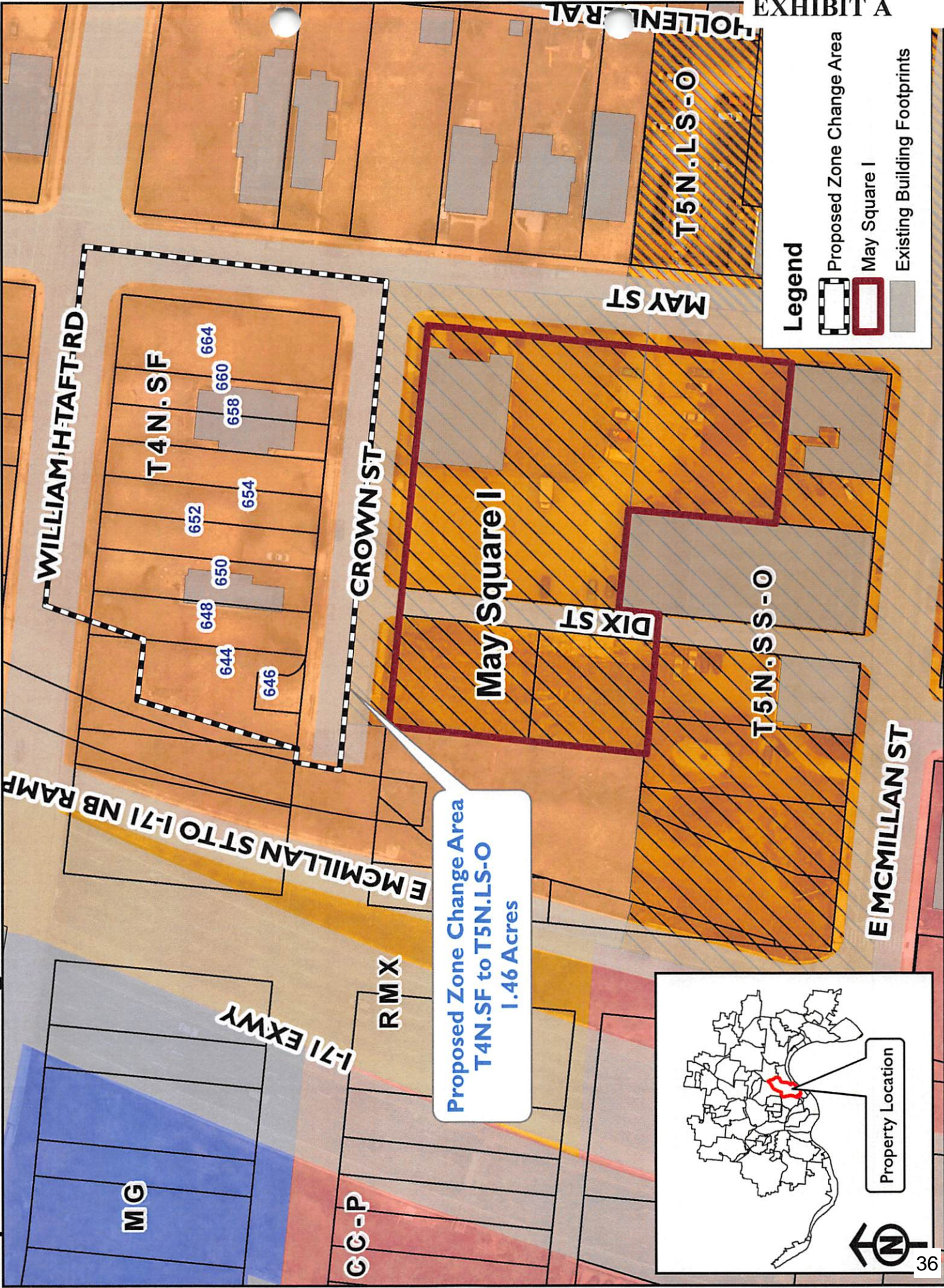


EXHIBIT B

LEGAL DESCRIPTION

1.460 ACRE

Situated in Section 8, Town 3, Fractional Range 2, Miami Purchase, City of Cincinnati, being part of Arnd Katterhorn's Subdivision as recorded in P.B. 3 Pg. 313, the boundary of which being more particularly described as follows:

BEGINNING at the intersection of the centerlines of Crown Street and May Street;

Thence along the centerline of Crown Street, North $83^{\circ}56'07''$ West a distance of 346.50 feet to a point in the east right of way line of Interstate 71;

Thence along said right of way line the following five (5) courses:

1. North $19^{\circ}20'43''$ East a distance of 30.82 feet;
2. South $83^{\circ}56'07''$ East a distance of 9.00 feet;
3. North $17^{\circ}25'36''$ East a distance of 114.76 feet;
4. South $83^{\circ}56'10''$ East a distance of 42.00 feet;
5. North $20^{\circ}37'19''$ East a distance of 70.26 feet to the centerline of William Howard Taft Road;

Thence along said centerline, South $83^{\circ}56'07''$ East a distance of 247.44 feet to the centerline of May Street;

Thence along the centerline of May Street South $05^{\circ}52'16''$ West a distance of 210.51 feet to the POINT OF BEGINNING.

Said parcel contains 1.460 acres, more or less.

The bearings of this description are based on State Plane Coordinates, Ohio South Zone, NAD 83.

This legal description was based on a field survey under the direction of Daniel K. York, Ohio Professional Surveyor Number S-8729 in December of 2018.

August 4, 2020

To: Mayor and Members of City Council
From: Paula Boggs Muething, Interim City Manager
Subject: Ordinance – 644-664 Crown Street Zone Change (B Version)

Transmitted is an Ordinance captioned:

AMENDING the official zoning map of the City of Cincinnati to rezone certain real property commonly known as 644-664 Crown Street in the Walnut Hills neighborhood from the T4N.SF, “Transect Zone 4 Neighborhood Small Footprint,” zoning district to the T5N.LS-O, “Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone,” zoning district to allow for the construction of a four-story multi-family building and public parking lot.

Summary:

The petitioner, Samir Kulkarni of Investing for Good, is requesting a zone change at 644-664 Crown Street in Walnut Hills from T4N.SF (Transect Zone 4 Neighborhood Small Footprint) to T5N.LS-O (Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone) to permit the construction of a four-story, multi-family residential building with 78 units and public parking lot. The proposed zone change is for the second phase in the May Square development in Walnut Hills.

The City Planning Commission recommended the following on June 19, 2020 to City Council:

APPROVE the proposed zone change from T4N.SF (Transect Zone 4 Neighborhood Small Footprint) to T5N.LS-O (Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone) located at 644-664 Crown Street in Walnut Hills.

cc: Katherine Keough-Jurs, AICP, Director, Department of City Planning

EMERGENCY

DBS/B

- 2020

AMENDING the official zoning map of the City of Cincinnati to rezone certain real property commonly known as 644-664 Crown Street in the Walnut Hills neighborhood from the T4N.SF, “Transect Zone 4 Neighborhood Small Footprint,” zoning district to the T5N.LS-O, “Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone,” zoning district to allow for the construction of a four-story multi-family building and public parking lot.

WHEREAS, Investing for Good, LLC (“Owner”) owns certain real property in the Walnut Hills neighborhood commonly known as 644-664 Crown Street (“Property”), which property comprises approximately 1.460 acres and is presently located in the T4N.SF, “Transect Zone 4 Neighborhood Small Footprint,” zoning district; and

WHEREAS, the T4N.SF, “Transect Zone 4 Neighborhood Small Footprint,” zoning district prohibits the construction of four-story buildings and public parking lots; and

WHEREAS, the Owner wishes to rezone the Property to the T5N.LS-O, “Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone,” zoning district to allow for a more diverse mix of construction types, including the construction of a four-story multi-family building and a public parking lot; and

WHEREAS, the City seeks to amend the official zoning map to rezone the Property from the T4N.SF, “Transect Zone 4 Neighborhood Small Footprint,” zoning district to the T5N.LS-O, “Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone,” zoning district to allow the Property to be developed in a manner that is consistent with existing adjacent and abutting land uses; and

WHEREAS, the proposed zone change is consistent with the goals of the *Walnut Hills Reinvestment Plan (2017)* to “target investment and development in the Peebles Corner area” (page 54), the Action Step to “Invest in People, Homes, and Places” (page 42), and the call for “[b]ulk to shield interstate” (page 43); and

WHEREAS, the proposed zone change is consistent with *Plan Cincinnati (2012)*, specifically the goal to “[p]rovide a full spectrum of housing options, and improve housing quality and affordability” (page 164), as well as the strategy to “[o]ffer housing options of varied sizes and types for residents at all stages of life” (page 169); and

WHEREAS, at a special meeting held on June 19, 2020, the City Planning Commission determined that the proposed zone change is in the interest of the public’s health, safety, morals, and general welfare, and it recommended rezoning the Property from the T4N.SF, “Transect Zone

4 Neighborhood Small Footprint,” zoning district to the T5N.LS-O, “Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone,” zoning district; and

WHEREAS, a committee of Council held a public hearing on the proposed rezoning of the Property following due and proper notice pursuant to Cincinnati Municipal Code Section 111-1, and the committee approved rezoning the Property, finding it in the interest of the public’s health, safety, morals, and general welfare; and

WHEREAS, the Council resolves to rezone the Property from the T4N.SF, “Transect Zone 4 Neighborhood Small Footprint,” zoning district to the T5N.LS-O, “Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone,” zoning district, finding it to be in the interest of the public’s health, safety, morals, and general welfare; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the shape and area of the City of Cincinnati’s official zoning map in the location of the real property commonly known as 644-664 Crown Street in the Walnut Hills neighborhood, shown on the map attached hereto as Exhibit “A” and incorporated herein by reference, and being more particularly described on the legal description contained in Exhibit “B” attached hereto and incorporated herein by reference, is hereby amended from the T4N.SF, “Transect Zone 4 Neighborhood Small Footprint,” zoning district to the T5N.LS-O, “Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone,” zoning district.

Section 2. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need for the developer to finalize its plans for the property and make application for local and federal funding sources to implement those plans.

Passed: _____, 2020

John Cranley, Mayor

Attest: _____
Clerk

Proposed Zone Change from T4N.SF to T5N.LS-O at 644-664 Crown Street in Walnut Hills

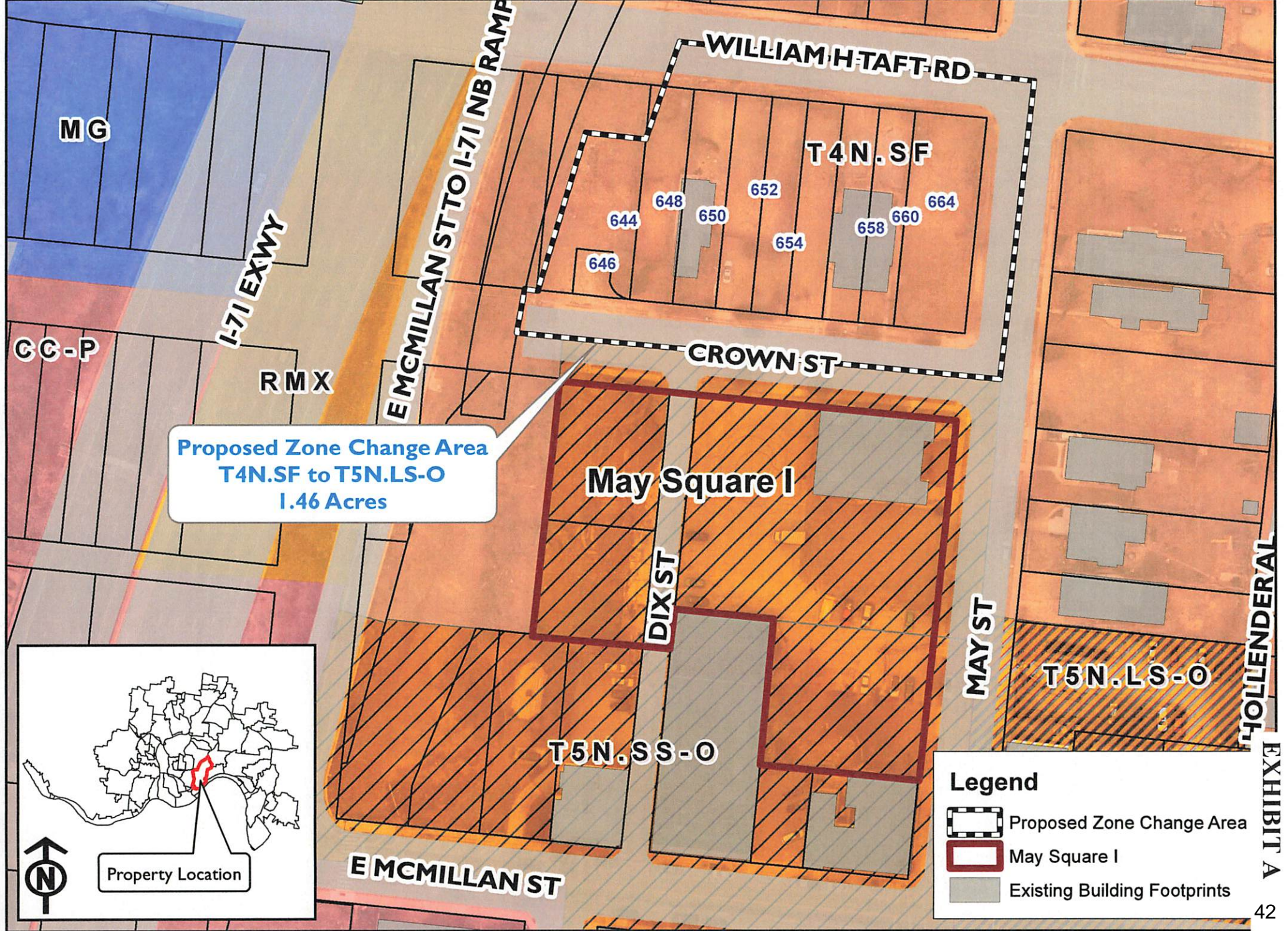


EXHIBIT B

LEGAL DESCRIPTION

1.460 ACRE

Situated in Section 8, Town 3, Fractional Range 2, Miami Purchase, City of Cincinnati, being part of Arnd Katterhorn's Subdivision as recorded in P.B. 3 Pg. 313, the boundary of which being more particularly described as follows:

BEGINNING at the intersection of the centerlines of Crown Street and May Street;

Thence along the centerline of Crown Street, North $83^{\circ}56'07''$ West a distance of 346.50 feet to a point in the east right of way line of Interstate 71;

Thence along said right of way line the following five (5) courses:

1. North $19^{\circ}20'43''$ East a distance of 30.82 feet;
2. South $83^{\circ}56'07''$ East a distance of 9.00 feet;
3. North $17^{\circ}25'36''$ East a distance of 114.76 feet;
4. South $83^{\circ}56'10''$ East a distance of 42.00 feet;
5. North $20^{\circ}37'19''$ East a distance of 70.26 feet to the centerline of William Howard Taft Road;

Thence along said centerline, South $83^{\circ}56'07''$ East a distance of 247.44 feet to the centerline of May Street;

Thence along the centerline of May Street South $05^{\circ}52'16''$ West a distance of 210.51 feet to the POINT OF BEGINNING.

Said parcel contains 1.460 acres, more or less.

The bearings of this description are based on State Plane Coordinates, Ohio South Zone, NAD 83.

This legal description was based on a field survey under the direction of Daniel K. York, Ohio Professional Surveyor Number S-8729 in December of 2018.

August 4, 2020

To: Mayor and Members of City Council
From: Paula Boggs Muething, Interim City Manager
Subject: Ordinance – 2980 Disney Street Zone Change in Oakley

Transmitted is an Ordinance captioned:

AMENDING the official zoning map of the City of Cincinnati to rezone certain real property located in the Oakley neighborhood and commonly known as 2980 Disney Street from the CG-A, “Commercial General Auto-Oriented,” zoning district to Planned Development District No. 89, “Graphite Oakley.”

Summary

Local Oakley LLC owns the entirety of the former Cast-Fab site in Oakley, consisting of 28.0001 acres. The Oakley Mills Subdivision Improvement Plan (SIP) was previously approved by the City Planning Commission on June 7, 2019. The Oakley Mills subdivision created eight new parcels and a new future public street, which has been referenced to as Local Oakley Drive. The final street name will be selected when the Oakley Mills SIP comes back before the City Planning Commission as a Final Plat review.

The area requested to be rezoned consists of four vacant parcels measuring approximately 8.1 acres in size that was created as part of the Oakley Mills subdivision. Hills Properties, the petitioner for the zone change, has an option to purchase the 8.1 acre site from Local Oakley LLC. The agent for the petitioner, Anne McBride, has submitted a proposed zone change to Planned Development, Concept Plan and Development Program Statement for Hills Properties to develop and maintain 316 residential units in five buildings.

On July 17, 2020, the City Planning Commission recommended the following to City Council:

- 1) **ACCEPT** the Concept Plan and Development Program Statement as submitted;
- 2) **ADOPT** the Department of City Planning Findings as detailed on page 8 of the staff report; and
- 3) **APPROVE** the proposed zone change from CG-A (Commercial General Auto-Oriented) to PD (Planned Development) including the Concept Plan and Development Program Statement for 2980 Disney Street in Oakley. with the following condition:
 - a. The subject development must follow the additional requirements listed in the Coordinated Site Review Committee letter (Exhibit J) to ensure that the Planned Development (PD) meets the requirements of all departments as they apply for all permits.

cc: Katherine Keough-Jurs, AICP, Director, Department of City Planning

AMENDING the official zoning map of the City of Cincinnati to rezone certain real property located in the Oakley neighborhood and commonly known as 2980 Disney Street from the CG-A, “Commercial General Auto-Oriented,” zoning district to Planned Development District No. 89, “Graphite Oakley.”

WHEREAS, Hills Properties (“Petitioner”) has obtained an option to purchase certain real property in the Oakley neighborhood commonly known as 2980 Disney Street (“Property”), which property contains approximately 8.1 acres excluding right-of-way; and

WHEREAS, the Property is the site of a former factory and is currently considered a brownfield site; and

WHEREAS, Petitioner seeks to develop the Property into a residential community containing five multi-family buildings consisting of up to approximately 316 residential rental units in the aggregate and 565 off-street parking spaces (“Project”); and

WHEREAS, the Petitioner has sufficient control over the Property to effect the proposed plan and has petitioned the City to rezone the Property from the CG-A, “Commercial General Auto-Oriented,” zoning district to Planned Development District No. 89, “Graphite Oakley,” to permit the construction of the Project; and

WHEREAS, the Petitioner has submitted a concept plan and development program statement for the Project, which concept plan and development program statement describe the land use and development regulations that will govern the Project and which documents otherwise meet the requirements of Cincinnati Municipal Code Section 1429-09; and

WHEREAS, on July 17, 2020, the City Planning Commission approved the rezoning of the Property from the CG-A, “Commercial General Auto-Oriented,” zoning district to a planned development upon a finding that: (i) the Petitioner’s concept plan and development program statement are consistent with applicable plans and policies and are compatible with surrounding development; (ii) the concept plan and development program enhance the potential for superior urban design in comparison with the development under the base district regulations that would apply if the plan were not approved; (iii) deviations from the base district regulations applicable to the property at the time of the Petitioner’s application are justified by compensating benefits of the concept plan and development program statement; and (iv) the concept plan and development program statement include adequate provisions for utility services, refuse collection, open space, landscaping and buffering, pedestrian circulation, traffic circulation, building design, and building location; and

WHEREAS, a committee of Council held a public hearing on the proposed rezoning of the Property following due and proper notice pursuant to Cincinnati Municipal Code Section 111-1, and the committee approved the rezoning, finding it in the interest of the general public's health, safety, morals, and welfare; and

WHEREAS, the Project is consistent with the "Live" Initiative Area of *Plan Cincinnati* (2012), which has a goal to "provide a full spectrum of housing options, and to improve housing quality and affordability," (page 156) and to "provide a full spectrum of housing options and improve housing quality and affordability," (page 164) and to "improve the quality and number of moderate to high-income rental and homeowner units," (page 165); and

WHEREAS, the Project is further consistent with the *Oakley Master Plan* (2019), including its goal to "ensure that future growth is guided by zoning and planning that will preserve Oakley as a thriving, unique, and pedestrian-scaled urban neighborhood," (page 80) and to "evaluate the appropriateness of the existing zoning map for vacant and underutilized properties," (page 67); and

WHEREAS, Council considers the establishment of Planned Development District No. 89, "Graphite Oakley," to be in the best interests of the City and the general public's health, safety, morals, and welfare; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the Council hereby adopts as its own independent findings the Department of City Planning's and the Cincinnati Planning Commission's findings that the planned development proposed by Hills Properties for the real property in the Oakley neighborhood commonly known as 2980 Disney Street ("Property") conforms to the requirements of Cincinnati Municipal Code Sections 1429-05, 1429-09, and 1429-11.

Section 2. That the shape and area of the City's official zoning map in the location of the Property, which real property is identified on the map attached hereto as Exhibit "A" and made a part hereof, and which real property is more particularly described on Exhibit "B," attached hereto and made a part hereof, is hereby amended from the CG-A, "Commercial General Auto-Oriented," zoning district to Planned Development District No. 89, "Graphite Oakley."

Section 3. That the development program statement, attached hereto as Exhibit "C" and made a part hereof, and the concept plan, attached hereto as Exhibit "D" and made a part hereof,

are hereby approved. The approved development program statement and concept plan shall govern the use and development of the Property during the effective period of the Planned Development District No. 89, "Graphite Oakley."

Section 4. That, should Planned Development District No. 89, "Graphite Oakley" lapse pursuant to provisions of Cincinnati Municipal Code Chapter 1429, "Planned Development Districts," the Property shall revert to the CG-A, "Commercial General Auto-Oriented," zoning district in effect immediately prior to the effective date of Planned Development District No. 89, "Graphite Oakley."

Section 5. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: _____, 2020

John Cranley, Mayor

Attest: _____
Clerk

Proposed Zone Change from CG-A to PD (Planned Development) in Oakley

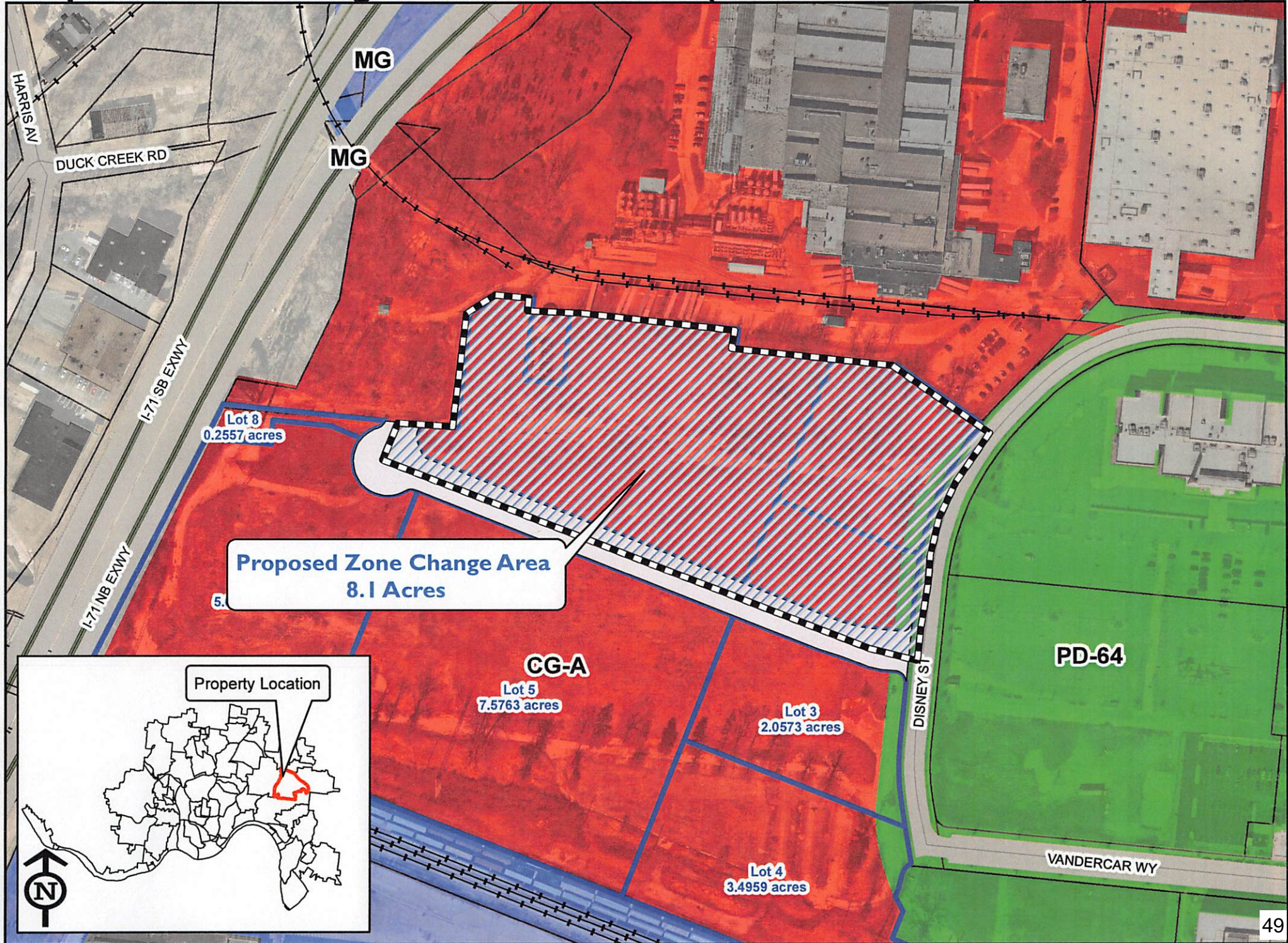


EXHIBIT B

7) South 84°19'07" East, 302.37 feet to a point;
8) South 05°40'53" West, 36.00 feet to a point;
9) South 84°19'07" East, 288.92 feet to a point;
10) South 55°11'32" East, 211.90 feet to a point in the centerline of said Disney Street;
Thence with the proposed zoning line and the centerline of said Disney Street, along the following two(2) courses and distances:

- 1) On curve to the left having a radius of 501.48 feet, an arc distance of 294.43 feet, a delta angle of 33°38'23", the chord bears, South 22°35'03" West, 290.22 feet to a point;
- 2) South 05°45'54" West, 124.16 feet to the POINT of BEGINNING.

Containing 9.1317 acres of land more or less.

The above description was prepared from a Zoning Plat by McGill Smith Punshon, Inc. dated 05/10/20. The bearings in the above description are based Plat Book 473, Pages 49-50, Hamilton County, Ohio Recorder's Office.

I hereby certify that the above description is a complete, proper and legal description of the property to be re-classified herein. The above description is based on existing deeds and plats of record and is not based on an actual field survey. Said description is to be used for the purpose of re-classification only, and is not to be used for the transfer of property.

 5/13/20
Louis J. Hanser P.S. #7843

Prepared by: McGill Smith Punshon, Inc.
Date: 05/13/20

19852.003-LEG-ZON.docx



EXHIBIT C

Graphite Oakley Program Statement

Hills Properties has acquired an option to purchase 8.1 +/- acres of vacant property located at the northwest corner of Disney Street and Local Oakley Drive in Oakley. The site, which is part of the former Cast-Fab development, is zoned "CG-A" Commercial General – Auto Oriented District. A total of four parcels, currently owned by Local Oakley LLC, make up the development site.

A zone map amendment is being requested to reclassify the property to the "PD" Planned Development District. The "PD" District would allow for the property to be redeveloped as a residential community with 316 units in five buildings. Accessed from both Disney Street and Local Oakley Drive, the development will feature both garage and surface parking. Graphite Oakley will have a density of 39.25 units to the acre and feature 35.7% of the site as open space. The development would be a mixture of one and two bedroom residences, many of which will also feature a den. Units will have either 1½ or 2½ baths. The residences will be similar to other Hills Properties developments in Blue Ash (49 Hundred) and West Chester (The Savoy), and will feature granite countertops, stainless-steel appliances, outdoor living areas, washer and dryers, valet trash service, and other upscale features. The residential units will be located in five buildings each of which will have five stories. The ground floor of each structure will be devoted to resident parking providing a total of 262 parking spaces, as well as storage for bikes. Another 303 surface spaces are located on the site for a total of 565 parking spaces within the development. Parking spaces (31) are proposed along Disney Street and Local Oakley Drive. The Graphite Oakley community will offer a host of amenities for residents including a pool, social deck, fire pits, clubhouse with fitness center, outdoor gathering spots, and game area.

In creating a number of these communities, Hills Properties, which has been in business since 1958, finds that the average resident is an empty-nester or young professional. The buildings within the Graphite Oakley community feature a modern design that offer a mixture of quality building materials in a natural color palette. Constructed primarily of brick veneer and hardie panel, the elevations use color and design elements to create interest and provide scale to the buildings. All roof mounted equipment will be screened by parapet walls. The perimeter and campus of Graphite Oakley will be landscaped with a variety of larger size plants, many of which are native to Ohio.

The Graphite Oakley, developed as a Planned Development, will allow for the coordinated development of the parcels as a residential community. This is consistent with many of the goals contained in "Plan Cincinnati" such as:

"Offer housing options of varied sizes and types for residents at all stages of life."

"Improve the quality and number of moderate to high-income rental and homeowner units."

"Increase the stock of quality moderate and upper income housing to help increase population and expand our tax base."

Additionally, the Graphite Oakley is also consistent with a number of the goals of the recently adopted Oakley Master Plan, including:

- **“Strategy #2” “Encourage bicycling in Oakley”:**
The proposed development will contain bike storage areas for residents’ use, as it is expected many of the Graphite residents will take advantage of the development’s location and bike to activities in Oakley.
- **“Connecting our Neighborhood”:**
The Graphite Oakley will be developed adjacent to Local Oakley Drive and Disney Street, both of which have/will have public sidewalks. The development will have multiple pedestrian connections to the public sidewalks and pedestrian pathways within the community.
- **“Investing in our Business”:**
Residents of The Graphite Oakley will most surely take advantage of and support the numerous local dining, entertainment, and shopping options available in Oakley.
- **“Increase Green Space in Oakley”:**
With 2.87 acres / 35% of site remaining as open space, The Graphite Oakley will contribute to this goal.
- **“Ensure that new developments do not allow parking between building and streets and encourage parking behind buildings”:**
The proposed parking for Graphite Oakley exceeds that required by Section 1425.03, and will all, with the exception of six spaces, be located under or behind buildings.
- **“Encourage developers to create green space and improve sustainability. Plant a mix of tree sizes in parking lot and along parking lot edges”:**
The Graphite Oakley has 35.7% of the 8.1 acres as open spaces. A variety of trees, many of which are native species, are being used at sizes ranging from 6’ – 7’ and 2½” - 3½”.

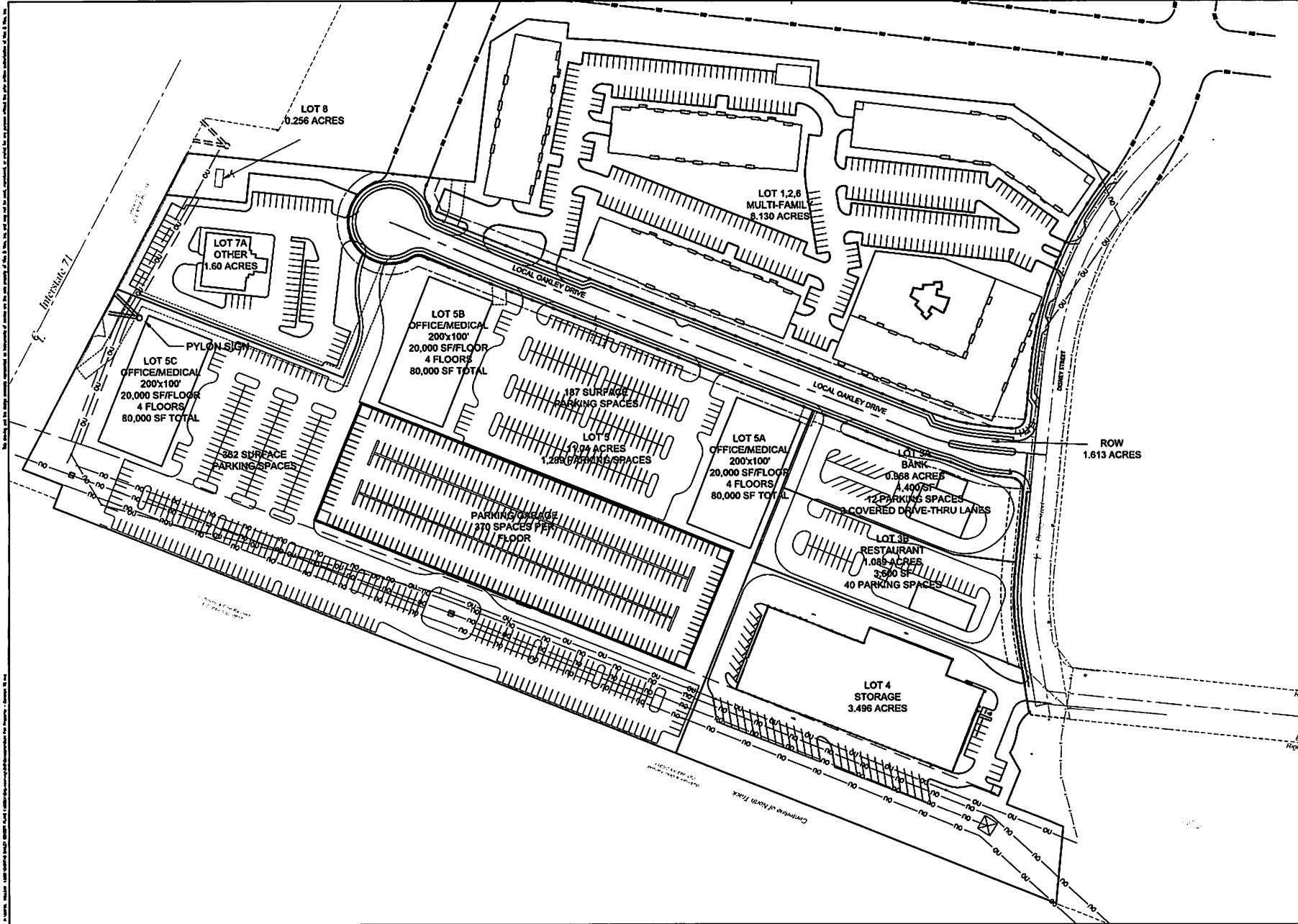
Hills Properties has met with the Oakley Community Council on a number of occasions. The Community Council, at their March 3, 2020 meeting voted to support the “PD” request that will allow Graphite Oakley to move forward. If approved, Hills Properties would begin construction this fall, and would anticipate that residents could begin moving in late 2021 or early 2022. The entire development will be constructed at one time.

We believe that the proposed development will create a high quality residential community that will offer another housing opportunity for Oakley residents and those wishing to be a part of the community. Graphite Oakley will transition a long vacant former industrial site into a community that will not only increase the tax base for the City but provide additional residential options within Oakley and support for local businesses.

MDC #4368



EXHIBIT D



1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

VOXX & VOXX
 CIVIL ENGINEERING, SURVEYING, AND LANDSCAPE ARCHITECTURE
 448 Edinger Road • Edinger, Kentucky 40319
 Phone: (606) 333-1100 • Fax: (606) 333-1000
 www.voxx.biz



**CAST FAB PROPERTY
 CONCEPT PLAN**
 CINCINNATI, HAMILTON COUNTY, OHIO
OVERALL CONCEPT - 72

Project No.	172722	Client	
Date	02/20/22	Scale	AS SHOWN
Sheet No.	72	Total Sheets	77
C.100			

City of Cincinnati



Interdepartment
Correspondence Sheet

Date: August 4, 2020

To: Nicole Crawford, Office of the Clerk of Council

From: Katherine Keough-Jurs, AICP, Director, Department of City Planning

Copies to: Andy Juengling, AICP, Senior City Planner, Department of City Planning

Subject: **AMENDING** the official zoning map of the City of Cincinnati to rezone certain real property located in the Oakley neighborhood and commonly known as 2980 Disney Street from the CG-A, "Commercial General Auto-Oriented," zoning district to Planned Development District No. 89, "Graphite Oakley."

The above referenced Ordinance is requested to be placed on a Council Committee meeting agenda following a required 14-day notification period by mail and in the City Bulletin.

Included in this submission are the following items:

- 1) The transmittal letter to the Mayor and City Council;
- 2) A copy of the City Planning Commission staff report dated July 17, 2020;
- 3) The Ordinance Amending the Official Zoning Map of the City of Cincinnati;
- 4) Mailing labels for the notice of the public hearing at a Council Committee; and
- 5) A copy of the mailing labels for your file.

August 4, 2020

Cincinnati City Council
Council Chambers, City Hall
Cincinnati, Ohio 45202

Dear Members of Council:

We are transmitting herewith an Ordinance captioned as follows:

AMENDING the official zoning map of the City of Cincinnati to rezone certain real property located in the Oakley neighborhood and commonly known as 2980 Disney Street from the CG-A, “Commercial General Auto-Oriented,” zoning district to Planned Development District No. 89, “Graphite Oakley.”

Summary

Local Oakley LLC owns the entirety of the former Cast-Fab site in Oakley, consisting of 28.0001 acres. The Oakley Mills Subdivision Improvement Plan (SIP) was previously approved by the City Planning Commission on June 7, 2019. The Oakley Mills subdivision created eight new parcels and a new future public street, which has been referenced to as Local Oakley Drive. The final street name will be selected when the Oakley Mills SIP comes back before the City Planning Commission as a Final Plat review.

The area requested to be rezoned consists of four vacant parcels measuring approximately 8.1 acres in size that was created as part of the Oakley Mills subdivision. Hills Properties, the petitioner for the zone change, has an option to purchase the 8.1 acre site from Local Oakley LLC. The agent for the petitioner, Anne McBride, has submitted a proposed zone change to Planned Development, Concept Plan and Development Program Statement for Hills Properties to develop and maintain 316 residential units in five buildings.

On July 17, 2020, the City Planning Commission recommended the following to City Council:

- 1) **ACCEPT** the Concept Plan and Development Program Statement as submitted;
- 2) **ADOPT** the Department of City Planning Findings as detailed on page 8 of the staff report; and
- 3) **APPROVE** the proposed zone change from CG-A (Commercial General Auto-Oriented) to PD (Planned Development) including the Concept Plan and Development Program Statement for 2980 Disney Street in Oakley. with the following condition:
 - a. The subject development must follow the additional requirements listed in the Coordinated Site Review Committee letter (Exhibit J) to ensure that the Planned Development (PD) meets the requirements of all departments as they apply for all permits.

Motion to Approve: Mr. Juech
Seconded: Mr. Samad

Ayes: Mr. Juech
Mr. Samad
Mr. Eby
Mr. Stallworth

THE CITY PLANNING COMMISSION

Katherine Keough-Jurs, AICP, Director
Department of City Planning

Honorable City Planning Commission
Cincinnati, Ohio

July 17, 2020

SUBJECT: A report and recommendation on a proposed zone change from CG-A (Commercial General Auto-Oriented) to PD (Planned Development) including the Concept Plan and Development Program Statement for 2980 Disney Street in Oakley.

GENERAL INFORMATION:

Location: Four parcels, including 2980 Disney Street and three parcels generally bound by Disney Street to the east and the proposed Local Oakley Drive to the south. (Exhibit A)

Petitioner: Hills Properties
9901 Hunt Road #300
Cincinnati, OH 45242

Agent: Anne McBride, McBride Dale Clarion
5720 Dragon Way Suite 300
Cincinnati, OH 45227

Owner: Local Oakley LLC
7755 Montgomery Road
Cincinnati, OH 45236

Request: To change the zoning of the property from CG-A (Commercial General Auto-Oriented) to PD (Planned Development) to facilitate the development of 316 multi-family residential units.

ATTACHMENTS:

Provided in addition to this report are the following attachments:

- Exhibit A Zoning Map
- Exhibit B Petition for Zone Change
- Exhibit C Zone Change Plat
- Exhibit D Legal Description
- Exhibit E Development Program Statement
- Exhibit F Site Plan
- Exhibit G Preliminary Site Renderings
- Exhibit H Layout Plan
- Exhibit I Grading, Infrastructure, and Landscaping Plans
- Exhibit J Coordinated Site Review Application and Letter (CPRE 200048)
- Exhibit K Letter of Support from Oakley Community Council

BACKGROUND:

Local Oakley LLC owns the entirety of the former Cast-Fab site in Oakley, consisting of 28.0001 acres. The Oakley Mills Subdivision Improvement Plan (SIP) was previously approved by the City Planning Commission on June 7, 2019. The Oakley Mills subdivision created eight new parcels and a new future public street, which has been referenced to as Local Oakley Drive. The final street name will be selected when the Oakley Mills SIP comes back before the City Planning Commission as a Final Plat review.

The area requested to be rezoned consists of four vacant parcels of approximately 8.1 acres in size that was created as part of the Oakley Mills subdivision. Hills Properties, the petitioner for the zone change, has an option to purchase the 8.1 acre site from Local Oakley LLC. The agent for the petitioner, Anne McBride, has submitted a proposed zone change to Planned Development, Concept Plan and Development Program Statement for Hills Properties to develop and maintain 316 residential units in five buildings.

As the site is a former factory brownfield, the developer chose to construct multi-family units in order to minimize the required site remediation as addressed in the Coordinated Site Review (CSR) letter (Exhibit J). Hills Properties has chosen to name the development Graphite Oakley.

ADJACENT LAND USE AND ZONING:

The property is currently zoned CG-A (Commercial General Auto-Oriented). The existing zoning and land use surrounding the subject site is as follows:

North:

Zoning: Commercial General Auto-Oriented (CG-A)
Existing Use: Manufacturing, owned by the former Cincinnati Milacron

East:

Zoning: Planned Development (PD-64, Oakley Station)
Existing Use: Cinemark movie theater with surface parking lot

South:

Zoning: Commercial General Auto-Oriented (CG-A)
Existing Use: Vacant undeveloped parcels

West:

Zoning: Commercial General Auto-Oriented (CG-A)
Existing Use: Vacant, owned by the former Cincinnati Milacron, Interstate 71

PROPOSED DEVELOPMENT:

Anne McBride, the agent for the petitioner, has requested the zone change to Planned Development (PD) to allow Hills Properties to coordinate the development 316 multi-family residential units within five buildings.

Buildings and Structures

The development plan includes five multi-family unit buildings. Each building is proposed to be five stories in height. The ground floor of each building will be used for resident parking, providing a total of 262 parking spaces as well as storage for bikes. Additional structures include a pool, deck, clubhouse, and a maintenance building. Site plans can be seen in Exhibit F.

Street Rights-of-Way and Circulation

The Oakley Mills Subdivision Improvement Plan (SIP) included the creation of a new public street, currently known as Local Oakley Drive. Both Disney Street and Local Oakley Drive will provide access to the proposed development. Additional right -of-way along Disney Street has been requested in order to facilitate additional on-street parking spaces. More detailed road plans, as requested by the Department of Transportation (DOT) in the CSR report (Exhibit J), will be addressed with the Final Plat for the overall Oakley Mills subdivision site. DOT has no immediate requirements to move the project forward. The Layout Plan (Exhibit H) shows the exact points of ingress and egress for the proposed development.

Parking

A total of 565 parking spaces within the development will be provided. The ground floor of each building will provide residents with a total of 262 parking spaces, with surface parking adding another 303 spaces. An additional 31 on-street parking spaces will be provided along Disney Street and Local Oakley Drive. The Layout Plan (Exhibit H) shows the configuration of all proposed parking spaces on-street and within the proposed development.

Building Heights

The five proposed multi-family unit buildings will be five stories high, with the first (ground level) floor devoted to parking. Building design will be used to screen the first floor parking. Preliminary Site Renderings show elevation and design integrated screening (Exhibit G).

Proposed Topography, Drainage, Landscaping, and Buffer Plantings

The proposed zone change request area was once a highly developed industrial area. The site is relatively flat but will require grading for construction and infrastructure installation. Landscaping will also be installed at the perimeter of all five buildings and within parking lot medians. There are planned buffer areas along the northern boundary of the property that is closest to Interstate 71. A storm water drainage system will be constructed to collect, manage, and convey stormwater to the existing sewer system surrounding the proposed development. Exhibit I illustrates site grading and proposed infrastructure installation plans.

Ownership

Local Oakley LLC is the sole owner of the entire Oakley Mills subdivision site. Hills Properties has an option to purchase the 8.1 acre subject property site contingent upon approval of this proposal.

Schedule

The applicant/developer has stated that contingent upon approval by the City Planning Commission and City Council, construction would begin in fall of 2020. It is anticipated that residents could begin moving in as soon as late 2021 or early 2022. The entire development would be constructed at one time, with no phasing. It may become necessary for the applicant/developer to adjust the existing schedule due to the COVID-19 pandemic.

Waste Management

Trash and recycling facilities will be provided on-site. Enclosed collection areas will be provided for pickup and handling of waste by the City of Cincinnati Department of Public Services.

Density and Open Space Calculations

It is estimated that 35.7% or 2.87 acres of the entire site will be dedicated to open space. This includes the pool and deck area as well as landscape buffers.

BASIC REQUIREMENTS OF A PLANNED DEVELOPMENT DISTRICT:

Per §1429-05 of the Cincinnati Zoning Code, *Basic Requirements*, PD Districts and development within PD Districts must comply with the following:

- a. **Minimum Area** – *The minimum area of a PD must be two contiguous acres.*
The proposed zone change area is an approximately 8.1 acres in size distributed among four adjacent parcels.
- b. **Ownership** – *Evidence that the applicant has sufficient control over the tract of land to affect the proposed plan, including a list of all ownership and beneficial interests in the tract of land and the proposed development are required.*
The applicant, Hills Properties, has the option to purchase the subject property from Local Oakley LLC contingent upon approval of the proposal.
- c. **Multiple buildings on a lot** – *More than one building is permitted on a lot.*
Five separate multi-family residential units as well as a maintenance building are proposed to be constructed on one parcel once parcel consolidation is complete.
- d. **Historic Landmarks and Districts** – *Whenever a Planned Development application is filed for a property wholly or partially located within a historic landmark, historic district, or involving a historic structure, the Historic Conversation Board shall advise the City Planning Commission relating to approval of the Final Development Plan.*
No portion of the site is located within a historic district, nor does it contain any historic structure or landmark.
- e. **Hillside Overlay Districts** – *Whenever a Planned Development application is filed for a property wholly or partially located within a Hillside Overlay District, the City Planning Commission shall approve the Final Development Plan.*
No portion of the site is located within a Hillside Overlay District.
- f. **Urban Design Overlay District** – *Whenever a Planned Development application is filed for a property wholly or partially located within an Urban Design Overlay District, the City Planning Commission shall approve the Final Development Plan.*
No portion of the site is located within an Urban Design Overlay District.

CONCEPT PLAN AND DEVELOPMENT PROGRAM STATEMENT:

According to §1429-09 of the Cincinnati Zoning Code, *Concept Plan and Development Program Statement*, a petition to rezone a property to PD must include a Concept Plan and Development Program Statement (Exhibit 5). The purpose is to describe the proposed use or uses to be conducted in the PD District. The Concept Plan and Development Program Statement must include text or diagrams that specify:

- a. **Plan Elements** – A survey of the tract to be developed, providing a metes and bounds description of the property and the survey of property lines and total acreage. Additionally, the plan should include the location in general terms, of land areas to be developed, including: type and description of proposed land uses, buildings and structures; street rights-of-way and driveways; parcel boundaries and proposed lots, including set back lines; building heights; pedestrian circulation systems and open space or other facilities; and proposed topography, drainage, landscaping and buffer plantings.

The petitioner has submitted a Development Program Statement (Exhibit E) that includes sufficient information regarding proposed uses, building locations, street access, and open space and landscaping. Grading, infrastructure, and landscaping plans are included as Exhibit I.

- b. **Ownership** – Evidence that the applicant has sufficient control over the tract of land to affect the proposed plan, including a list of all ownership and beneficial interests in the tract of land and the proposed development.

Local Oakley LLC owns the entire Oakley Mills subdivision site. The applicant, Hills Properties, has the option to purchase the subject property from Local Oakley LLC contingent upon approval of the proposal.

- c. **Schedule** – Time schedule of projected development, if the total site is to be developed in phases or if construction is to extend beyond a two-year time period.

The applicant/developer has stated that construction would begin in fall of 2020. It is anticipated that residents could begin moving in as soon as late 2021 or early 2022. The entire development would be constructed at one time, with no phasing. It may become necessary for the applicant/developer to adjust the existing schedule due to the COVID-19 pandemic.

- d. **Preliminary Reviews** – A preliminary review of geo-technical, sewage, water, drainage and refuse collection.

The petitioner has been in contact with the City’s Department of Transportation and Engineering (DOTE), Metropolitan Sewer District (MSD), Stormwater Management Utility (SMU), and Greater Cincinnati Water Works (GCWW). The project has also gone through a Development Design Review as part of the City’s Coordinated Site Review Process.

- e. **Density and Open Space** – Any other information requested by the Director of City Planning or the City Planning Commission

The Development Program Statement states that 35.7% or 2.87 acres of the entire site will be dedicated to open space. This includes the pool and deck area as well as landscape buffers.

FINAL DEVELOPMENT PLAN:

Pursuant to §1429-13 of the Cincinnati Zoning Code, a Final Development Plan shall be submitted to the City Planning Commission after approval of the Concept Plan and Planned Development designation by City Council.

A Final Development Plan must be filed for any portion of an approved Concept Plan that the petitioner wishes to develop; this plan must conform substantially to the approved Concept Plan and Development Program Statement. The Final Development Plan requirements anticipate changes from the Concept Plan by requiring significantly more detail. Approval of the Final Development Plan would allow the petitioner to obtain the necessary permits to proceed with development. The process allows the City Planning Commission to authorize staff to approve Minor Amendments that might be necessary and establishes the process for Major Amendments that must be reviewed and approved.

COORDINATED SITE REVIEW:

The entire Oakley Mills subdivision site was reviewed as a Development Plan and Subdivision Improvement Plan (SIP) through the CSR process on May 17, 2019. The proposed zone change and Concept Plan was reviewed by the CSR team on June 19, 2020. A conference call with the agent was held on June 23, 2020 to allow the petitioner the opportunity to understand the comments outlined by each of the Departments. Some of the comments in the CSR letter, such as those from DOTE, are in regard to the entire Oakley Mills subdivision site and not necessarily the proposed zone change site. No objections were voiced regarding the zone change or Concept Plan, however, additional requirements will need to be met before permits are obtained. The full letter is attached as Exhibit J.

The petitioner received a copy of the comments from each of the Departments and is aware of the additional requirements needed before obtaining permits. The applicant and the development team have been working with the respective departments to resolve these requirements.

PUBLIC COMMENT:

Staff attended the February 2, 2020 meeting of the Oakley Community Council (OCC) to provide a brief general summary of the PD (Planned Development) process. At the same meeting, Hills Properties presented their development plan proposal but did not ask for a vote of support at that time. At the March 3, 2020 OC meeting, Hills Properties asked for and received a unanimous vote of support from the OCC. The OCC letter is included as Exhibit K.

A virtual public staff conference was held on Thursday, June 25, 2020. The only attendees were the agent for the applicant and the development team. Mailed notice of the City Planning Commission meeting was sent out on July 2, 2020. No correspondence has been received to date.

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012)

The zone change request is consistent with the Goals in the Live Initiative Area of *Plan Cincinnati (2012)* to “Create a more livable community” (page 156) and to “Provide a full spectrum of housing options, and improve housing quality and affordability” (page 164).

It is also consistent with the Strategies of the Live Initiative Area to “Support and stabilize our neighborhoods” (page 160) and to “Offer housing options of varied sizes and types for residents at all stages of life” (page 165) and additionally to “Improve the quality and number of moderate to high-income rental and homeowner units” (page 165). The proposed project will develop vacant and underutilized brownfield site into a new residential multi-family development.

Oakley Master Plan (2019)

The zone change request and subsequent proposed development is consistent with the *Oakley Master Plan*, particularly with the Managing our Future Growth Focus Area and Goal 1 to “Assure that future growth is guided by zoning and planning that will preserve Oakley as a thriving, unique, and pedestrian-scaled urban neighborhood” (page 80) and Strategy #1, Action Step to ‘Evaluate the appropriateness of the existing zoning map for vacant and underutilized properties’ (page 80), and Strategy #2 to Identify neighborhood development goals for the Robertson Avenue, Forrer Street, and Disney Avenue sites...” (page 84). The Oakley Mills subdivision is located on the previous Forrer Street site and the zone change request and proposed development are part of the overall Oakley Mills development. The proposed development would move toward fulfilling the goal of development for the Forrer Street site.

CITY PLANNING COMMISSION ACTION:

According to §1429-11(a) of the Cincinnati Zoning Code, the City Planning Commission may recommend approval or conditional approval, with restrictions on the establishment of a PD District on finding that all of the following circumstances apply:

1. *The PD Concept Plan and Development Program Statement are consistent with applicable plans and policies and is compatible with surrounding development;*

The proposed residential use is compatible with similar multi-family units that are part of the adjacent Planned Development (PD-64, Oakley Station). Additionally, the *Oakley Master Plan (2019)* specifically identifies the Forrer Street site as an area included to “Identify neighborhood development goals...” (page 84) and also as a potential zone change area as identified by the Zoning Workshop held on December 18, 2018 as part of the *Oakley Master Plan* planning process (page 34).

2. *The PD Concept Plan and Development Program Statement enhance the potential for superior urban design in comparison with the development under the base district regulations that would apply if the plan were not approved;*

The proposed Planned Development would permit a coordinated residential development effort, including new construction and new public infrastructure. Additionally, the residential development’s proximity to Oakley Station would allow for increased pedestrian connectivity.

3. *Deviations from the base district regulations applicable to the property at the time of the PD application are justified by compensating benefits of the PD Concept Plan and Development Program Statement;*

The proposed land use for this property provides a productive use on what is currently an abandoned former factory site. The proposed development would not be permitted or appropriate under the existing CG-A (Commercial General Auto-Oriented) zoning designation. The PD zoning district allows the developer to be innovative in site development combining quality site and building design, open space dedication, and increased community involvement through the Planned Development process as shown by the willingness to work with the Oakley Community Council.

4. *The PD Concept Plan and Development Program Statement includes adequate provisions for utility services, refuse collection, open space, landscaping, pedestrian circulation and traffic circulation, building design and building location.*

All aspects are outlined in the Concept Plan and Development Program Statement as submitted and will be further detailed in the Final Development Plan.

ANALYSIS:

The parcels located at 2980 Disney Street were part of a former factory (Cast-Fab) site that has ceased operation. The proposed development will reactivate and remediate a mostly vacant and underutilized site into a residential multi-family development with a host of community amenities, including a pool, clubhouse, and social deck. A Planned Development allows for the coordinated development of the five multi-family unit buildings and the construction and installation of new infrastructure. This multi-family housing will be available for existing residents and neighborhood stakeholders as well as for those living outside of Oakley. It is also meant to attract suburban “empty nesters” and retirees who may be wishing to downsize their living arrangements. In addition to providing new housing opportunities, the proposed development will devote 2.87 acres or about 35.7 percent of the development site as open space. There will also be landscape buffering on the north and west sides of the proposed development area, as well as streetscaping, landscaping, and surface parking area median landscaping.

As the site was a former factory use, the zone change request area is now a brownfield site which will require site remediation. Comments concerning site remediation and other environmental concerns were addressed during the Coordinated Site Review (CSR) Advisory Team meeting by the Office of Environment and Sustainability (OES). Comments from OES include a notation that the site “is included in the larger Oakley Mills development project and is part of the former Cast Fab Technologies property Ohio EAP Voluntary Action Program (VAP) site, which is in the process of obtaining an No further Action (NFA)/Covenant Not-to-Sue (CNS) status”. In addition, the construction of at-grade multi-family residential units does not require the same degree of site remediation that a single-family residential home would require. The full comments from OES are included with the CSR Final Recommendations as Exhibit L.

The petitioner has worked to engage with the Oakley neighborhood and various City Departments to address concerns and improve the quality of the development. While there are additional requirements identified in the CSR Final Recommendations, the agent for the petitioner and development team remains committed to working with the appropriate City Departments as the Concept Plan moves to the Final Development Plan, which will be reviewed by the City Planning Commission. The Department of City Planning believes that a Planned Development is an appropriate zoning designation for this site as it allows for continued public engagement through all phases of the development. A Planned Development also provides assurance to the City and the community of the intended uses and scale for the site, and any significant modification to this would constitute as a Major Amendment to the Concept Plan and require public engagement and a public hearing process.

FINDINGS:

It is the opinion of staff of the Department of City Planning that the Concept Plan and Development Program Statement are in compliance with §1429-05 and §1429-11 (a) *City Planning Commission Action*. The proposal is consistent with the purpose of the Planned Development District Regulations.

CONCLUSIONS:

The staff of the Department of City Planning supports the proposed zone change from CG-A (Commercial General Auto-Oriented) to Planned Development (PD) including the Concept Plan and Development Program Statement to allow for a multi-family residential development for the following reasons:

1. It is consistent with the Goals in the Live Initiative Area of *Plan Cincinnati* to “Create a more livable community” (page 156) and to “Provide a full spectrum of housing options and improve housing quality and affordability” (page 164).

It is also consistent with the Strategies of the Live Initiative Area to “Support and stabilize our neighborhoods” (page 160) and to “Offer housing options of varied sizes and types for residents at all stages of life” (page 165) and additionally to “Improve the quality and number of moderate to high-income rental and homeowner units” (page 165).


2. The PD zoning is appropriate in this area as the proposed development does not conform with existing zoning. The zone change and Concept Plan are necessary to establish a PD that allows for the construction of 316 multi-family residential units within five buildings.
3. The PD zoning district requires a more extensive public process than a regular zone change, which will allow community members to have additional opportunities to be heard during the Final Development Plan for the proposal.

RECOMMENDATION:

The staff of the Department of City Planning recommends the City Planning Commission take the following actions:

- 1) **ACCEPT** the Concept Plan and Development Program Statement as submitted;
- 2) **ADOPT** the Department of City Planning Findings as detailed on page 8 of this report; and
- 3) **APPROVE** the proposed zone change from CG-A (Commercial General Auto-Oriented) to PD (Planned Development) including the Concept Plan and Development Program Statement for 2980 Disney Street in Oakley. with the following condition:
 - a. The subject development must follow the additional requirements listed in the Coordinated Site Review Committee letter (Exhibit J) to ensure that the Planned Development (PD) meets the requirements of all departments as they apply for all permits.

Respectfully submitted,



Alex Peppers, AICP, Supervising City Planner
Department of City Planning

Approved:



Katherine Keough-Jurs, AICP, Director
Department of City Planning

Proposed Zone Change from CG-A to PD (Planned Development) in Oakley

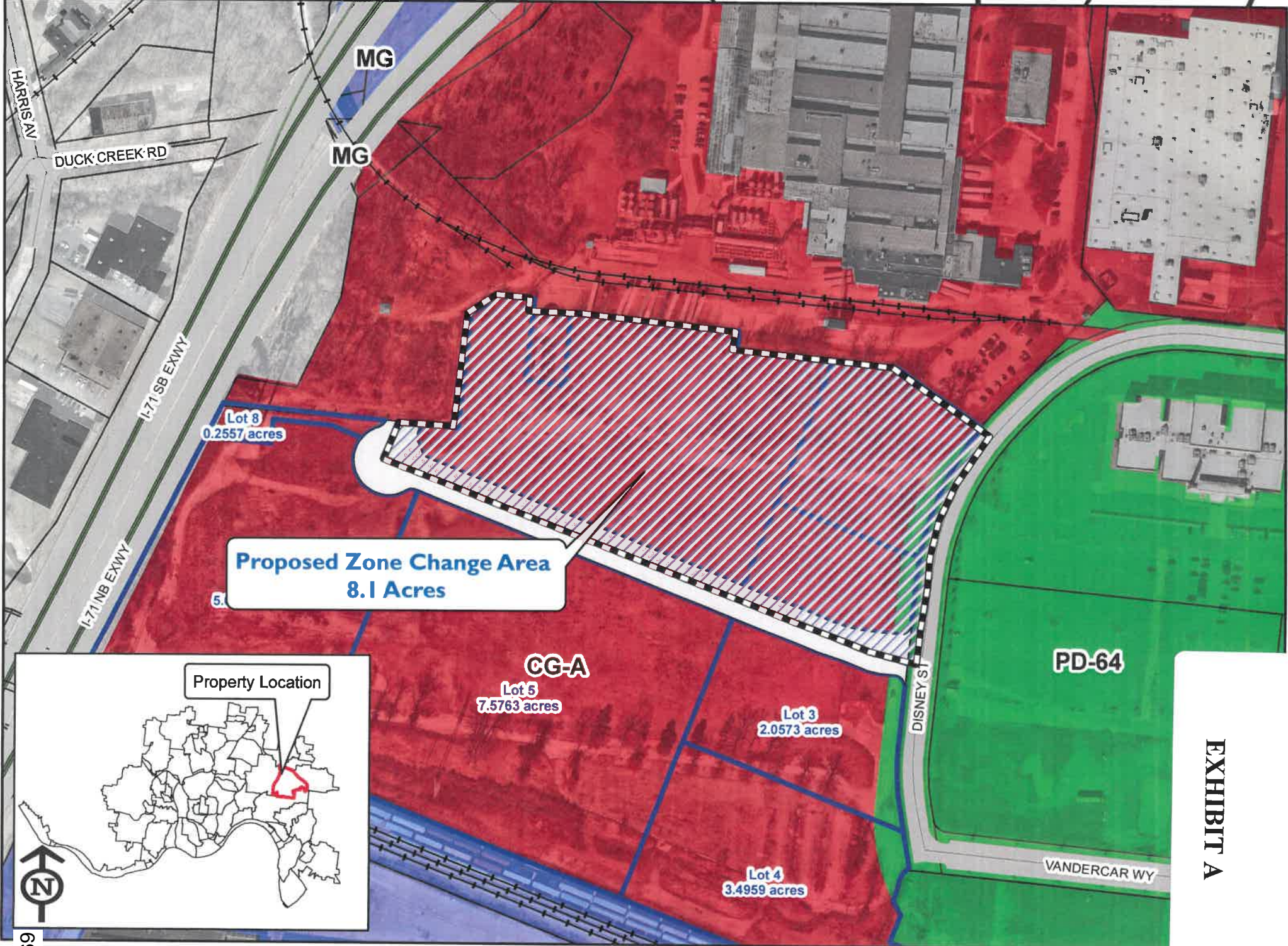


EXHIBIT A

EXHIBIT B

**PETITION FOR CHANGE OF ZONING OF PROPERTY
LOCATED IN THE CITY OF CINCINNATI, OHIO**

To: The Honorable Council of the City of Cincinnati

Date: _____

I hereby request your Honorable Body to amend the Zoning Map of the City of Cincinnati by changing the area described in the attached legal documentation and depicted on the attached plat from the "CG-A" Zone District to the "PD" Zone District.

Location of Property (Street Address): 2980 Disney Street

Area Contained in Property (Excluding Streets): 8.1 Acres

Present Use of Property: Vacant

Proposed Use of Property & Reason for Change: To allow for the development of a 316 unit Multi-family Residential Community.

Property Owner's Signature: 

Name Typed: Local Oakley, LLC.

Address: 7775 Montgomery Road, #190, Cincinnati, OH 45236 Phone: _____

Agent Signature: 

Name Typed: McBride Dale Clarion

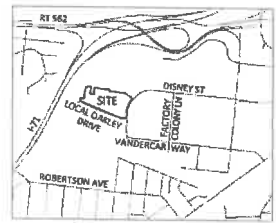
Address: 5721 Dragon Way, Suite 300, Cincinnati, OH 45227 Phone: 513-561-6232

Please Check if the Following Items are Attached

Application Fee X

Copies of Plat X

Copies of Metes and Bounds X



VICINITY MAP
NOT TO SCALE



SCALE IN FEET
0 25 50 100 175

OWNER
LOCAL OAKLEY, LLC
7753 MONTGOMERY ROAD
CHICHNATI, OHIO 45236

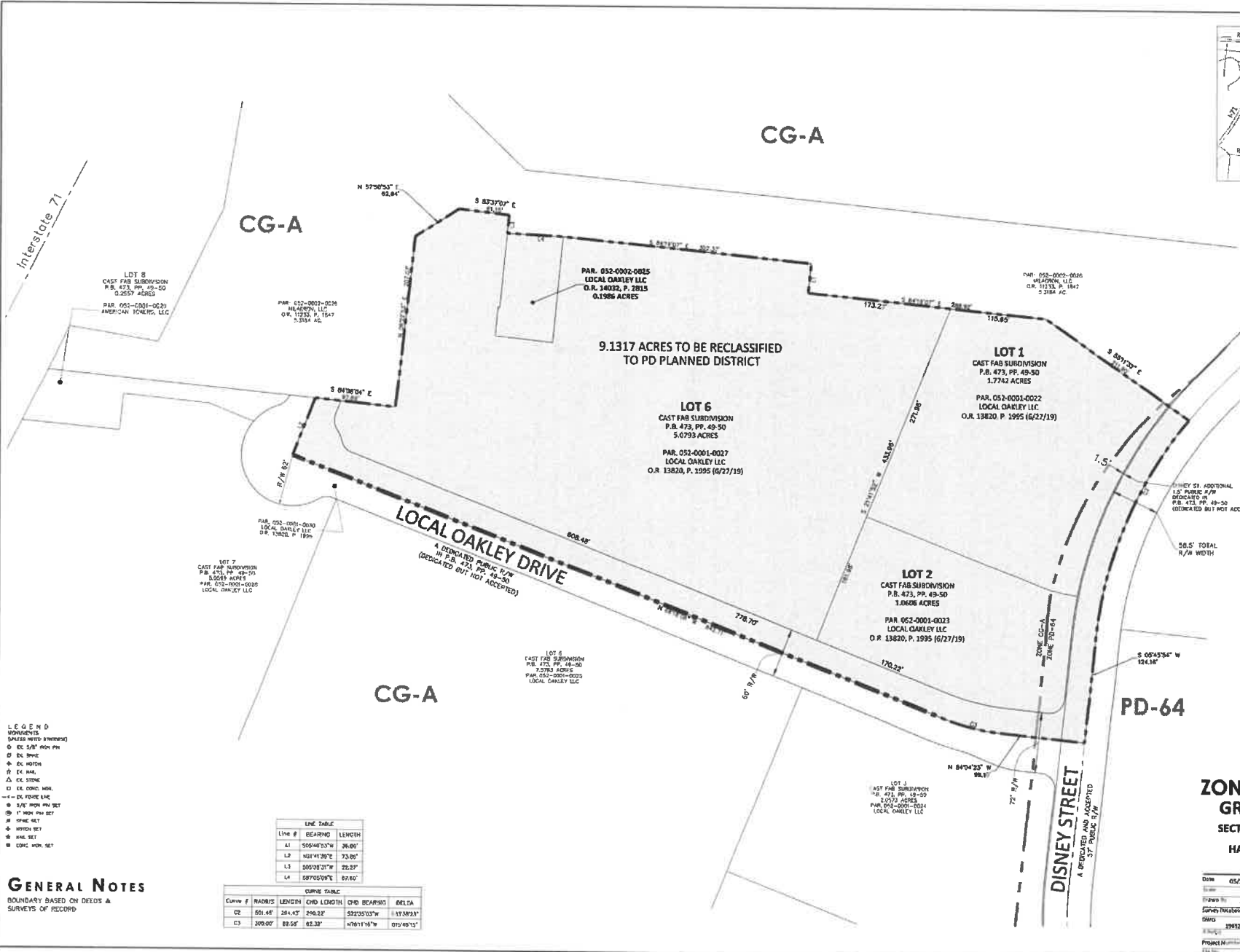
APPLICANT
WDBIRKE DALE CLARION
5721 DRAGON WAY, SUITE 300
CHICHNATI, OHIO 45227
PHONE 513-581-6242



PROPOSED
ZONE CHA
GRAPHITE
SECTION 28, TOW
CITY OF CIM
HAMILTON COI

EXHIBIT C

Date	05/10/20
Scale	1"=50'
Drawn by	SLT
Surveyed by	SLT
Checked by	SLT
Project No.	1952003-EDH-6607-3550-24-1
Sheet No.	2/1



LINE TABLE

Line #	BEARING	LENGTH
L1	S09°40'53"W	36.00'
L2	S01°41'30"E	73.00'
L3	S02°28'17"W	22.33'
L4	S87°02'09"E	89.60'

CURVE TABLE

Curve #	RAADIUS	LENGTH	CHD LENGTH	CHD BEARING	DELTA
C2	551.48'	24.43'	296.22'	S32°25'03"W	131.38°23'
C3	309.02'	82.24'	82.33'	N76°11'16"W	070°49'12'

- LEGEND**
- MONUMENTS
 - SALES WITH BENCHMARK
 - EX 5/8" IRON PIN
 - EX BRNVC
 - EX MDTM
 - EX MARK
 - EX STONE
 - EX CONC. MARK
 - EX FERRIS WIRE
 - 3/4" IRON PIN SET
 - 1" IRON PIN SET
 - STAKE SET
 - WOODEN SET
 - WIRE SET
 - CONC. WOOD SET

GENERAL NOTES
BOUNDARY BASED ON DEEDS & SURVEYS OF RECORD

I:\Projects\1952003-EDH-6607-3550-24-1_26.dwg, 5/10/2020 7:10:12 AM, AutoCAD 2010, plot

EXHIBIT D

**DESCRIPTION FOR: PROPOSED ZONING RECLASSIFICATION
 TO PD PLANNED
 DEVELOPMENT DISTRICT**

**LOCATION: 9.1317 ACRES AT THE NORTHWEST
 CORNER OF DISNEY STREET
 AND LOCAL OAKLEY DRIVE**

Situate in Section 28, Town 4, Range 2, City of Cincinnati, Hamilton County, Ohio, being all of Lot 1 (Parcel No. 052-0001-0022), Lot 2 (Parcel No. 052-0001-0023), and Lot 6 (Parcel No. 052-0001-0027), of the Cast Fab Subdivision as recorded in Plat Book 473, Pages 49-50 of the Plat of Records of Hamilton County as conveyed to Local Oakley, LLC in O.R. 13820, Page 1995 in the Hamilton County recorder's office, and being a 0.1986 Acre Tract (Parcel No. 052-0002-0025) conveyed to Local Oakley, LLC in Hamilton County, Ohio recorded in O.R. 14032, Page 2815 in said Hamilton County Ohio, recorder's office, being further described as follows;

Beginning at a point in the centerline intersection of Disney Street (R.O.W. varies) and Local Oakley Drive (R.O.W. varies);

Thence, with a proposed zoning line and the centerline of said of Local Oakley Drive, along the following four (4) courses:

- 1) North 84°04'23" West, 99.10 feet to a point;
- 2) On curve to the right having a radius of 300.00 feet, an arc distance of 82.58 feet, a delta angle of 15°11'16", the Chord bears, North 76°11'16" West, 82.32 feet to a point;
- 3) North 68°18'08" West, 842.71 feet to a point;
- 4) North 21°41'39" East, 73.86 feet to a point in the proposed zoning line and a line of a 5.3184 Acre Tract as conveyed to Milacron, LLC, in O.R. 11233, Page 1847 in the Hamilton County Ohio, recorder's office Ohio;

Thence, along the proposed zoning line, and with the southerly line of said 5.3184 Acre Tract, along the following ten (10)

- 1) South 84°08'04" East, 97.69 feet to a point;
- 2) North 06°22'53" East, 207.07 feet to a point;
- 3) North 57°50'53" East, 62.64 feet to a point;
- 4) South 83°37'07" East, 61.15 feet to a point;
- 5) South 05°38'31" West, 22.27 feet to a point;
- 6) South 87°05'09" East, 67.60 feet to a point;

McGill Smith Punshon, Inc.
3700 Park 42 Drive ■ Suite 190B ■ Cincinnati, Ohio ■ 45241-2097
513.759.0004 ■ Fax 513.563.7099 ■ www.mcgillsmithpunshon.com



- 7) South 84°19'07" East, 302.37 feet to a point;
- 8) South 05°40'53" West, 36.00 feet to a point;
- 9) South 84°19'07" East, 288.92 feet to a point;
- 10) South 55°11'32" East, 211.90 feet to a point in the centerline of said Disney Street;

Thence with the proposed zoning line and the centerline of said Disney Street, along the following two(2) courses and distances:

- 1) On curve to the left having a radius of 501.48 feet, an arc distance of 294.43 feet, a delta angle of 33°38'23", the chord bears, South 22°35'03" West, 290.22 feet to a point;
- 2) South 05°45'54" West, 124.16 feet to the POINT of BEGINNING.

Containing 9.1317 acres of land more or less.

The above description was prepared from a Zoning Plat by McGill Smith Punshon, Inc. dated 05/10/20. The bearings in the above description are based Plat Book 473, Pages 49-50, Hamilton County, Ohio Recorder's Office.

I hereby certify that the above description is a complete, proper and legal description of the property to be re-classified herein. The above description is based on existing deeds and plats of record and is not based on an actual field survey. Said description is to be used for the purpose of re-classification only, and is not to be used for the transfer of property.

 5/13/20
 Louis J Hanser P.S. #7843



Prepared by: McGill Smith Punshon, Inc.
 Date: 05/13/20

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Graphite Oakley Program Statement

Hills Properties has acquired an option to purchase 8.1 +/- acres of vacant property located at the northwest corner of Disney Street and Local Oakley Drive in Oakley. The site, which is part of the former Cast-Fab development, is zoned "CG-A" Commercial General – Auto Oriented District. A total of four parcels, currently owned by Local Oakley LLC, make up the development site.

A zone map amendment is being requested to reclassify the property to the "PD" Planned Development District. The "PD" District would allow for the property to be redeveloped as a residential community with 316 units in five buildings. Accessed from both Disney Street and Local Oakley Drive, the development will feature both garage and surface parking. Graphite Oakley will have a density of 39.25 units to the acre and feature 35.7% of the site as open space. The development would be a mixture of one and two bedroom residences, many of which will also feature a den. Units will have either 1½ or 2½ baths. The residences will be similar to other Hills Properties developments in Blue Ash (49 Hundred) and West Chester (The Savoy), and will feature granite countertops, stainless-steel appliances, outdoor living areas, washer and dryers, valet trash service, and other upscale features. The residential units will be located in five buildings each of which will have five stories. The ground floor of each structure will be devoted to resident parking providing a total of 262 parking spaces, as well as storage for bikes. Another 303 surface spaces are located on the site for a total of 565 parking spaces within the development. Parking spaces (31) are proposed along Disney Street and Local Oakley Drive. The Graphite Oakley community will offer a host of amenities for residents including a pool, social deck, fire pits, clubhouse with fitness center, outdoor gathering spots, and game area.

In creating a number of these communities, Hills Properties, which has been in business since 1958, finds that the average resident is an empty-nester or young professional. The buildings within the Graphite Oakley community feature a modern design that offer a mixture of quality building materials in a natural color palette. Constructed primarily of brick veneer and hardie panel, the elevations use color and design elements to create interest and provide scale to the buildings. All roof mounted equipment will be screened by parapet walls. The perimeter and campus of Graphite Oakley will be landscaped with a variety of larger size plants, many of which are native to Ohio.

The Graphite Oakley, developed as a Planned Development, will allow for the coordinated development of the parcels as a residential community. This is consistent with many of the goals contained in "Plan Cincinnati" such as:

"Offer housing options of varied sizes and types for residents at all stages of life."

"Improve the quality and number of moderate to high-income rental and homeowner units."

"Increase the stock of quality moderate and upper income housing to help increase population and expand our tax base."

Additionally, the Graphite Oakley is also consistent with a number of the goals of the recently adopted Oakley Master Plan, including:

- **“Strategy #2” “Encourage bicycling in Oakley”:**
The proposed development will contain bike storage areas for residents’ use, as it is expected many of the Graphite residents will take advantage of the development’s location and bike to activities in Oakley.
- **“Connecting our Neighborhood”:**
The Graphite Oakley will be developed adjacent to Local Oakley Drive and Disney Street, both of which have/will have public sidewalks. The development will have multiple pedestrian connections to the public sidewalks and pedestrian pathways within the community.
- **“Investing in our Business”:**
Residents of The Graphite Oakley will most surely take advantage of and support the numerous local dining, entertainment, and shopping options available in Oakley.
- **“Increase Green Space in Oakley”:**
With 2.87 acres / 35% of site remaining as open space, The Graphite Oakley will contribute to this goal.
- **“Ensure that new developments do not allow parking between building and streets and encourage parking behind buildings”.**
The proposed parking for Graphite Oakley exceeds that required by Section 1425.03, and will all, with the exception of six spaces, be located under or behind buildings.
- **“Encourage developers to create green space and improve sustainability. Plant a mix of tree sizes in parking lot and along parking lot edges”.**
The Graphite Oakley has 35.7% of the 8.1 acres as open spaces. A variety of trees, many of which are native species, are being used at sizes ranging from 6’ – 7’ and 2½” - 3½”.

Hills Properties has met with the Oakley Community Council on a number of occasions. The Community Council, at their March 3, 2020 meeting voted to support the “PD” request that will allow Graphite Oakley to move forward. If approved, Hills Properties would begin construction this fall, and would anticipate that residents could begin moving in late 2021 or early 2022. The entire development will be constructed at one time.

We believe that the proposed development will create a high quality residential community that will offer another housing opportunity for Oakley residents and those wishing to be a part of the community. Graphite Oakley will transition a long vacant former industrial site into a community that will not only increase the tax base for the City but provide additional residential options within Oakley and support for local businesses.

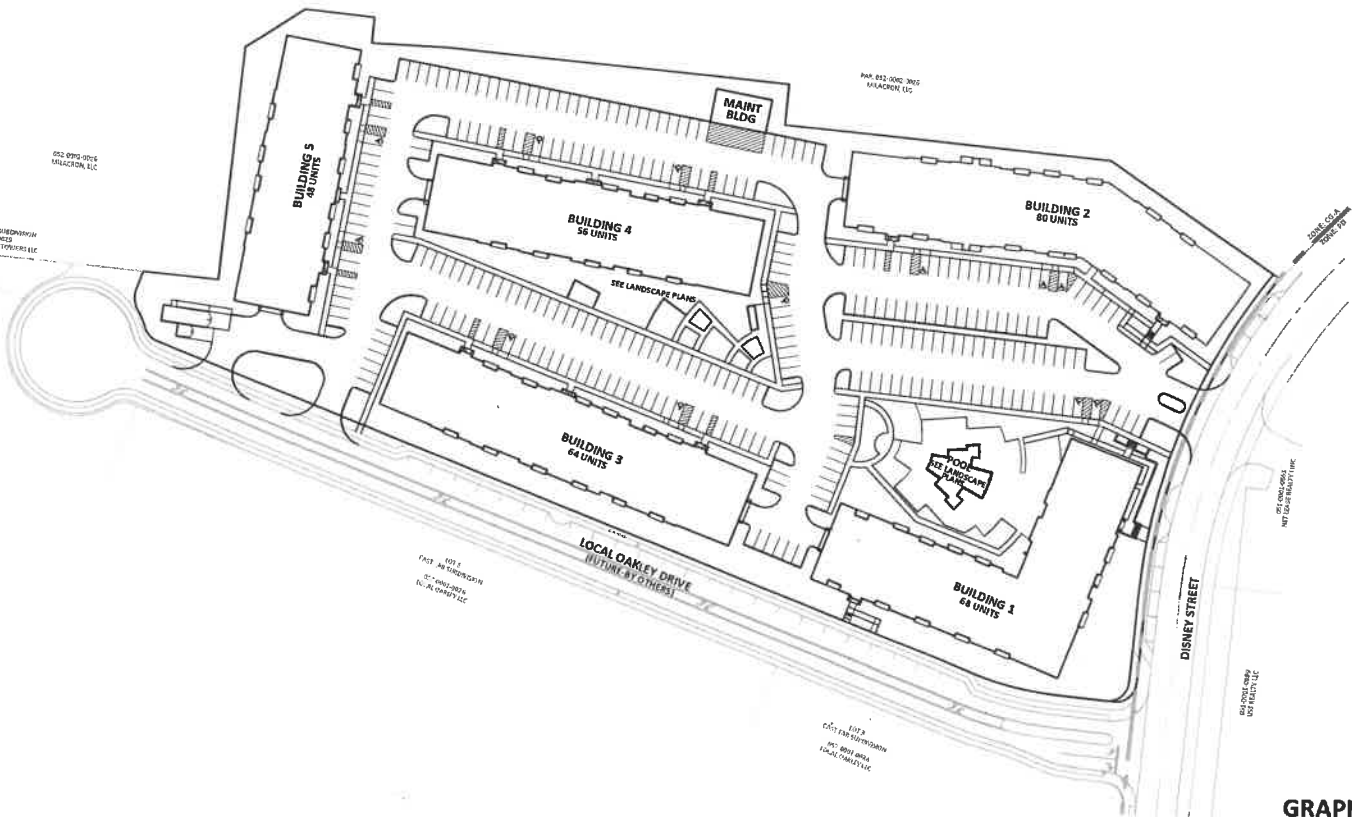
MDC #4368



GRAPHITE OAKLEY

SECTION 28, TOWN 4, RANGE 2
CITY OF CINCINNATI
HAMILTON COUNTY, OHIO

CONCURRENT CONCEPT PLAN & FINAL DEVELOPMENT PLAN



OWNER
LOCAL OAKLEY, LLC
7725 MONTGOMERY ROAD
CINCINNATI, OH 45236

APPLICANT
HARVEY DAVIS CLASON
3725 CANTONWAY, SUITE 200
CINCINNATI, OH 45227
(513) 964-0100

DEVELOPER
HFA DEVELOPMENT, LLC
1000 BRYAN ROAD, SUITE 300
CINCINNATI, OH 45241
(513) 964-0100

PARCEL DATA

TAX PARCEL NUMBER	AREA
015-0001-0012	1.9742 AC.
015-0001-0013	3.6068 AC.
015-0001-0014	5.1793 AC.
015-0001-0015	0.1316 AC.
015-0001-0016	1.8180 AC.
TOTAL AREA	12.7100 AC.

ZONING CLASSIFICATION
BEST USE ZONING CLASSIFICATION: C5-A, COMMERCIAL GENERAL
PROPOSED ZONING CLASSIFICATION: PLANNED DEVELOPMENT DISTRICT

DEVELOPMENT DATA

PROPOSED NUMBER OF HOUSING UNITS	352
GROSS AREA	1,8777 AC.
AREA OF EXISTING PAVED/PAVED-EQUIVALENT DRIVE-UP-WAY	1,8877 AC.
NET AREA	6,9777 AC.
ORDS DENSITY	34.60 UNITS/AC
NET DENSITY	35.24 UNITS/AC
OPEN SPACE AREA	1.8777 AC.
MAXIMUM BUILDING HEIGHT	35.7% OF NET AREA

PARKING ANALYSIS

GARAGE PARKING SPACES	262
SURFACE PARKING SPACES	182
POSSIBLE ADDITIONAL PARKING SPACES	28
TOTAL SURFACE PARKING SPACES	210
PARKING SPACES PER UNIT	1.74
NET SURFACE PARKING SPACES	11
TOTAL SITE + STREET PARKING SPACES	221
PARKING SPACES PER UNIT	1.65
SURFACE ADA PARKING SPACES	11
BARREER ADA PARKING SPACES	11
TOTAL ADA PARKING SPACES AVAILABLE	22
ADA SPACES REQUIRED	22
AVAILABLE VAN ACCESSIBLE PARKING SPACES	20
VAN ACCESSIBLE SPACES REQUIRED	5

SHEET INDEX

- 1 COVER SHEET
- 2 SURVEY PLAN
- 3-4 LAYOUT PLAN
- 5-6 UTILITY PLAN
- 7-8 GRADING PLAN
- 9 SWPPP - INITIAL INS
- 10 SWPPP - CONSTRUCTION
- 11 UTILITY PROFILES
- 12-14 DETAILS

LI-12 LANDSCAPE PLAN



James H. Watson

Date	05/17
Scale	AS SHOWN
Drawn By	Prof. Mgr.
Survey Database	
DWG	18632024-04
S-Path	
Project Number	18632024
File No.	Sheet No. 1/1

EXHIBIT F



HILLS
PROPERTIES

CAST-FAB SITE

EXHIBIT G



HILLS
PROPERTIES

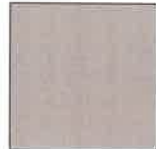
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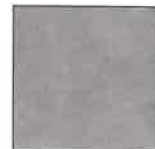
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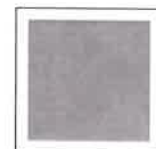
BRICK VENEER



HARDIE PANEL



HARDIE PANEL



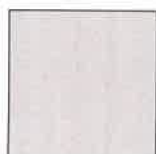
SPANDRELS



**ARCHITECTURAL
BRACKETS**



**DOWNSPOUTS
KYNAR FINISH**



**CASTSTONE
HEADER & SILLS**

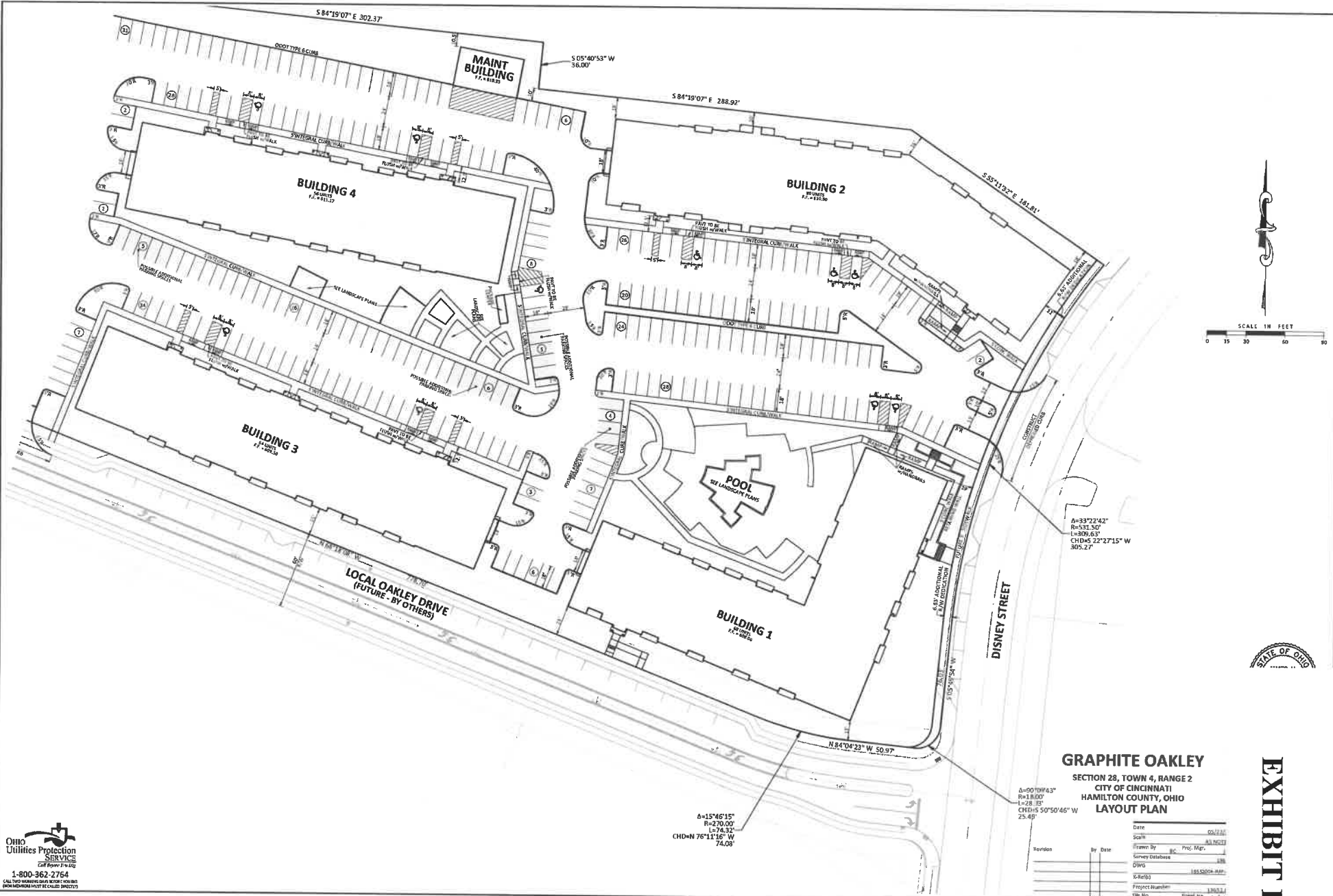


**RAILING
ALUMINA CLASSIC STYLE
BLACK**



**BUILDING ENTRY
DOOR SYSTEM**

The drawings presented are illustrative of character and design intent only and are subject to change based upon final design considerations (i.e. applicable codes, structural and MEP design requirements, unit plan/floor plan changes, etc.).



GRAPHITE OAKLEY
 SECTION 28, TOWN 4, RANGE 2
 CITY OF CINCINNATI
 HAMILTON COUNTY, OHIO
LAYOUT PLAN

Date	02/23/11
Scale	AS SHOWN
Drawn By	AK, MGP
Survey Database	118
DWG	1855024-101
Project Number	17031
File No.	Sheet No. 3 / 1

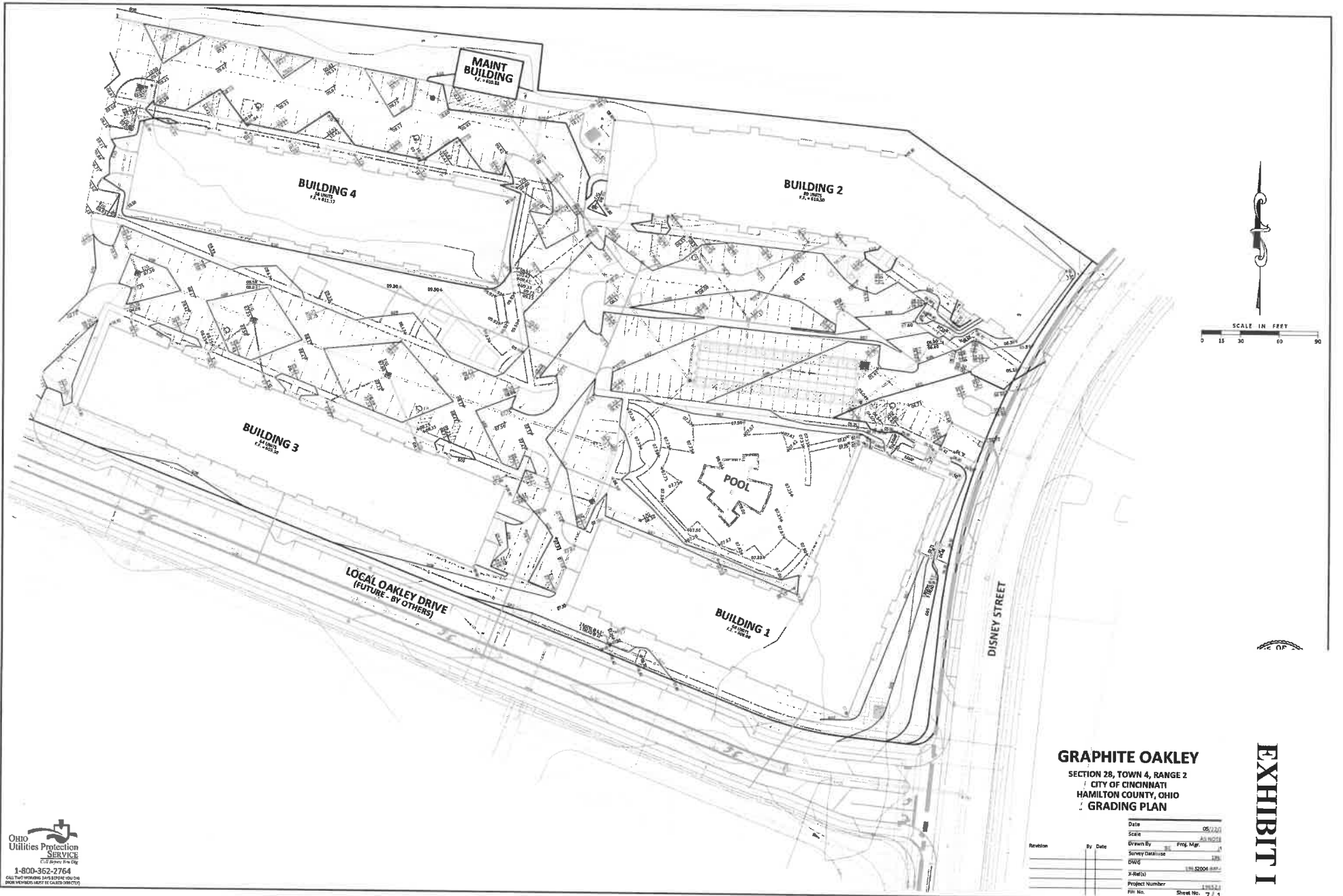
$\Delta=15^{\circ}46'15"$
 $R=270.00'$
 $L=74.32'$
 CHD=N 76°11'56" W
 74.08'

$\Delta=33^{\circ}23'42"$
 $R=531.50'$
 $L=309.63'$
 CHD=S 22°27'15" W
 305.27'

$\Delta=84^{\circ}04'23"$
 $R=60.97'$

OHIO
Utilities Protection
SERVICE
 Call Before You Dig
 1-800-362-2764
 CALL BEFORE YOU DIG. VERIFY OWNERS.
 BURNING WIRE MUST BE CALLED DIRECTLY.

EXHIBIT H



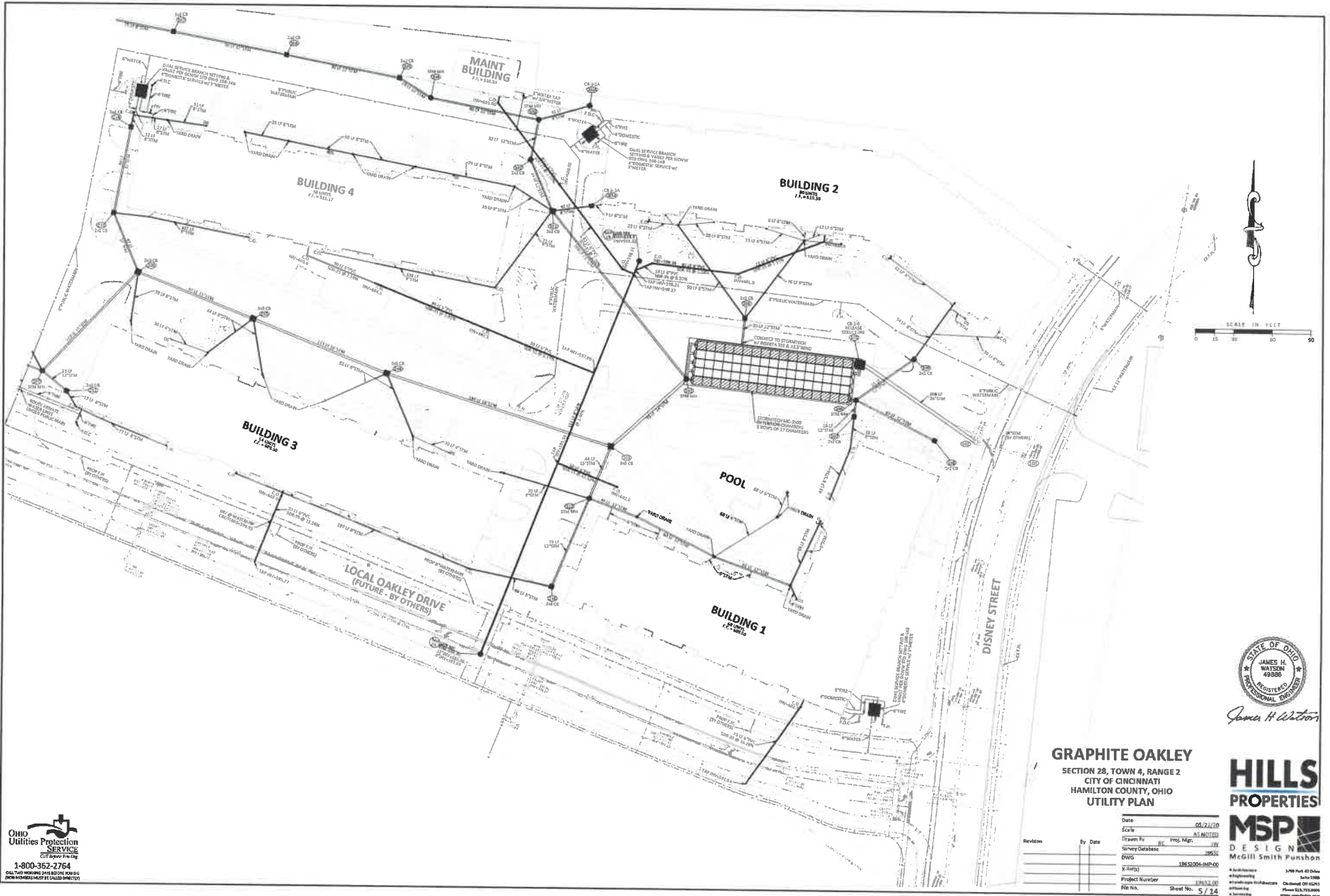
GRAPHITE OAKLEY
 SECTION 28, TOWN 4, RANGE 2
 CITY OF CINCINNATI
 HAMILTON COUNTY, OHIO
 GRADING PLAN

Date	05/22/11
Scale	AS SHOWN
Drawn By	PRG, Mgr.
Survey Data Used	100
DWG	100 2004 (REV)
X-Ref(s)	
Project Number	100111
File No.	Sheet No. 7 / 1

EXHIBIT I

OHIO
 Utilities Protection
 SERVICE
 1-800-362-2764
CALL FOR INFORMATION, DAMAGE REPORTS OR FOR
 SHOW MEASUREMENTS. VISIT US ONLINE AT
 WWW.UTILITIESPROTECTION.COM

11/11/11 11:58:11 AM 11/11/11 11:58:11 AM



James H. Watson

GRAPHITE OAKLEY
SECTION 28, TOWN 4, RANGE 2
CITY OF CINCINNATI
HAMILTON COUNTY, OHIO
UTILITY PLAN

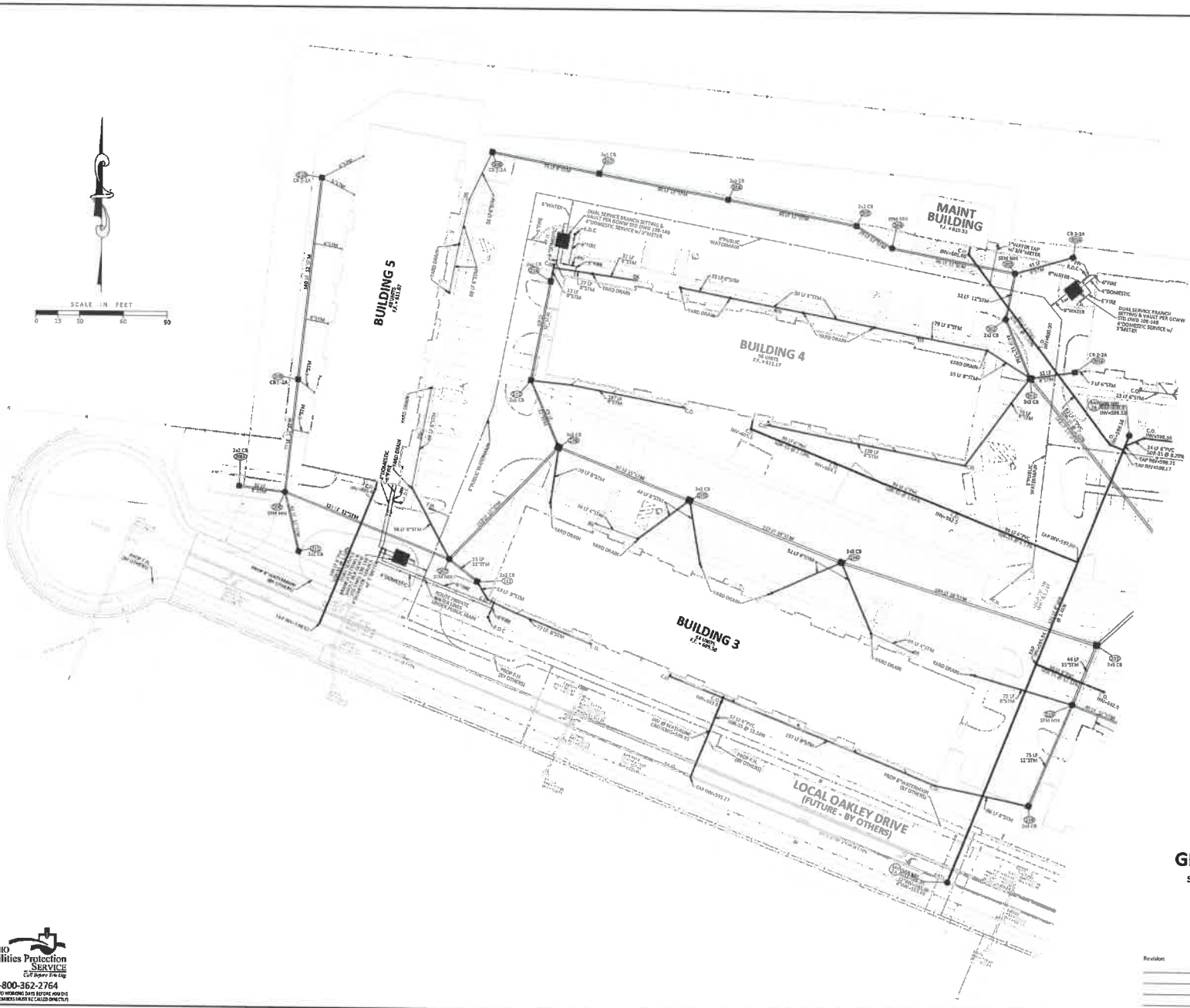
HILLS
PROPERTIES

MSP
DESIGN
McGill Smith Punshon

Date	03/24/20
Scale	AS NOTED
Drawn By	BL
Proj. Mgr.	JW
Survey Database	1963
DWG	18632004-IMP-00
X-REFS	18632004-IMP-00
Project Number	18632004
File No.	Sheet No. 5 / 14

OHIO
Utilities Protection
SERVICE
Call before you dig
1-800-362-2764
CALL TWO WEEKS BEFORE YOU DIG
OR 48 HOURS BEFORE YOU CALL A CONTRACTOR

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GRAPHITE OAKLEY
 SECTION 28, TOWN 4, RANGE 2
 CITY OF CINCINNATI
 HAMILTON COUNTY, OHIO
 UTILITY PLAN

Date	05/22/10
Scale	AS NOTED
Drawn by	BLI, PFC, Mgr.
Survey/Checked	JW
Checked	10032
X-Checked	10032004-IMP-00
Project Number	10032004
File No.	Sheet No. 6 / 14



James H. Watson

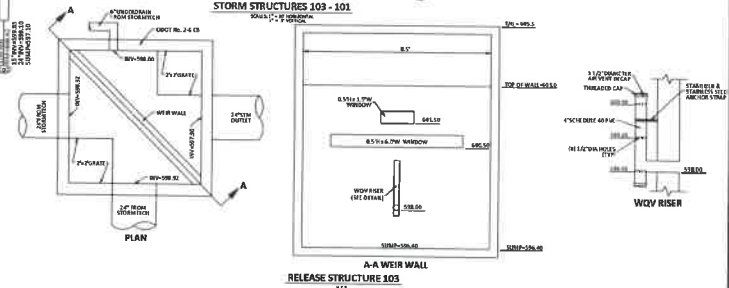
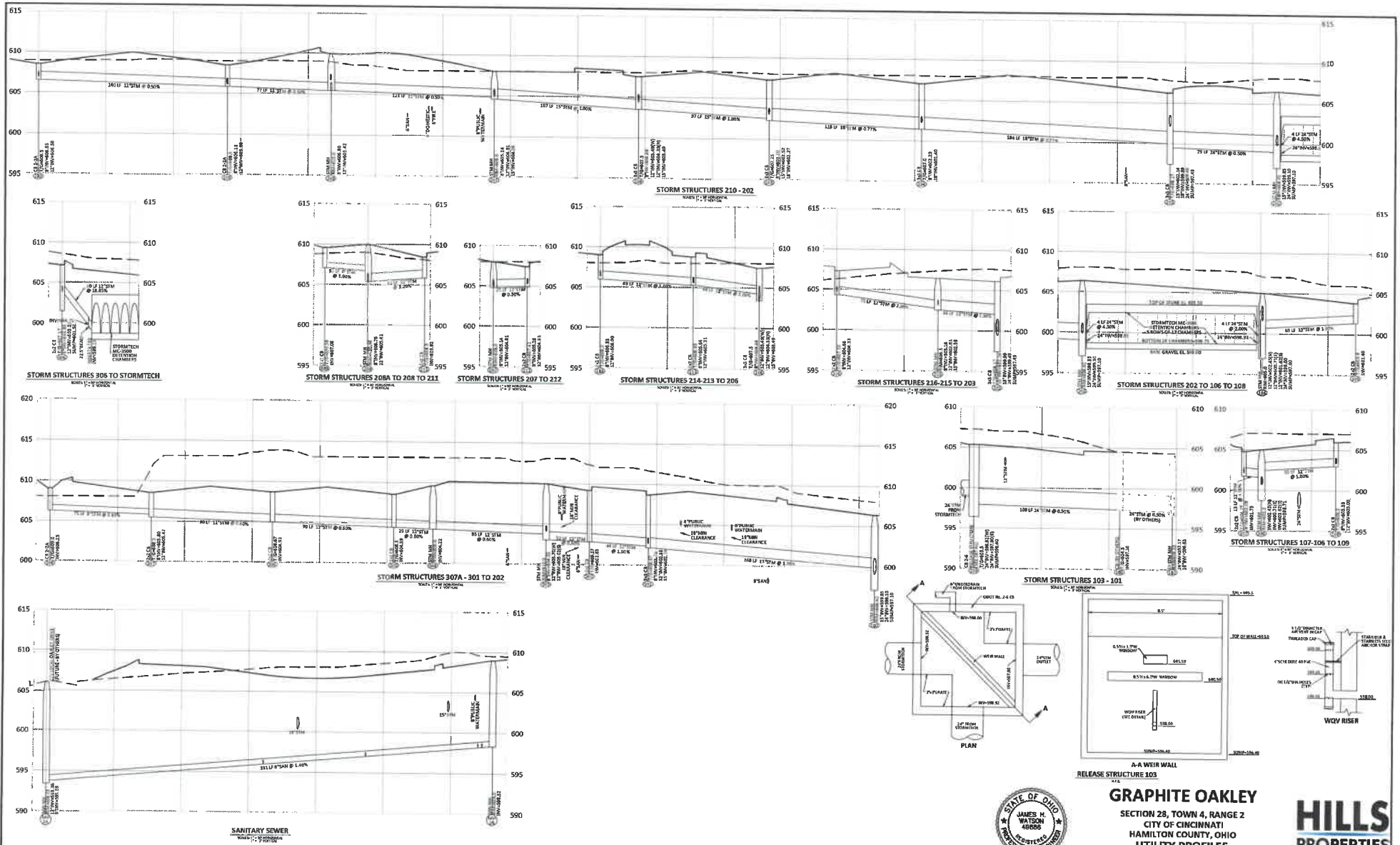
HILLS
 PROPERTIES

MSP
 DESIGN
 McGill Smith Punshon

3709 Park St. Cincinnati, OH 45209
 Phone: 513.763.0000
 www.mspdesign.com

OHIO
 Utilities Protection
 Service
 CUT 800-362-2764
 1-800-362-2764
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 1-800-362-2764

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James H. Watson

GRAPHITE OAKLEY
SECTION 28, TOWN 4, RANGE 2
CITY OF CINCINNATI
HAMILTON COUNTY, OHIO
UTILITY PROFILES

HILLS PROPERTIES

MSP DESIGN
McGill Smith Punshon

Date	01/11/20
Scale	AS NOTED
Drawn by	PKS, M.P.
Checked by	JH
DWG No.	106.52
Project Number	106.52-004-IMP-00
Sheet No.	11 / 14

OHIO Utilities Protection Service
Call 1-800-362-2764

GENERAL NOTES

NO PART OF ANY STRUCTURE FROM WHICH THE ROAD OR HIGHWAY SHALL BE INSTALLED SHALL BE LOCATED IN ANY STREET, FIRE ALLEY, UTILITY POLE OR ON WORK AREAS... APPROXIMATE UTILITY COMPANIES SHALL BE NOTIFIED AT LEAST 48 HOURS IN WRITING TO PROVIDE RECORD DRAWINGS FOR THE PURPOSE OF IDENTIFYING FIELD LOCATIONS OF UNDERGROUND UTILITIES...

ITEM 614 - MAINTAINING TRAFFIC DURING UTILITY CONSTRUCTION... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACTIVELY MONITOR ALL AVAILABLE SECTIONS FOR THE MAINTENANCE OF TRAFFIC... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

AS DETERMINED BY THE ENGINEER, THE CONTRACTOR MAY BE REQUIRED TO PRESENT AT THE PROJECT MEETING... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

STORMWATER SYSTEM INSPECTION & MAINTENANCE... THE SYSTEM SHALL BE INITIALLY INSPECTED IMMEDIATELY AFTER COMPLETION OF THE CONSTRUCTION... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

STORM STRUCTURE SUMP MAINTENANCE... STORM STRUCTURES SHALL BE 30" DIA. LOCATED ON THE END OF THE STORMWATER MAIN... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

GENERAL UTILITY NOTES... ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CINCINNATI SPECIFICATIONS... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CINCINNATI SPECIFICATIONS... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

2. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

3. CONTRACTOR SHALL REPAIR AND MAINTAIN THE EXISTING UTILITIES AND ASSESSMENTS IN THE CONSTRUCTION AREA... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

4. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND ASSESSMENTS OF EXISTING UTILITIES AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY EXISTING UTILITIES VIOLATED WITH THE NORMAL COURSE OF THE PROJECT... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

5. PERSONNEL DEDICATED TO INSTALL UNDERGROUND UTILITIES SHALL BE PLACED ON THE PLANS... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

6. THE CONTRACTOR IS TO COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANY... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

7. SERVICE UTILITY MATERIALS SHALL BE PER THE APPROPRIATE UTILITY COMPANY ORDINANCE... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

8. THE CONTRACTOR SHALL CLEAN AND WASH ALL CURBS AND CURBS GENERATED BY CONSTRUCTION ACTIVITIES... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

9. ALL SANITARY SEWER AND WATER LINES AND APPURTENANCES SHALL BE CONNECTED TO ACCORDING TO THE CITY METRO WATER AND SEWER DEPARTMENT SPECIFICATIONS... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

10. CLEANOUT STRUCTURES SHALL BE 2'-0" DIA. CLEANOUT PER 300' MAX. #4087... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

SANITARY SEWER NOTES

1. ALL PIPES AND CONSTRUCTION WITHIN HAMILTON COUNTY SHALL COMPLY WITH THE LATEST EDITION OF THE UNIFORM CODE AND RESOLUTIONS... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

2. THE DEPTH OF ALL PROPERTIES SHOWN ON THE IMPROVEMENT PLAN SHALL BE SUFFICIENT TO ALLOW FOR THE INSTALLATION OF A 12" DIA. SANITARY SEWER... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

3. ALL SANITARY SEWERS SHALL BE CONSTRUCTED UNDER THE SUPERVISION OF THE SUPERVISOR OF THE DISTRICT... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

4. ALL SANITARY SEWERS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

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11. ALL SANITARY SEWERS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

12. ALL SANITARY SEWERS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

13. ALL SANITARY SEWERS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

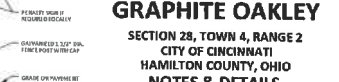
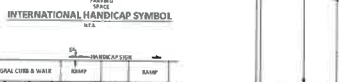
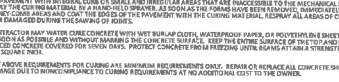
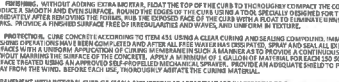
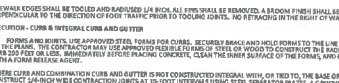
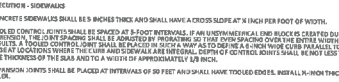
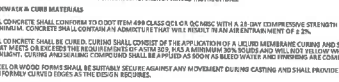
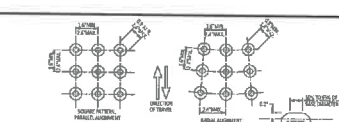
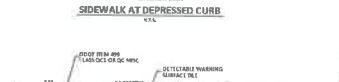
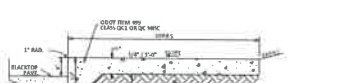
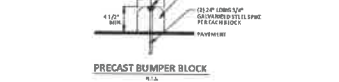
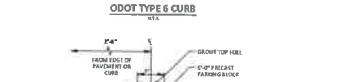
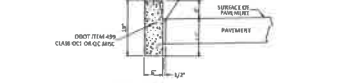
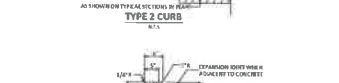
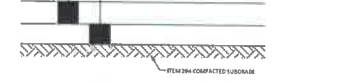
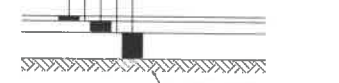
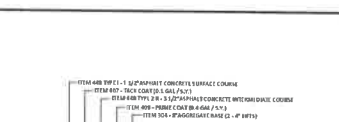
14. ALL SANITARY SEWERS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

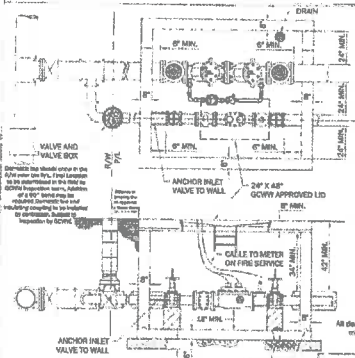
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16. ALL SANITARY SEWERS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

17. ALL SANITARY SEWERS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...

18. ALL SANITARY SEWERS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD... THE CONTRACTOR SHALL MAINTAIN TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD...





- DETAILS:**
- A) SEE 308-1A, 3C, 3D & 3E FOR MATERIAL AND CONSTRUCTION SPECIFICATIONS AND SIZE AT FOR S&P SPECIFICATIONS.
 - B) SEE 308-8 FOR PIPING ARRANGEMENT ON DOMESTIC METER.
 - C) SEE 308-6 FOR PIPING ARRANGEMENT ON DETECTOR CHECK VALVE ASSEMBLY.
 - D) 2" MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN METER AND DOUBLE DETECTOR CHECK VALVE ASSEMBLY INTO A MINIMUM OF 24" FROM ANY WALL. DO METER MUST BE INSTALLED ON THE SIDE OPPOSITE FROM DOMESTIC METER.
 - E) DETECTOR CHECK METER TO BE PURCHASED FROM AND INSTALLED BY GOWE.
 - F) ANY PUMPER CONNECTION MUST BE INSTALLED ON OPPOSITE SIDE OF DOUBLE DETECTOR CHECK ASSEMBLY AND DOWNSTREAM OF OUTLET VALVE.
 - G) A VALVE BOX MUST BE INSTALLED ON THE DOMESTIC BRANCH.
 - H) CONCRETE BLOCKING MUST BE UNDER VALVES.
 - I) A FACTORY DRILLED (1) 1/4" HOLE MUST BE DRILLED IN THE GOWE APPROVED LID IF THE FIT IS LOCATED IN AN UNSHARED AREA.
 - J) LID MUST BE CENTERED LENGTHWISE OVER THE DOMESTIC METER.

All dead end pipe runs must be mechanically restrained. See Standard Drawing 108-18 For Installation Procedures

4" OR LARGER FIRE DIAL SERVICE

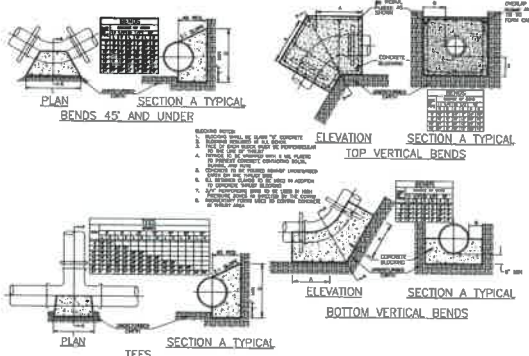
ALL 4" AND LARGER UTILITY CONNECTIONS MUST BE MECHANICALLY RESTRAINED TO THE STRUCTURE, BACKLASH, AND RESTRAINT WORK PER GOWE SPECIFICATIONS.

PROPERTY OWNER IS RESPONSIBLE FOR ALL CONNECTIONS, BACKLASH, AND RESTRAINT WORK PER GOWE SPECIFICATIONS.

WATER WORKS

OUTSIDE JOB SETTING FOR 4" OR LARGER FIRE AND 4" OR LARGER DOMESTIC METERS DATE: 11/20/13 BY: 108-14B

All tags 4" and larger will require a shut-down and cutting to be mechanically restrained to the structure, backslash, and restraint work per GOWE specifications.



CONCRETE BLOCKING FOR PIPE FITTINGS ON WATER MAINS

NOTES

FIRE DEPARTMENT CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE NFPA STANDARD APPLICABLE TO THIS SYSTEM DESIGN AND SHALL COMPLY WITH NFPA 969 (UPDATES 1 TO 10) (2013) 2.2 OF THIS RULE.

FIRE DEPARTMENT CONNECTIONS SHALL BE EQUIPPED WITH LOCKING COP AND CHAMFERED BIRMS TO CONDUIT BY THE DEPARTMENT TECHNICIANS.

A WORKING SPACE OF NOT LESS THAN 36 INCHES IN WIDTH, 36 INCHES IN DEPTH AND 72 INCHES IN HEIGHT SHALL BE PROVIDED AND MAINTAINED AROUND THE CIRCUMFERENCE OF THE STANDING FIRE DEPARTMENT CONNECTIONS.

A HEAD SIGN WITH RAISED LETTERS AT LEAST ONE INCH IN SIZE SHALL BE MOUNTED ON FIRE DEPARTMENT CONNECTIONS SERVING AUTOMATIC SPRINKLER SYSTEMS OR FIRE PUMP CONNECTIONS. SUCH SIGN SHALL READ "AUTOMATIC SPRINKLER" OR "STANDPIPE" OR "TEST CONNECTION" ON A CONNECTION TO THE SYSTEM AS APPLICABLE.

THE POTABLE WATER SUPPLY TO AUTOMATIC SPRINKLER AND STANDPIPE SYSTEMS SHALL BE PROTECTED AGAINST BACKFLOW AS REQUIRED BY PLUMBING CODE AS LISTED IN RULE 1303.7-7.407 OF THE ADMINISTRATIVE CODE.

ALL FIRE DEPARTMENT CONNECTIONS SHALL BE PERIODICALLY INSPECTED, TESTED AND MAINTAINED IN ACCORDANCE WITH NFPA 25 AS LISTED IN RULE 1303.7-7.407 OF THE ADMINISTRATIVE CODE.

HORIZONTAL		VERTICAL	
LENGTH OF PIPE TO BE RESTRAINED IN EACH DIRECTION FROM CENTERLINE OF BEND, JOINT OR AS NOTED BELOW	AS NOTED BELOW	LENGTH OF PIPE TO BE RESTRAINED IN EACH DIRECTION FROM CENTERLINE OF BEND, JOINT OR AS NOTED BELOW	AS NOTED BELOW
CONNECTION	8"	CONNECTION	8"
UP BEND	5"	1/4" UP BEND	6"
45° BEND	24"	1/4" DOWN BEND	6"
90° BEND	12"	3/4" UP BEND	12"
45° DOWN BEND	24"	3/4" DOWN BEND	12"
90° DOWN BEND	12"	1" UP BEND	24"
2" x 1 1/2" TEE	37" BRANCH	1" DOWN BEND	30"
		1 1/2" UP BEND	42"
		1 1/2" DOWN BEND	42"

PIPE RESTRAINTS SCHEDULE FOR JOINTS

BENDS ON FIRE LINES SHALL HAVE BLOCKING PURSUANT TO THE DETAILS SHOWN HEREIN.

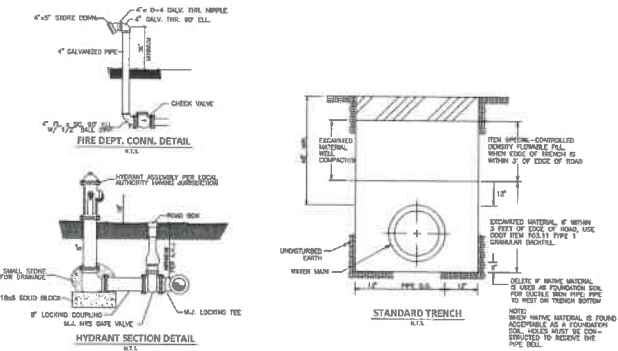
PRIVATE WATERLINE PIPE MATERIAL SHALL BE PVC C500 DR 14 IN ACCORDANCE WITH 2016 NFPA 13 AND 24

BRANCH APPLICATION PLAN VERIFY DISCLAIMER

THIS PLAN (THIS SHEET) HAS BEEN PREPARED BY THE APPLICANT FOR WATER SERVICE.

ALL EXISTING UTILITY AND RECORD INFORMATION SHOWN ON THE DRAWING, INCLUDING BUILDING FOOTPRINT (WHICH MUST SHOW ANY ENCROACHMENTS INTO THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO, BASEMENT AREAS, ROOT CELLARS AND COAL CHUTES), PARCEL AND EASEMENT INFORMATION, ROADWAY AND RIGHT-OF-WAY LOCATION ARE THE RESULT OF RESEARCH BY THIS APPLICANT.

ANY AND ALL DAMAGES OR NEED FOR ADDITIONAL WORK, RESULTING FROM INACCURACY ON THE PART OF THE APPLICANT IS THE APPLICANT'S SOLE FINANCIAL RESPONSIBILITY.



Ohio Utilities Protection SERVICE

1-800-362-2764

CALL 48 HOURS BEFORE WORKING. DOWN WORKERS MUST BE CALLED DIRECTLY.



James H. Watson

GRAPHITE OAKLEY

SECTION 28, TOWN 4, RANGE 2
CITY OF CINCINNATI
HAMILTON COUNTY, OHIO
PRIVATE WATERLINE DETAILS

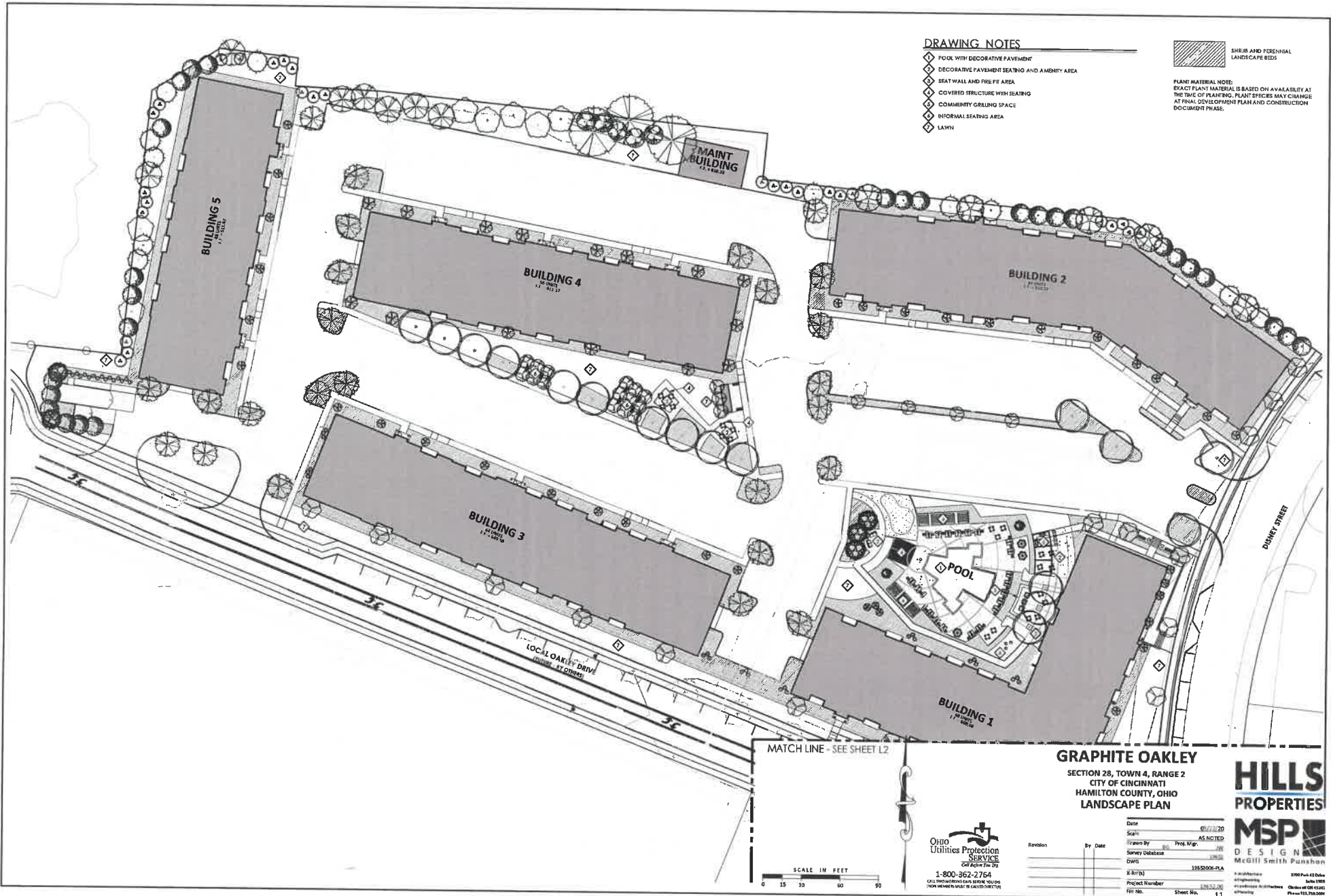
HILLS PROPERTIES

MSP DESIGN

McGill Smith Punshon

Date	07/21/09
Scale	AS NOTED
Drawn by	BC
Survey Database	12854
DWG	
X-Ref(s)	18832004-MSP-00
Project Number	12852-00
File No.	Sheet No. 14 / 14

4/1/2013
1/1/2013
1/1/2013
1/1/2013
1/1/2013
1/1/2013



DRAWING NOTES

- ◊ POOL WITH DECORATIVE PAVEMENT
- ◊ DECORATIVE PAVEMENT SEATING AND AMENITY AREA
- ◊ SEAT WALL AND FIRE PIT AREA
- ◊ COVERED STRUCTURE WITH SEATING
- ◊ COMMUNITY GRILLING SPACE
- ◊ INFORMAL SEATING AREA
- ◊ LAWN

SHRUB AND PERENNIAL LANDSCAPE BEDS

PLANT MATERIAL NOTE:
 EXACT PLANT MATERIAL IS BASED ON AVAILABILITY AT THE TIME OF PLANTING. PLANT SPECIES MAY CHANGE AT FINAL DEVELOPMENT PLAN AND CONSTRUCTION DOCUMENT PHASE.

L11: 11/11/2011 10:00:00 AM 11/11/2011 10:00:00 AM 11/11/2011 10:00:00 AM 11/11/2011 10:00:00 AM

MATCH LINE - SEE SHEET L2



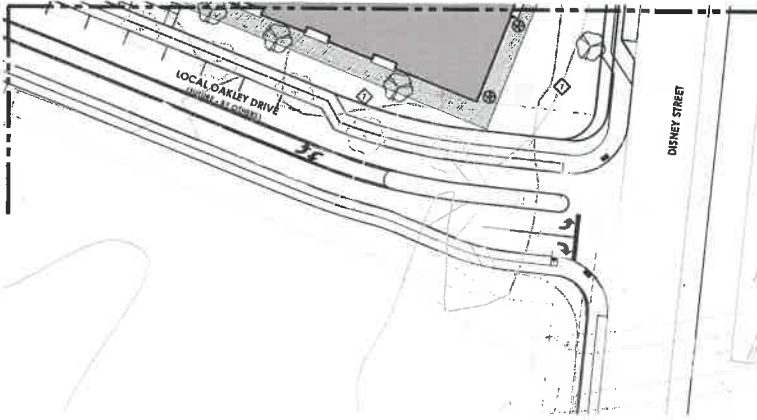
GRAPHITE OAKLEY
 SECTION 28, TOWN 4, RANGE 2
 CITY OF CINCINNATI
 HAMILTON COUNTY, OHIO
 LANDSCAPE PLAN

Ohio Utilities Protection Service
 Call Ahead For Dig
 1-800-362-2764
 CALL BEFORE YOU DIG. BE AWARE. WE ARE NOW MEMBERS UNDER THE GARDEN DIRECTOR.

Date	07/27/20
Scale	AS NOTED
Drawn By	BO
Survey Database	19556
DWG	19556-PLA
K-Ref(s)	19552006-PLA
Project Number	19552700
File No.	Sheet No. L1

HILLS PROPERTIES
MSP DESIGN
 McGill Smith Punshan
 3300 Puka 4300
 Columbus, OH 43260
 614.291.1100
 www.mspdesign.com

MATCH LINE - SEE SHEET L1



DRAWING NOTES

- ◆ POOL WITH DECORATIVE PAVEMENT
- ◆ DECORATIVE PAVEMENT SEATING AND AMENITY AREA
- ◆ SEAT WALL AND FIRE PIT AREA
- ◆ COVERED STRUCTURE WITH SEATING
- ◆ COMMON GRILLING SPACE
- ◆ INFORMAL SEATING AREA
- ◆ LAWN



SHRUBS AND PERENNIAL
LANDSCAPE BEDS

PLANT MATERIAL NOTE:
EXACT PLANT MATERIAL IS BASED ON AVAILABILITY AT
THE TIME OF PLANTING. PLANT SPECIES MAY CHANGE
AT FINAL DEVELOPMENT PLAN AND CONSTRUCTION
DOCUMENT PHASE.

PLANT SCHEDULE

EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE
	<i>Cryptomeria japonica</i> "Yoshino"	Yoshino Japanese Cryptomeria	4'-3" B&B
	<i>Picea abies</i>	Norway Spruce	4'-3" B&B
	<i>Cupressus nana</i> "Leylandii"	Leyland Cypress	4'-3" B&B
DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE
	<i>Amelanchier canadensis</i> "Autumn Brilliance"	"Autumn Brilliance" Serviceberry	4'-3" B&B
	<i>Malus x 'Redland'</i>	Redland Crab Apple	4'-3" B&B
	<i>Syringa reticulata</i> "Ivory Silk"	Navy IR Japanese Tree Lilac	2" x 2 1/2" CAL. B&B
SHADE TREES	BOTANICAL NAME	COMMON NAME	SIZE
	<i>Acer freemanii</i> "Autumn Blaze"	Autumn Blaze Maple	3 1/2" - 3" CAL. B&B
	<i>Acer saccharinum</i> "Green Mountain"	Green Mountain Sugar Maple	3 1/2" - 3" CAL. B&B
	<i>Carpinus betulus</i> "Front Fontaine"	Front Fontaine Hornbeam	2 1/2" - 3" CAL. B&B
	<i>Gladiolus thymifolius</i> var. <i>inermis</i> "Sycamore TM"	Sycamore Honey Locust	2 1/2" - 3" CAL. B&B
	<i>Liquidambar styraciflua</i> "Slender Silhouette"	Columnar Sweet Gum	2 1/2" - 3" CAL. B&B
	<i>Nyssa sylvatica</i>	Sour Gum	2 1/2" - 3" CAL. B&B
	<i>Quercus imbricaria</i>	Shingle Oak	2 1/2" - 3" CAL. B&B
	<i>Quercus macrocarpa</i> "Urban Pinnacle"	Urban Pinnacle Oak	2 1/2" - 3" CAL. B&B
	<i>Quercus x warei</i> "Nadler" TM	Kindred Spirit Oak	2 1/2" - 3" CAL. B&B
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
	<i>Chamaecyparis obtusa</i> "Aurea"	Golden Hinoki Cypress	4'-3" B&B
	<i>Thuja occidentalis</i> "Green Giant"	Green Giant Arborvitae	4'-3" B&B
	<i>Thuja occidentalis</i> "Smaragd"	Emerald Green Arborvitae	4'-3" B&B



Ohio Utilities Protection SERVICE
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CALL BEFORE YOU DIG
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FOR A FREE SERVICE MANUAL
OR VISIT OUR WEBSITE AT
OHIOUTILITIESPROTECTION.COM

GRAPHITE OAKLEY
SECTION 28, TOWN 4, RANGE 2
CITY OF CINCINNATI
HAMILTON COUNTY, OHIO
LANDSCAPE PLAN

Date	05/21/2018
Scale	1" = 30'
Drawn By	JM
Survey Database	JM
GIS	JM
X-Ref(s)	1952006-PLA
Project Number	1952006
File No.	Sheet No. L2

HILLS PROPERTIES

MSP DESIGN
McGill Smith Punshon

1700 N. 42 Street
Cincinnati, OH 45219
Phone: 513.763.0000
www.mspdesign.com

June 19, 2020

Mrs. Anne F. McBride
McBride Dale Clarion
5721 Dragon Way, Suite 300
Cincinnati, OH 45227

Re: Graphite Oakley (T) – (CPRE200048) Final Recommendations

Dear Mrs. McBride

This letter is to inform you that our CSR Advisory-TEAM and CSPRO Committee has reviewed your proposed revisions for your project at **2980 Disney Street** in the Community of Oakley. The information provided is the recommendations of the City of Cincinnati and must be followed as you move forward with your project. As a reminder, we will have a follow-up **conference call meeting** with you on **June 23, 2020 @ 10 am** to discuss our revised information from your resubmittal for this project. Please see the feedback listed below. Thank you for developing within the City of Cincinnati.

City Planning Department

Immediate Requirements to move the project forward:

1. Applicant has submitted this project as a PD to be reviewed at all levels concurrently. The zone change Concept Plan, Development Program Statement, and Final Development Plan will need to be reviewed by the City Planning Commission and City Council (only for the zone change and Concept Plan).

Requirements to obtain permits:

- None

Recommendations:

1. Applicant is encouraged to continue engagement with the Oakley Community Council

Contact:

- **Jared Ellis** | City Planning | 513-352-4843 | jared.ellis@cincinnati-oh.gov

Buildings & Inspections - Zoning

Immediate Requirements to move the project forward:

1. CG-A District does not allow residential uses - A Zone Change or Use Variance will be required. The applicant has noted their intent to apply for a Planned Development (PD). The Zoning review below is based on the existing CG-A Zoning.
2. Multiple buildings are not permitted on single parcel - Variances, lot splits, or a Zone Change to a PD will be required.
3. Accessory structures must be located in rear yard - Proposed Maintenance Building in the side yard will require variance under the existing CG-A Zoning.
4. Individual ground or wall signs shall follow §1427-37 under current CG-A Zoning. Signage is only permitted on elevations with street frontage (East elevation fronting Disney and South elevation fronting Local Oakley)

Requirements to obtain permits:

1. 3' Perimeter Landscaping is required around all parking areas
2. 1 tree planting is required for every 10 parking spaces

Recommendations:

1. Strong Buffer Yards on the north and west property lines should be provided to buffer the adjacent CG-A district and highway. The existing Milacron site to the north will remain industrial in nature adjacent to this project.
2. The existing Milacron site to the north is considering subdividing their parcel for redevelopment, with the main industrial facility remaining in the center and new parcels created to the north and west connecting with the cul-de-sac at the west end of Local Oakley Drive.

Contact:

- **Douglas Owen** | B&I Zoning | 513-352-2441 | douglas.owen@cincinnati-oh.gov

Metropolitan Sewer District (MSD)

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

1. A PTI from the OEPA will be required for sewer extension. Please contact Steve Parker at 513-244-1351 or steven.parker@cincinnati-oh.gov for assistance.
2. Your project may change flow to a sewer overflow. Please complete the Request for Availability of Sewer Service Form online. The link to the online form can be found at http://www.msdbg.org/customer_care/development_services/index.html

Recommendations:

- None

Contact:

- **Jim Wood** | MSD | 513-352-4311 | jim.wood@cincinnati-oh.gov

Stormwater Management Utility (SMU)

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

1. Detention requirements:
2. Submit Stormwater report. Show calculations, drainage maps and detention shop drawing. Site is located in separated sewers area therefore design calculations must follow SMU rules. See link [https://www.cincinnati-oh.gov/stormwater/assets/File/smu_rules_and_regs\(1\).pdf](https://www.cincinnati-oh.gov/stormwater/assets/File/smu_rules_and_regs(1).pdf) .
3. Storm system outlet: clarify that pipe 102-101 is proposed, does not physically exist.
4. Submit an approved NOI from the OHIO EPA.
5. Pipes materials requirements:
 - o Label all storm pipes materials.

- All pipes in the public R/W must be RCP or DIP. Label all proposed storm pipes. See SMU policies for accepted pipe materials.
- 6. All storm pipes crossing property lines must be accompanied with recorded drainage easements (lots 1, 2 and 6).
- 7. Include SMU's Standard Plan Notes (<https://cincinnati-oh.gov/stormwater/construction-and-design/standards/standard-plan-notes-updated-july-2017/>).

Recommendation:

- None

Contact:

- **Saidou Wane** | SMU | 513-591-7746 | Saidou.wane@cincinnati-oh.gov

Water Works

Immediate Requirements to move the project forward:

1. Greater Cincinnati Water Works will not permit a public water main within the development per Greater Cincinnati Water Works Project Number CIN-323. For more information, please contact Shawn Wagner, Water Works, 513-591-7877, Shawn.Wagner@gcww.cincinnati-oh.gov
2. New water service branch(es) connections can be connected to the new public water main in Local Oakley Drive (CIN-315) or the existing 12-inch public water main in Disney Street.

Requirements to obtain permits:

1. Greater Cincinnati Water Works will not approve water service branch(es) connection on Local Oakley Drive until the new public water main is in Local Oakley Drive (CIN-315) is installed.
2. Any existing water service branch not to be used for this development, must be properly disconnected at the owner's / developer's expense. Owner would be required to fill out the online FOD form at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing removal of the existing water service branch before any new water service can be sold.

Recommendations:

1. Recommendations:
2. 1. Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded fire protection company and plumber to perform new private water service branch design work and installation.
3. 2. Owner(s)/Developer(s) must have a licensed fire protection company and plumber that is bonded and certified with Greater Cincinnati Water Works and fill out the Online Branch application <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/> for water service. Please contact the Greater Cincinnati Water Works Branch Service Section for any questions on the Online Forms at 513-591-7837.

Contact:

- **Shawn Wagner** | WaterWorks | 513-591-7877 | shawn.wagner@gcww.cincinnati-oh.gov
- **Bill Morris** | WaterWorks | 513-591-7858 | bill.morrisr@gcww.cincinnati-oh.gov

Fire Department

Immediate Requirements to move forward with project:

1. Confirm that the closest two hydrants have fire flows of at least 1000 GPM at 20 PSI

Requirements to obtain Permits:

1. For such structures confirm that there are at least two fire hydrants that are within 400' from all parts of each structure.
2. Closest hydrants are located at 3001 Disney St, 2941 Disney St, 2901 Disney St and 3050 Vandercar Way.
3. Hydrants and FDC placement are not to block fire apparatus access to the structures.
4. Confirm that the Fire Department Connection is within 50' of a fire hydrant, two Fire Department Connections will be required for High-rise structures.
5. Access Streets, Roadways or Driveways. (b) The surface shall be of sufficient strength and type to adequately support any fire division apparatus under any weather conditions.

The weight of our apparatus as well as the turning radius for each is as follow:

Apparatus	Width	Length	Height	Weight	Front axle	Rear axle	Turn radius inside/outside
Ladder	10'	41'10"	11' 9"	70,000	21,600	48,000	35.45/39.25
Engine	10'	31'6"	9'5"	44,000	20,000	24,000	34'6"/41'6"
Ambulance	9' 4"	22'2"	9' 2"	18,500			34'/41'

6. Bidirectional antenna for fire department communication maybe required for the structures.
7. Post indicator valves cannot be more than 40 feet from the building it services.

Recommendations:

1. Due to the size of the structures a second Fire Department Connection is recommended for each building.

Contact:

- **Fred Prather** | Fire Dept. | 513-357-7595 | fred.prather@cincinnati-oh.gov

Office of Environment and Sustainability (OES)

Immediate Requirements to move forward with project:

- None

Requirements to obtain permits:

1. If this project will include City qualified incentives, then it must receive environmental approval.
2. If this project will need to include a new City public right-of-way and/or permanent utility easement (i.e., water and/or sewer), then these must receive environmental approvals as per Administrative Regulation 30.
3. If offsite sourced fill is to be placed onsite, then it must receive environmental approval when it exceeds 500 cubic yards in a residentially zoned district or 1,000 cubic yards in any other zoned district (City Municipal Code Chapter 1031).
4. If this project will receive City qualified incentives, then the parking garage must include electric vehicle charging stations (City Ordinance 89-2017). If not, then electric vehicle charging stations are otherwise recommended.
5. Bike rack areas must be included in the parking garage design (Municipal Code Section 413-16).

Recommendations:

1. This site is included in the larger Oakley Mills development project and is part of the former Cast Fab Technologies property Ohio EAP Voluntary Action Program (VAP) site, which is in the process of obtaining an No further Action (NFA)/Covenant Not-to-Sue (CNS) status. The site must follow the engineering controls, operations and maintenance plan Agreement, and activity and use limitations in the environmental covenant.
2. The proposed new residential site buildings in this development appear to be within 500 feet of Interstate 71. All new residential site buildings within 500 feet of the interstate should include a pre-development assessment of the air quality and include design elements that assure healthy indoor air quality is maintained.
3. The development goal should be to earn at a minimum the LEED Certified rating level.
4. Solar should be considered in the design as a renewable energy source.
5. Site areas designated for trash dumpsters or carts should also have at least equal space designated for recycling dumpsters or carts in the design.
6. The use of trees in the landscape design should be included to enhance urban forestry.
7. The use of pervious surfaces should be maximized to the extent practical in the design.

Contact:

- **Matt Mullin** | OES | 513-352-5344 | matt.mullin@cincinnati-oh.gov

Police Department

Immediate Requirements to move the project forward:

- None currently.

Requirements to obtain permits:

- No Comments.

Recommendations:

- None

Contact:

- **Katalin Howard** | Police Dept. | 513-352-3298 | katalin.howard@cincinnati-oh.gov

- **Brandon Kyle** | Police Dept. | 513-564-1870 | brandon.kyle@cincinnati-oh.gov
- **Shannon Heine** | Police Dept. | 513-352-2556 | shannon.heine@cincinnati-oh.gov

Health Department

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

1. No need for Health to review project as proposed.

Recommendations:

- None

Contact:

- **Trisha Blake** | Health Dept. | 513-352-2447 | trisha.blake@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE)

Immediate Requirements to move the project forward:

- None.

Requirements to obtain permits:

1. The drive to Disney should be a modified commercial drive. The ones on the new road can be either standard or modified commercial.
2. As noted on the drawing, additional R/W along Disney is required for the parking lane.
3. The new road states "By Others". Who is doing the roadway work along Disney?
 - DOTE is okay with the allowing parking on both the new road and Disney. However, the details as shown, are not approved. The random bump-outs seem odd.
4. More detailed plans of the work in the R/W should be submitted to DOTE for review.
5. Provide minimum of 5' tree lawn, 5' concrete walk.
6. A DOTE permit is needed for all work in the right of way.
7. Please contact DTEaddress@cincinnati-oh.gov for addressing.

Recommendations:

1. None.

Contact:

- **Morgan Kolks** | DOTE | 513-352-5285 | morgan.kolks@cincinnati-oh.gov

Buildings & Inspections – Buildings

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

1. Separate permit applications are required for each building.
2. The pool will require the state permit issuance before application is made for a building permit.

Recommendations:

- None.

Contact:

- **Robert Martin** | B&I Plans Exam | 513-352-2456 | robert.martin@cincinnati-oh.gov

Department of Community & Economic Development (DCED)

Immediate Requirements to move the project forward:

- None

Requirements to obtain permits:

- None

Recommendations:

1. DCED recommends that the Multi-family Developer and Master Developer work with DCED to discuss the layering of the requested tax incentives. The Master Developer intends to utilize a project TIF for the public infrastructure improvements. An abatement on the multi-family portion will impact the value of the Master Developer's incentive. Developers should keep in mind that all City agreements must be executed prior to the commencement of construction. .

Contact:

- **Brian Ogawa** | DCED | 513-352-6139 | brian.ogawa@cincinnati-oh.gov

Law Department

Immediate Requirements to move the project forward:

- No comments at this time.

Requirements to obtain permits:

- None

Recommendations:

1. Dedication of additional right-of-way will require City Planning Commission approval.

Contact:

- **Charles Martinez** | Law | 513-352-3359 | charles.martinez@cincinnati-oh.gov

FINAL ACTION: The CSR Advisory-TEAM and CSPRO Committee believes that the proposed project plans are moving in the appropriate direction and recommends that the project move forward to City Planning Commission subject to the following condition.

- **The subject development must follow the requirements listed above to ensure that the development meets the requirements of all agencies as they apply for all permits.**
- **Information submitted to the City Planning Department for the zone change request must also match the information that the CSR TEAM has reviewed as part of this process.**

Sincerely,


Art Dahlberg,
Director of Buildings and Inspections Department
& CSPRO Committee Chair

AD:RDR:hs


Rodney D. Ringer,
Development Manager



EXHIBIT K

Cincinnati OH 45209
oakleynow.com

April 6, 2020

Ms. Katherine Keough-Juris, AICP
Planning Director
Department of City Planning
City of Cincinnati
Two Centennial Plaza
805 Central Avenue, Suite 700
Cincinnati, Ohio 45202
katherine.keough-jurs@cincinnati-oh.gov

RE: Hills Properties' Requested Zone Change from CG-A to PD at 2980 Disney Avenue

Dear Ms. Keough-Juris:

At the March 3, 2020 meeting of the Oakley Community Council, representatives of Hills Properties were present to provide an update to the Trustees and members regarding Hills' plans for development of 316 multifamily units at 2980 Disney Avenue in Oakley. The Trustees were advised that a Zone map amendment from CG-A to PD was required for the development. Mr. Michael Copfer made a request of the Board of Trustees for a Letter of Support for such zone map change.

The following motion was made at the March 3, 2020 OCC meeting: "[m]otion to provide a letter of support for the zone map amendment requested by Hills to rezone 8.1 acres at 2980 Disney Avenue from "CG-A" To "PD" for the development of 316 multifamily units as presented at the February 4, 2020 OCC meeting and updated at the March 3, 2020 OCC meeting." As per the enclosed copy meeting minutes, the motion passed unanimously, with one abstention.

Thank you for your cooperation and assistance. If you need any further information or have any questions, I can be reached at seth.shaifer@oakleynow.com

Sincerely,

Seth Shaifer

Seth Shaifer
Zoning Committee Chair
OCC Trustee

Attachment

CC: OCC File
Hills Properties

August 4, 2020

To: Mayor and Members of City Council

From: Paula Boggs Muething, Interim City Manager

Subject: Emergency Ordinance – PD-69 Major Amendment to the Concept Plan

Transmitted is an Ordinance captioned:

APPROVING a major amendment to the concept plan and development program statement governing Planned Development No. 69 to include certain adjacent properties, thereby approving the rezoning of those properties from the CN-P, “Commercial Neighborhood-Pedestrian,” zoning district to Planned Development District No. 69, in order to facilitate the construction of a new multi-family building and a new mixed-used building.

The City Planning Commission recommended approval of the amendment at its July 17, 2020 meeting.

Summary:

The petitioner, McBride Dale Clarion, on behalf of the owners, Uptown Rental Properties, is requesting a zone change from Commercial Neighborhood-Pedestrian (CN-P) to Planned Development #69 (PD-69) for properties located west of the current VP3 site at 2600, 2622, and 2624-2632 Short Vine Street and a Major Amendment to the Concept Plan for PD-69 to incorporated two proposed buildings on those subject properties. The existing PD is a multi-family development with a parking garage and parking lot. These properties are located within the Corryville Neighborhood Business District and Urban Design Overlay District #6.

The City Planning Commission recommended the following on July 17, 2020 to City Council:

1. **APPROVE** the proposed change in zoning at 2600, 2622, and 2624-2632 Short Vine Street from CN-P (Commercial Neighborhood-Pedestrian) to PD-69 (Planned Development #69);
2. **APPROVE** the Major Amendment to the Concept Plan and Development Program Statement for Planned Development #69, VP3, as specified on pages 2-3 of the staff report; and
3. **ADOPT** the Department of City Planning Findings as detailed on page 5 of the staff report.

cc: Katherine Keough-Jurs, AICP, Director, Department of City Planning

EMERGENCY

DBS

- 2020

APPROVING a major amendment to the concept plan and development program statement governing Planned Development No. 69 to include certain adjacent properties, thereby approving the rezoning of those properties from the CN-P, “Commercial Neighborhood-Pedestrian,” zoning district to Planned Development District No. 69, in order to facilitate the construction of a new multi-family building and a new mixed-used building.

WHEREAS, Uptown Rental Properties (or an affiliate thereof) (“Uptown”) owns or controls certain real property in the Corryville neighborhood within the block generally bound by E. Corry Street, Short Vine Street, E. Charlton Street, and Euclid Avenue, which property is zoned Planned Development District No. 69 (“PD-69”) pursuant to Ordinance No. 262-2013; and

WHEREAS, the current concept plan and development program statement for PD-69 provides for the construction of a 149-unit multi-family development, a parking garage, and a surface parking lot; and

WHEREAS, Uptown owns or controls certain real property adjacent to PD-69 and located within the same block as PD-69 (“PD-69 Expansion Properties”), which property is currently located in the CN-P, “Commercial Neighborhood-Pedestrian,” zoning district; and

WHEREAS, Uptown has petitioned the City to approve a major amendment to the PD-69 concept plan and development program statement to enlarge PD-69 to include the PD-69 Expansion Properties, and to provide for the construction of a new multi-family building and a new mixed-used building on those properties; and

WHEREAS, the enlargement of PD-69 will enhance the planned development by replacing existing underutilized buildings with complimentary residential and mixed-use development; and

WHEREAS, at a special meeting on July 17, 2020, the City Planning Commission recommended approval of the enlargement of PD-69 and the related major amendment to the PD-69 concept plan and development program statement; and

WHEREAS, a committee of Council held a public hearing on the enlargement of PD-69 and the related major amendment to the PD-69 concept plan and development program statement following due and proper notice pursuant to Cincinnati Municipal Code Section 111-1, and the committee approved the enlargement and major amendment, finding it in the interest of the general public’s health, safety, morals, and general welfare; and

WHEREAS, the enlargement of PD-69 and the proposed amendment to the PD-69 concept plan and development program statement are consistent with *Plan Cincinnati* (2012), including its “Compete” goals to “[t]arget investment to geographic areas where there is already economic

activity,” (p. 115) and to “[p]rovide a full spectrum of housing options and improve housing quality and affordability” (p. 164); and

WHEREAS, the enlargement of PD-69 and the proposed amendment to the PD-69 concept plan and development program statement are consistent with Goal 1 of the Housing and Neighborhood Conditions Initiative within the *University Impact Area Solutions Study* (2016) to “[d]evelop and maintain quality housing” (p. 54) and the Vision Plan statement of the *University Village Urban Renewal Plan* (2005) to “[c]ontinue to promote private reinvestment into the neighborhood housing stock as a means to increase the economic diversity with the primary trade area population” (p. 61); and

WHEREAS, Council considers the enlargement of PD-69 and the related major amendment to the PD-69 concept plan and development program statement to be in the best interest of the City and the public’s health, safety, morals, and general welfare; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the shape and area of the City of Cincinnati’s official zoning map in the location of the real property commonly known as 2600, 2604, 2622, and 2624-2632 Short Vine Street and 4 Corry Street in the block generally bounded by E. Corry Street to the south, Short Vine Street to the west, E. Charlton Street to the north, and Euclid Avenue to the east (collectively, “PD-69 Expansion Property”), depicted on the map attached hereto as Exhibit “A” and incorporated by reference, and being more particularly described on the legal description contained in Exhibit “B” attached hereto and incorporated by reference, is hereby amended from the CN-P, “Commercial Neighborhood-Pedestrian,” zoning district to Planned Development District No. 69 (“PD-69”).

Section 2. That the concept plan for PD-69 is hereby amended to incorporate the PD-69 Expansion Property, as depicted on the plans attached hereto as Exhibit “C” and incorporated herein by reference.

Section 3. That the development program statement for PD-69 is hereby amended by appending to it the “2600 and 2630 Program Statement,” attached hereto as Exhibit “D” and incorporated herein by reference.

Section 4. That to the extent the concept plan and development program statement for PD-69 are not amended herein, they shall remain in full force and effect.

Section 5. That the use and development of the real property designated PD-69, including the PD-69 Expansion Property, shall be governed by the concept plan and development program statement for PD-69, as amended herein, for so long as PD-69 remains effective.

Section 6. That should the approval of PD-69 lapse pursuant to Cincinnati Municipal Code Chapter 1429, "Planned Development Districts," the PD-69 Expansion Property shall revert to the CN-P, "Commercial Neighborhood-Pedestrian," zoning district in effect immediately prior to the effective date of this ordinance.

Section 7. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to provide for the continued development of residential and mixed-use buildings to meet student demand from the University of Cincinnati and account for the delays in construction, permitting, and predevelopment activities that have been impacted by the ongoing COVID-19 pandemic.

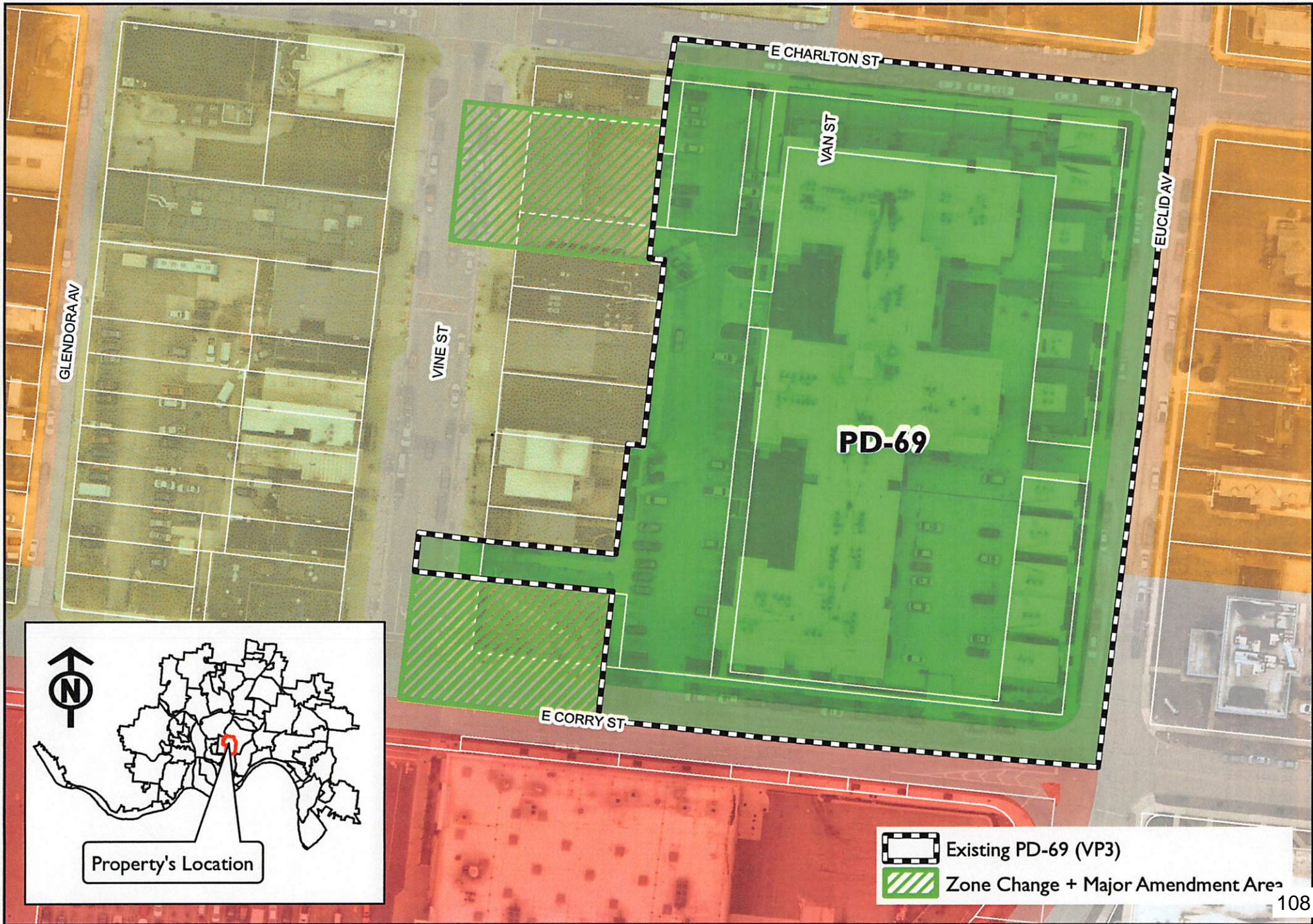
Passed: _____, 2020

John Cranley, Mayor

Attest: _____
Clerk

EXHIBIT A

Proposed Zone Change from CN-P to PD-69 and Major Amendment to the Concept Plan for Planned Development #69 in Corryville





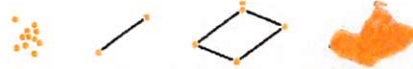
-  Existing PD-69 (VP3)
-  Zone Change + Major Amendment Area

EXHIBIT B



0.3678 Acres – Area to be Reclassified

Situated in City of Cincinnati, Hamilton County, Ohio, and being more particularly described as follows:

BEGINNING at the intersection of the centerline of Corry Street and the centerline of Short Vine Street.

Thence with the centerline of Short Vine Street, North 06°14'25" East, 110.50 feet;

Thence South 83°55'38" East, 145.00 feet;

Thence South 06°14'25" West, 110.50 feet;

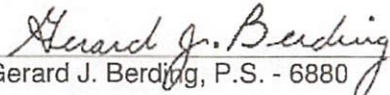
Thence North 83°55'38" West, 145.00 feet to the **POINT OF BEGINNING**.

CONTAINING 0.3678 Acres to be reclassified, of which 0.1956 acres is located within the public right-of-way of Short Vine Street and Corry Street.

Being all of Hamilton County Auditor's parcel 092-0002-0157 as conveyed to Short Vine Properties, LLC in Official Record 14160, Page 1408. Being all of Hamilton County Auditor's parcel 092-0002-0185-90 as conveyed to the City of Cincinnati in Deed Book 3450, Page 511. Being part of Hamilton County Auditor's parcel 092-0002-0177-90 as conveyed to the City of Cincinnati in Deed Book 3326, Page 163 of the Hamilton County Recorder's Office.

Bearings are based on State Plane Coordinate System Ohio South Zone NAD83.

Prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020. Based on a Zone Change Plat prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020.


Gerard J. Berding, P.S. - 6880

6-1-2020
Date





0.2859 Acres – Area to be Reclassified

Situated in City of Cincinnati, Hamilton County, Ohio, and being more particularly described as follows:

COMMENCING at the intersection of the centerline of Corry Street and the centerline of Short Vine Street; Thence with the centerline of Short Vine Street, North 06°14'25" East, 310.50 feet to the **POINT OF BEGINNING**.

Thence North 06°14'25" East, 92.33 feet;

Thence South 83°51'26" East, 135.00 feet;

Thence South 06°14'25" West, 92.16 feet;

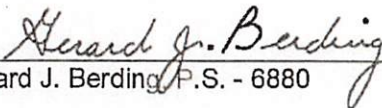
Thence North 83°55'38" West, 135.00 feet to the **POINT OF BEGINNING**.

CONTAINING 0.2859 Acres to be reclassified.

Being all of Hamilton County Auditor's parcels 092-0002-0001 & 092-0002-0003 as conveyed to Short Vine Properties, LLC in Official Record 13701, Page 1910 & Official Record 13701, Page 1906 of the Hamilton County Recorder's Office.

Bearings are based on State Plane Coordinate System Ohio South Zone NAD83.

Prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020. Based on a Zone Change Plat prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020.


Gerard J. Berding P.S. - 6880

5-27-2020
Date

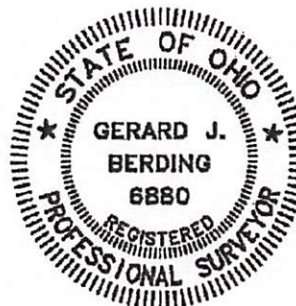
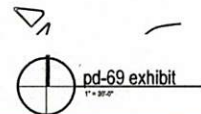


EXHIBIT C



NOTE: AREA SHOWN IN LIGHT GREEN IS PART OF PD-69 AS ESTABLISHED BY THE CITY OF CLEVELAND. AREAS SHOWN IN DARK GREEN ARE PROPOSED TO BE ADDED TO PD-69



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2600, 2630-2622 SHORT VINE STREET
 PD-69 EXHIBIT

m+a architects

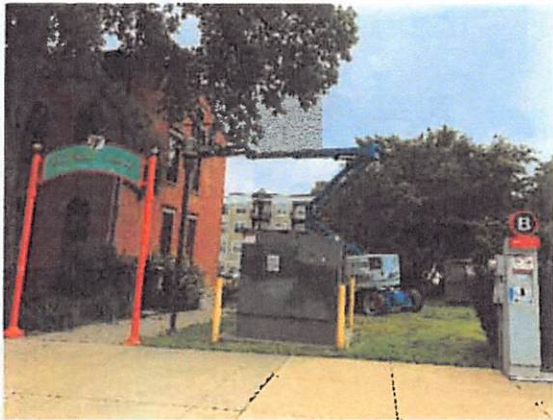
2019.426
 05/22/20
 20.0

EXHIBIT D

2600 and 2630 Short Vine Program Statement

Uptown Rental Properties, through Gas Light Ventures LLC and Short Vine Properties LLC, own approximately 0.6537 acres (Gross) of property contained in Auditors Parcels 092-0002-0157, 0003 and 0001. The parcels are all zoned “CN-P” Commercial Neighborhood – Pedestrian Oriented District and are located within Urban Design Overlay District #6. A zone map amendment is being requested to allow these parcels to become part of “PD-69” Planned Development District, which is immediately adjacent to the east. Final Development Plan approval is also being requested for the two development areas.

The northeast corner of Corry Street and Short Vine (2600 Short Vine – Parcel 0157) is currently vacant land and would be consolidated with two City owned parcels (Parcels 092-0002-0185 and 0007) which are already a part of “PD-69”.



2600 Short Vine Street – Front View



2600 Short Vine Street – Corry Street View

This 0.3678 acres (Gross) would be developed with eight residential units (5 five bedroom units and 3 two bedroom units). Also included on the first floor would be 2,241 square feet of restaurant/retail space. The building would be three stories on the Short Vine Street elevation and have a partial lower walkout level on the east elevation. The building is located on the Corry Street sidewalk with a clipped corner entrance to the restaurant/retail space at the intersection. The building is located adjacent to the Short Vine sidewalk on the southern portion of the building, however, due to the location of a large transformer, the northern portion of the building is set back off the sidewalk but features a landscaped garden space to accommodate the transformers. The inclusion of the 0.37 acres (Gross) into “PD-69” will allow the corner to establish a presence as the south end of the Short Vine Business District and will complement the VP-3 development to the east, the recent Kroger/Walgreens to the south, and the established Short Vine business district to the west and north.

Further north on Short Vine Street is the 0.2859 acres (Gross) of property located at 2622 – 2632 Short Vine Street (Parcels 092-0002-0001 and 0003). These properties are also zoned “CN-P” Commercial Neighborhood – Pedestrian District and are located within Urban Design Overlay District #6. The properties have been offered for sale over the last several years without any significant interest and are in poor condition.



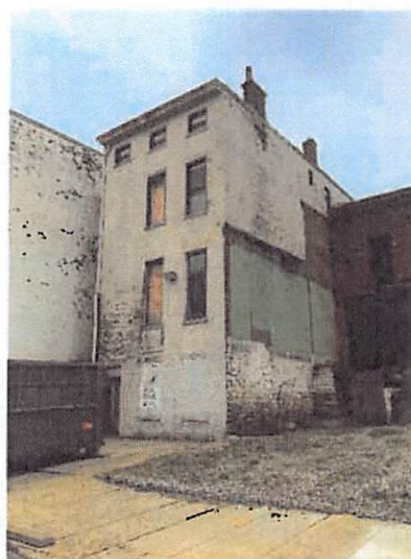
2624-2632 Short Vine Street – Front Elevation



2624-2632 Short Vine Street – Rear Elevation



2622 Short Vine Street – Front Elevation



2622 Short Vine Street – Rear Elevation

The properties are currently beyond repair, and a request is being made to allow for their demolition. The 0.2859 acres (Gross) would be redeveloped as a 19 unit residential development. The 19 units would be a mix of one bedroom (1 unit), two bedroom (9 units), three bedroom (4 units), four bedroom (1 unit), and two level five bedroom (4 units) residences. With a four-story presence on Short Vine and five stories to the west, the building will complement adjacent properties while being built to the Short Vine Street sidewalk with two recess points. Parking for the 27 residential units and the restaurant/retail space will be provided in the public parking lot, directly to the east within “PD-69” or within the VP-3 parking garage, which is also in “PD-69”. The surface parking lot to the immediate east of the development is owned by the City and contains approximately 59 parking spaces and has access from both Corry and Charlton Streets. The VP-3 garage, in addition to providing 233 spaces for residents, also features 203 public parking spaces that can be accessed from Euclid or the adjacent City parking lot.

Relative to the new buildings being located in Urban Design District #6, the new buildings are compatible with their surroundings in terms of architectural style, massing, scale, and form. Both buildings respond to the pattern of window placement in the district and have an articulated rhythm of windows as they relate to the structural bay creating an appropriate articulation. As they are windows into apartment units, the ground floor windows in 2630 are not open storefront windows as the UD regulations encourage, however, the entries are recessed and covered.

The proposed inclusion of the two redevelopments into “PD-69” represents a \$7,000,000.00 investment in the Short Vine Business District. Provided approvals are obtained in a timely manner, Uptown would begin construction this fall making new residential units and key retail space available for occupancy in August 2021. The development of the mixed use building at 2600 Short Vine and the residential building at 2630 Short Vine are consistent with many of the goals of adopted plans, including:

“Plan Cincinnati”

- Build on the recommendation of the Plan Cincinnati Policy to help maintain Short Vine as a “Neighborhood of Choice”.
- Implement the Policy of Plan Cincinnati to strengthen community organizations in recognizing the Corryville Community Council and the Short Vine Association support of the proposed development.
- Continue to focus revitalization on “Centers of Activity” which includes Corryville.
- Maintaining a walkable neighborhood center with structures addressing the street in a consistent pattern with parking consolidated to the rear.
- Integrate more housing into our neighborhood business districts and increase pedestrian activity.
- “Support and stabilize neighborhoods”. “Reduce the supply of functionally obsolete 2 – 4 unit apartment buildings through conversion or demolition”.
- “Increase the stock of quality moderate and upper income housing to help increase population and expand our tax base”.
- “Improve the quality and number of moderate to high-income rental and homeowner units”.
- “Offer housing options of varied sizes and types for residents at all stages of life”.
- “Increase the supply of townhomes and multi-family living options around centers of activity and along transit corridors”.

- The proposed redevelopment locations, consistent with the sustainability and healthier environment goals, are easily accessible to walk-to colleges and employment centers and are within a short walk to a new urban Kroger providing fresh, healthy foods.

University Village Urban Renewal Plan:

- “Future housing should provide higher density to complement the commercial district and provide a transition to housing to the east”.
- “New homes should be comprised of townhomes, condos and apartments”.
- “Preserve the rear lots behind the existing buildings for surface and structured parking to support local retailers on Vine Street”.
- “Continue to promote private reinvestment into the neighborhood housing stock as a means to increase the economic diversity within the primary trade area population.

The proposed redevelopment of these two portions of Short Vine will fill voids in the existing streetscape, creating new residences, opportunities for new business development and support for existing businesses. Uptown has been working with the Corryville Community Council, and they explicitly support amending “PD-69” to include the new construction. Further, the Community Council believes they are aligned with Uptown Rental Properties in their priority of improving and populating Corryville’s largest business district. The Short Vine Association also supports the request to include these properties in “PD-69” and believes that they share with Uptown the priority of improving and populating the Short Vine Business District and supporting its merchants. Consistent with support of the Corryville Community Council and the Short Vine Association, we would ask that these two development areas be consolidated into “PD-69” and Final Development Plan be approved to allow Uptown’s redevelopment and revitalization work in the Short Vine area to continue.

August 4, 2020

To: Nicole Crawford, Office of the Clerk of Council

From: Katherine Keough-Jurs, AICP, Director, Department of City Planning *KKJ*

Copies to: Samantha McLean, City Planner, Department of City Planning

Subject: Scheduling of Emergency Ordinance – Approving a Major Amendment to the Concept Plan for PD-69 in Corryville

The above referenced Ordinance is to be scheduled for the August 4, 2020, Economic Growth and Zoning Committee. This item has been requested to be placed on the next available Economic Growth and Zoning Committee meeting following the required two-week notification period.

Included in this submission are the following items:

- 1) The transmittal letter to the Mayor and City Council;
- 2) A copy of the City Planning Commission staff report dated July 17, 2020;
- 3) Additional Attachments
- 4) The Ordinance amending the official zoning map;
- 5) Mailing labels for the notice of the public hearing at the Economic Growth and Zoning Committee; and
- 6) A copy of the mailing labels for your file.

August 4, 2020

Cincinnati City Council
 Council Chambers, City Hall
 Cincinnati, Ohio 45202

Dear Members of Council:

We are transmitting herewith an Emergency Ordinance captioned as follows:

APPROVING a major amendment to the concept plan and development program statement governing Planned Development No. 69 to include certain adjacent properties, thereby approving the rezoning of those properties from the CN-P, "Commercial Neighborhood-Pedestrian," zoning district to Planned Development District No. 69, in order to facilitate the construction of a new multi-family building and a new mixed-used building.

Summary:

The petitioner, McBride Dale Clarion, on behalf of the owners, Uptown Rental Properties, is requesting a zone change from Commercial Neighborhood-Pedestrian (CN-P) to Planned Development #69 (PD-69) for properties located west of the current VP3 site at 2600, 2622, and 2624-2632 Short Vine Street and a Major Amendment to the Concept Plan for PD-69 to incorporate two proposed buildings on those subject properties. The existing PD is a multi-family development with a parking garage and parking lot. These properties are located within the Corryville Neighborhood Business District and Urban Design Overlay District #6.

The City Planning Commission recommended the following on July 17, 2020 to City Council:

1. **APPROVE** the proposed change in zoning at 2600, 2622, and 2624-2632 Short Vine Street from CN-P (Commercial Neighborhood-Pedestrian) to PD-69 (Planned Development #69);
2. **APPROVE** the Major Amendment to the Concept Plan and Development Program Statement for Planned Development #69, VP3, as specified on pages 2-3 of the staff report; and
3. **ADOPT** the Department of City Planning Findings as detailed on page 5 of the staff report.

Motion to Approve: Ms. Sesler

Ayes:

Mr. Eby

Seconded: Mr. Samad

Mr. Juech

Mr. Samad

Ms. Sesler

Mr. Stallworth

THE CITY PLANNING COMMISSION



Katherine Keough-Jurs, AICP, Director
 Department of City Planning

SUBJECT: A report and recommendation on a proposed zone change and Major Amendment to the Concept Plan and Development Program Statement for Planned Development #69 (PD-69), VP3, in Corryville.

GENERAL INFORMATION:

Location: 2600, 2604, 2622, 2624-2632 Short Vine Street and 4 Corry Street

Petitioner: McBride Dale Clarion
Anne F. McBride, FAICP
5725 Dragon Way, Suite 220
Cincinnati, Ohio 45227

Owner: Uptown Rental Properties
(through Gas Light Ventures LLC and Short Vine Ventures LLC)
2718 Short Vine Street
Cincinnati, OH 45219

Request: The City Planning Commission will review a proposed zone change and a Major Amendment to the Concept Plan and Development Program Statement for Planned Development #69 (PD-69), VP3, in Corryville. The proposal adds an additional 0.6537 acres into PD-69 along Short Vine Street. A Final Development Plan was submitted concurrently for the subject properties.

ATTACHMENTS:

Provided in addition to this report are:

- Exhibit A – Location Map
- Exhibit B – Application and Development Program Statement
- Exhibit C – Zone Change Plat
- Exhibit D – 2600 Short Vine Street Plans
- Exhibit E – 2630 Short Vine Street Plans
- Exhibit F – Letters of Support from Corryville Community Council and Short Vine Association
- Exhibit G – Coordinated Site Review Letter (Preliminary Design – 2600 Short Vine Street)
- Exhibit H – Coordinated Site Review Letter (Preliminary Design – 2630 Short Vine Street)
- Exhibit I – Coordinated Site Review Letter (Technical Design)

BACKGROUND:

In 2013, the City Planning Commission recommended approval of a change in zoning on the block bounded by Charlton Street, Euclid Avenue, Corry Street and the Van Street parking lot to create Planned Development District #69 (PD-69), known as VP3. The zone change ordinance was approved by City Council on August 7, 2013. In September and December 2013, the City Planning Commission approved the Final Development Plans for Phase I and Phase II of the VP3 development.

The VP3 development currently consists of three components:

1. A residential development of 149 units, including townhomes fronting along Euclid Avenue and Charlton Street with 31 units and a three- to four-story multi-family building internal to the site with 118 units.
2. A parking garage incorporated into the multi-family building with a total of 436 spaces, 233 spaces for residents and 203 spaces for the public.
3. A City-owned parking lot with 59 spaces accessed by Corry and Charlton streets and a pedestrian walkway located at 2604 Short Vine Street.

The petitioner is requesting a zone change from Commercial Neighborhood-Pedestrian (CN-P) to Planned Development #69 (PD-69) for properties located west of the current VP3 site at 2600, 2622, and 2624-2632 Short Vine Street and a Major Amendment to the Concept Plan for PD-69 to incorporate two proposed buildings on those subject properties. 2600 Short Vine Street is located at the intersection of Short Vine Street and Corry Street, just north of the Kroger. 2622 and 2624-2632 Short Vine Street are located near the corner of Short Vine Street and Charlton Street. These properties are located within the Corryville Neighborhood Business District and Urban Design Overlay District #6.

DESCRIPTION OF PROJECT AND PROPOSED CHANGES TO CONCEPT PLAN:

The approved Concept Plan and Development Program Statement for PD-69 consists of a 149-unit multi-family development, a parking garage, and a surface parking lot as outlined in the “Background” section of this report. The current PD-69 site is 2.75 acres in size.

The proposed Major Amendment to the Concept Plan would expand the Planned Development by 0.6537 acres to include a 0.3678-acre site at 2600 Short Vine Street and a 0.2859-acre site at 2630 Short Vine Street. The residential units, parking garage, and public parking lot would not be altered by the Major Amendment. The proposed Major Amendment includes the following development plans:

2600 Short Vine Street

2600 Short Vine Street is currently zoned CN-P and is proposed to be rezoned as PD-69 and consolidated with 2604 Short Vine Street and 4 Corry Street. 2604 Short Vine Street and 4 Corry Street are currently zoned PD-69 and are owned by the City of Cincinnati. The owner is proposing to purchase these properties from the City. 4 Corry Street is currently vacant and 2604 Short Vine Street is being used as a pedestrian walkway from Short Vine Street to the City-owned parking lot.

Once consolidated, the 0.3678-acre site, known as “2600 Short Vine Street” in the plan, is the proposed site for a mixed-use building with eight residential units, five five-bedroom units and three two-bedroom units, and 2,241 square feet of restaurant or retail space on the ground floor. The building is proposed to be three stories along Short Vine Street with a partial lower level on the east elevation. The southern portion of the building is adjacent to the sidewalk along Short Vine Street and Corry Street. The northern portion of the building will be set back from the sidewalk to accommodate an existing transformer on the property. Landscaped garden space will be incorporated in this area.

2630 Short Vine Street

2622 and 2624-2632 Short Vine Street are proposed to be rezoned from CN-P to PD-69 and consolidated into a 0.2859-acre site. There are currently two existing structures, one at 2622 Short Vine Street and one at 2624-2632 Short Vine Street. The owner has attempted to sell these properties without success. The existing buildings are in poor condition, so the Major Amendment is proposing the demolition of these existing buildings and the new construction of a 19-unit multi-family building with one one-bedroom unit,

nine two-bedroom units, four three-bedroom units, one four-bedroom unit, and four two-level, five-bedroom units. The proposed building would be four-stories along Short Vine Street and five-stories on the east elevation.

Parking for these properties is proposed to be in the surface parking lot behind the buildings or in the VP3 parking garage. The owner aims to begin construction during Fall 2020 with occupancy of the residential and commercial space in August 2021 in time for the 2021-2022 academic year.

CODE REQUIREMENTS:

§ 1429-12 MAJOR AMENDMENT:

The Cincinnati Zoning Code (§ 1429-12) allows for amendments to the Concept Plan. Major Amendments must be approved by the City Planning Commission and City Council. A Major Amendment to the Concept Plan has been requested as the applicant wishes to increase the size of the PD by 0.6537 acres of land and introduce two additional buildings into the Planned Development. The Major Amendment includes:

- A change in zoning of two areas west of the existing PD-69 site at 2600 Short Vine Street and 2622 and 2624-2632 Short Vine Street within the Commercial Neighborhood-Pedestrian (CN-P) zoning district. The properties are proposed to be rezoned Planned Development #69 (PD-69).
- The proposed plan for the additional area to be added to PD-69 as a Major Amendment to the Concept Plan and Development Program Statement for PD-69. This plan includes a three-story, mixed-use building at 2600 Short Vine Street with 2,241 square feet of ground-floor commercial space and eight residential units, and a four-story, multi-family building with 19 units at 2632 Short Vine Street.

§ 1429-13 FINAL DEVELOPMENT PLAN:

Pursuant to §1429-13 *Final Development Plan*, a Final Development Plan and Program Statement must be submitted to City Planning Commission after approval of the Concept Plan and Planned Development (PD) designation by City Council. Pursuant to §1429-16 *Concurrent Approval of Concept Plan, Development Program Statement and Final Development Plan*, the City Planning Commission may review and approve the Concept Plan, Development Program Statement, and Final Development Plan concurrently. The petitioner submitted a Final Development Plan for the two proposed new buildings. A report and recommendation on the proposed Final Development Plan is included as Item 20 in the July 17, 2020, City Planning Commission packet.

PUBLIC COMMENT AND NOTIFICATION:

The Department of City Planning held a virtual public staff conference on this proposed zone change and Major Amendment on June 23, 2020. Notices were sent to property owners within a 400-foot radius of the subject properties and the Corryville Community Council. The petitioner and members of the project team were present at the meeting. No community members attended the meeting.

All property owners within a 400-foot radius of the subject properties and the Corryville Community Council were notified of the City Planning Commission meeting scheduled for July 17, 2020. Both the Corryville Community Council and Short Vine Association submitted letters of support (Exhibit H). Both organizations cited that the proposed project would revitalize currently vacant and blighted properties.

COORDINATED SITE REVIEW:

The petitioner originally submitted their proposed project for Coordinated Site Review as two separate Preliminary Design Reviews in March 2020. The proposed mixed-use building at 2600 Short Vine Street was reviewed as CPRE200022 (Exhibit G) and the proposed multi-family building at 2630 Short Vine Street was reviewed as CPRE200030 (Exhibit H). During the review of these projects, the Department of City Planning identified the need for a zone change from CN-P to PD-69 and Major Amendment to the Concept Plan for PD-69. The complete project, encompassing all the subject properties, 2600, 2604, 2622, 2624-2632 Short Vine Street and 4 Corry Street, was reviewed by the Coordinated Site Review team in June 2020 as a Technical Design Review (Exhibit I). City departments provided feedback and requirements moving forth with the project but did not report major concerns about the proposed project.

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012)

The proposed Major Amendment to the Concept Plan is consistent with both the Compete Initiative Area and Live Initiative Area of *Plan Cincinnati*. Within the Compete Initiative Area, the proposed ground-floor commercial space at 2600 Short Vine Street is consistent with the Strategy to “Target investment to geographic areas where there is already economic activity” (p. 115). The proposed commercial space is located within the Corryville Neighborhood Business District. Within the Live Initiative Area, the proposed Major Amendment is consistent with the Goal to “Provide a full spectrum of housing options and improve housing quality and affordability” (p. 164). The proposed Major Amendment would add a total of 27 units of housing to the neighborhood. It is also consistent with the Strategy to “Support and stabilize our neighborhoods” (p. 160). The proposed Major Amendment would permit the construction of a mixed-use building on a currently vacant lot and a multi-family building on the current site of two dilapidated buildings in the heart of the Corryville Neighborhood Business District.

University Impact Area Solutions Study (2016)

The proposed Major Amendment to the Concept Plan is consistent with the Housing and Neighborhood Conditions Initiative within the *University Impact Area Solutions Study*, the most recent plan encompassing this area. It is consistent with Goal 1 in the Housing and Neighborhood Conditions Initiative to “Develop and maintain quality housing” (p. 54). The proposed Major Amendment would permit the construction of two buildings with a total of 27 units of housing.

University Village Urban Renewal Plan (2005)

The *University Village Urban Renewal Plan* is the urban design plan for the area. The proposed Major Amendment is consistent with the Vision Plan statement to “Continue to promote private reinvestment into the neighborhood housing stock as a means to increase the economic diversity with the primary trade area population” (p. 61) and the Future Housing Goal that “Future housing should provide higher density to complement the commercial district and provide a transition in scale to the single-family and attached housing” (p. 78).

ANALYSIS:

The proposed zone change would rezone 0.6537 acres of land from CN-P to PD-69, expanding the existing Planned Development. The proposed Major Amendment would introduce two additional buildings to the VP3 development with a total of 27 units of housing and 2,241 square feet of commercial space. The proposed development represents a \$7,000,000 investment in the area.

The subject properties are within the Corryville Neighborhood Business District. The proposed new construction would reactivate a currently vacant lot and blighted lot creating continuity and increased walkability along Short Vine Street from the Kroger development into the heart of the business district. The proposed mixed-use building and multi-family building would increase housing opportunities and introduce a business opportunity in an employment center area and adjacent to the University of Cincinnati.

The proposed development is within Urban Design Overlay District #6 and consistent with §1437-09 *Development Standards in UD Overlay Districts*. The proposed new construction is compatible with the surrounding area in terms of architectural style, massing, scale, and form. The window placement follows the pattern in the district and creates an articulated rhythm. The demolition of the existing structures is being proposed following the good faith endeavor of the owner to sell the properties. The proposed demolition would remove blight and allow for new construction which is in line with the urban design plan for the area.

Lastly, the petitioner demonstrated that the owner has engaged both the Corryville Community Council and the Short Vine Association on the proposal. Both organizations found that the proposed Major Amendment would help further their goals of adding population and supporting the neighborhood business district.

FINDINGS:

It is the opinion of the staff of the Department of City Planning that the Major Amendment to the Concept Plan is in compliance with §1429-12 of the Cincinnati Zoning Code, *Amendments to a Planned Development Concept Plan*, as outlined on pages 2 and 3 of this report. The proposal is consistent with the purpose of the Planned Development District Regulations. The applicant has successfully met all basic requirements of the Planned Development District. The Major Amendment will not negatively impact the existing character of the surrounding area.

RECOMMENDATION:

The staff of the Department of City Planning recommends that the City Planning Commission take the following actions:

1. **APPROVE** the proposed change in zoning at 2600, 2622, and 2624-2632 Short Vine Street from CN-P (Commercial Neighborhood-Pedestrian) to PD-69 (Planned Development #69);
2. **APPROVE** the Major Amendment to the Concept Plan and Development Program Statement for Planned Development #69, VP3, as specified on pages 2-3 of this report; and
3. **ADOPT** the Department of City Planning Findings as detailed on page 5 of this report.

Respectfully submitted:



Samantha McLean, City Planner
Department of City Planning

Approved:



Katherine Keough-Jurs, AICP, Director
Department of City Planning

Proposed Zone Change from CN-P to PD-69 and Major Amendment to the Concept Plan for Planned Development #69 in Corryville

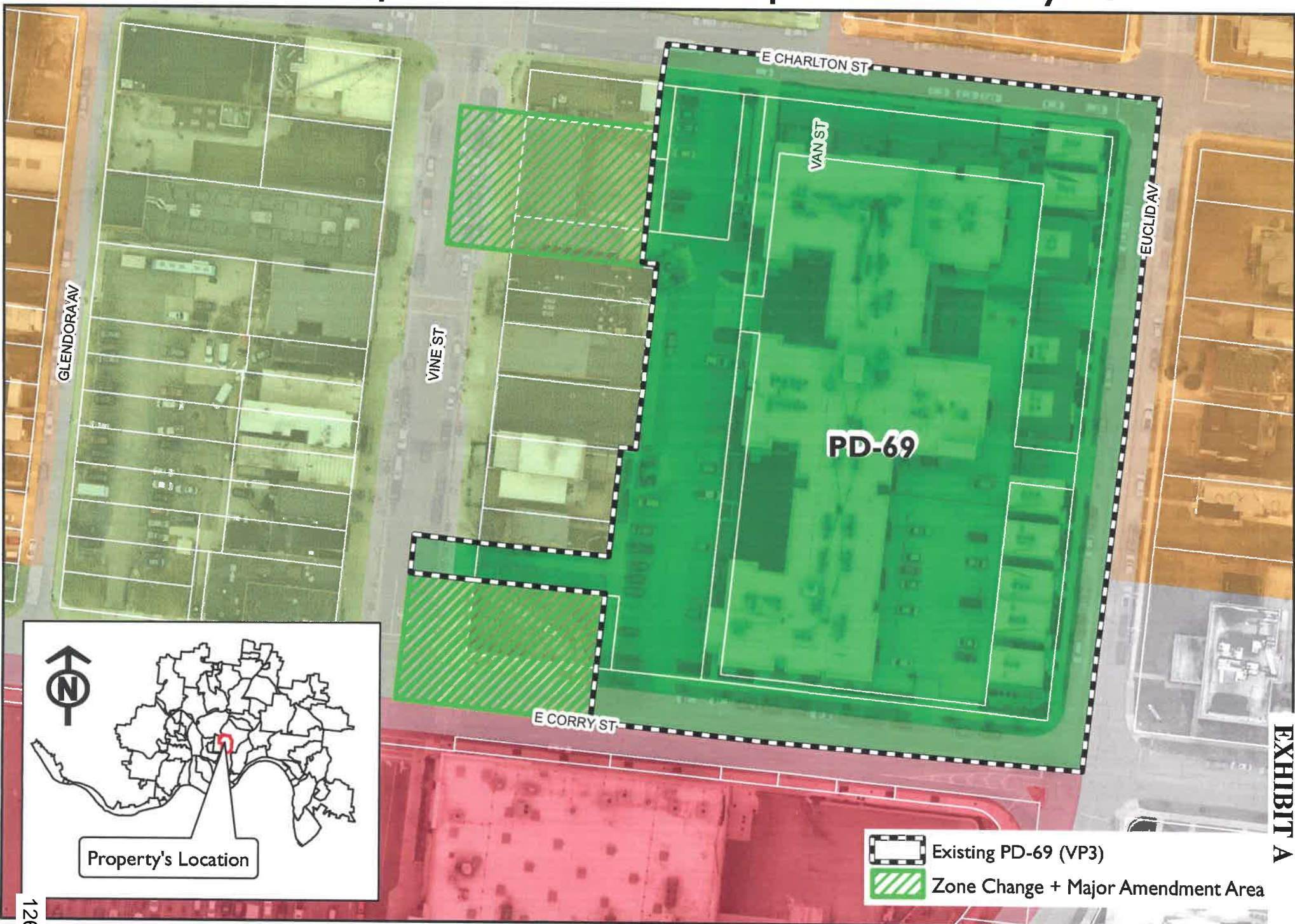
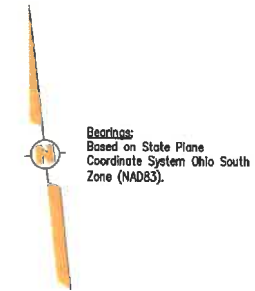
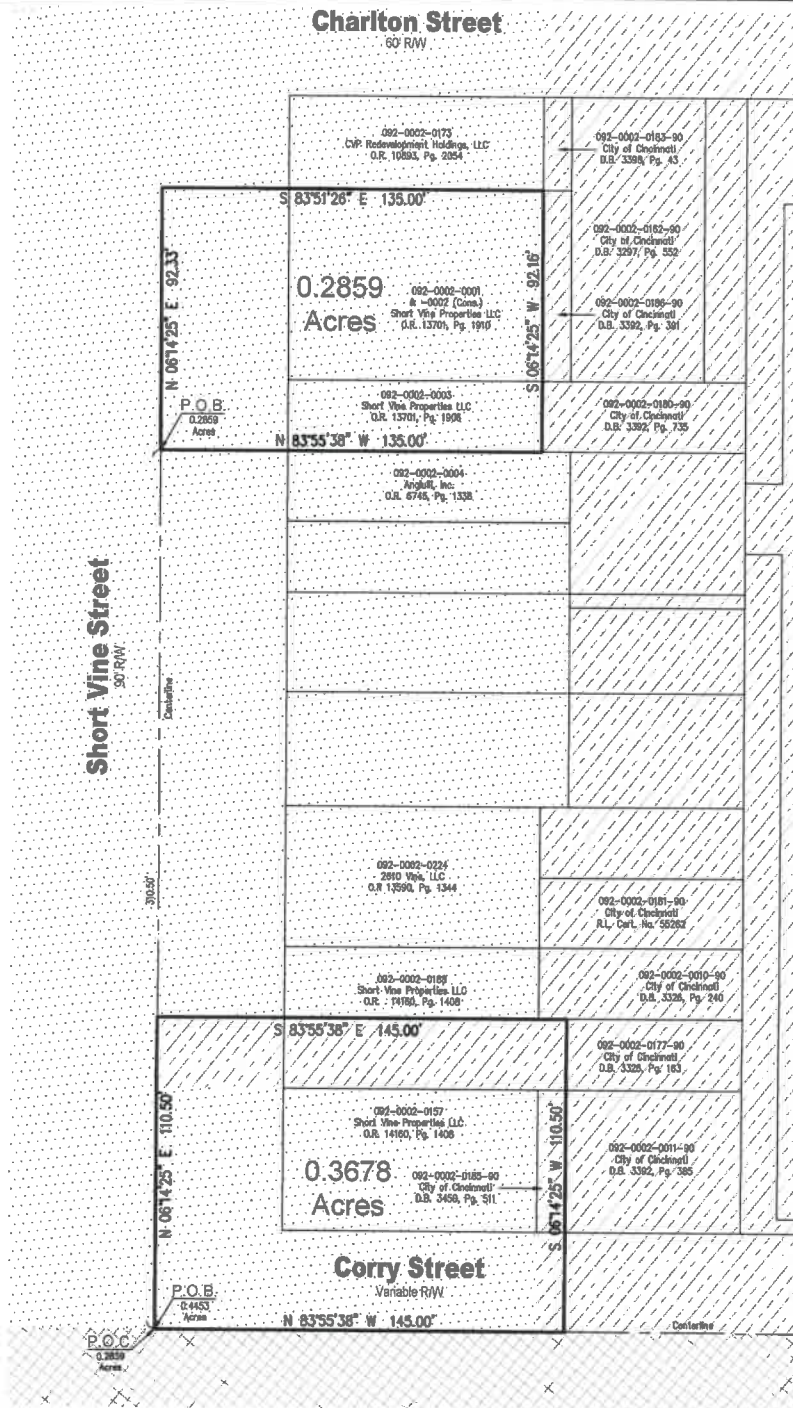


EXHIBIT A





0.2859 Ac. - Gross
 0.0953 Ac. - R/W
 0.1906 Ac. - Net

0.3678 Ac. - Gross
 0.1956 Ac. - R/W
 0.1722 Ac. - Net



Bearings:
 Based on State Plane
 Coordinate System Ohio South
 Zone (NAD83).

LEGEND

-  Areas to be Reclassified
0.4453 Acres
-  CURRENTLY ZONED CH-P
-  CURRENTLY ZONED PD-59
-  CURRENTLY ZONED CC-A



Zoning Change Plat
 Survey Type

Uptown
Short Vine Street
 Job Name

Section 14, Town 3, F.R. 2
 City of Cincinnati
 Hamilton County, Ohio
 Site Location

YTC | GJB | 1" = 30'
 Drawn By | Checked By | Drawing Scale

05/27/2020 | 19178
 Issue Date | Project Number



Gerard J. Berding
 Gerard J. Berding, P.S. - 6880
 berding@berdingsurveying.com

05/27/2020
 Date



GPS Surveying • 3D Laser Scann
 741 Main Street | Millard, OH 45150 | www.berdingsurveyii.com
 513.831.8761 fax | 513.831.5505 tel
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EXHIBIT B



May 28, 2020

Ms. Samantha McLean
City Planner
Planning Department
City of Cincinnati
Two Centennial Plaza
805 Central Avenue, Seventh Floor
Cincinnati, OH 45202

Via Hand Delivered

RE: 2600 and 2630 Short Vine

Dear Samantha:

As we have discussed, Uptown Rental Properties has acquired the properties located at 2600, 2622, and 2630 Short Vine Street in Corryville. All of the properties are currently zoned "CN-P" Commercial Neighborhood – Pedestrian District and are within "UD #6" Urban Design District. The three parcels are directly adjacent to the west of Planned Development District #69, which was developed by Uptown as a residential community. Although the property at 2600 is vacant ground, Uptown is requesting approval to demolish the two dilapidated structures at 2622 and 2630 Short Vine and rezone all three parcels into "PD-69". This would allow for the development of 19 new residences at "2632 Short Vine" and 8 new residences and 2,241 square feet of retail/restaurant space at "2600 Short Vine". Concept and Final Development Plan review and approval is also sought for these parcels, along with a portion of 2604 Short Vine, which is already included in "PD-69".

Per the requirements of the City, I am enclosing the following information:

- 1) Petition for Change of Zoning;
- 2) Zoning Plat;
- 3) Metes and Bounds Descriptions of the 0.2859 and 0.3678 acre (Gross) areas;
- 4) "PD-69" Exhibit;
- 5) Existing Conditions and Demolition Plan;
- 6) Concept/Final Development Site Plan;
- 7) Concept/Final Development Utility Plan;
- 8) Concept/Final Development Grading Plan;
- 9) Concept/Final Development Construction Details;
- 10) Concept/Final Development Landscape Plan;

Planning • Zoning • Development Services

- 11) Building Floor Plans;
- 12) Building Elevations with material notes;
- 13) Program Statement;
- 14) Letter of Support from Corryville Community Council;
- 15) Letter of Support from the Short Vine Association; and
- 16) Application fee of \$6,000.00.

The proposed development has received Preliminary Design Review comments and has been submitted for Technical Design Review. Please let me know if you have any questions or need additional information prior to scheduling the Public Staff Conference.

Sincerely,



Anne F. McBride, FAICP

AFM/ss

Enclosures

cc: Uptown Rental Properties

MDC #4366

**PETITION FOR CHANGE OF ZONING OF PROPERTY
LOCATED IN THE CITY OF CINCINNATI, OHIO**

To: The Honorable Council of the City of Cincinnati

Date: 5/28/2020

I hereby request your Honorable Body to amend the Zoning Map of the City of Cincinnati by changing the area described in the attached legal documentation and depicted on the attached plat from the "CN-P" Zone District to the "PD 69" Zone District.

Location of Property (Street Address): 2600, 2622, and 2624 - 2632 Vine Street.

Area Contained in Property (Excluding Streets): 0.6537 acres (Gross) / 0.3628 acres (Net)

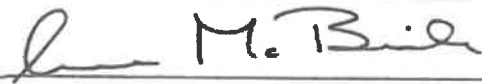
Present Use of Property: Vacant land and vacant retail/multi-family building.

Proposed Use of Property & Reason for Change: To develop a building with 8 multi-family units and 2,200 SF of commercial space, and a building with 19 multi-family units.

Property Owner's Signature: See attached

Name Typed: See attached

Address: See attached Phone: See attached

Agent Signature: 

Name Typed: Anne F. McBride, FAICP

Address: 5721 Dragon Way, Suite 300, Cincinnati, OH 45227 Phone: 513-561-6232

Please Check if the Following Items are Attached

Application Fee X

Copies of Plat X

Copies of Metes and Bounds X

Property Owners Signatures

2600 Short Vine Street
Hamilton County Auditors 092-0002-0157-00
Gaslight Ventures LLC
2718 Short Vine Street
Cincinnati, OH 45219
513-861-9394



Gaslight Ventures LLC

2622 Short Vine Street
Hamilton County Auditors 092-0002-0003-00
Short Vine Properties LLC
2718 Short Vine Street
Cincinnati, OH 45219
513-861-9394



Short Vine Properties LLC

2624 - 2632 Short Vine Street
Hamilton County Auditors 092-0002-0001-00
Short Vine Properties LLC
2718 Short Vine Street
Cincinnati, OH 45219
513-861-9394

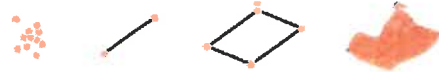


Short Vine Properties LLC

#4366



Planning • Zoning • Development Services



0.3678 Acres – Area to be Reclassified

Situated in City of Cincinnati, Hamilton County, Ohio, and being more particularly described as follows:

BEGINNING at the intersection of the centerline of Corry Street and the centerline of Short Vine Street.

Thence with the centerline of Short Vine Street, North 06°14'25" East, 110.50 feet;

Thence South 83°55'38" East, 145.00 feet;

Thence South 06°14'25" West, 110.50 feet;

Thence North 83°55'38" West, 145.00 feet to the **POINT OF BEGINNING**.

CONTAINING 0.3678 Acres to be reclassified, of which 0.1956 acres is located within the public right-of-way of Short Vine Street and Corry Street.

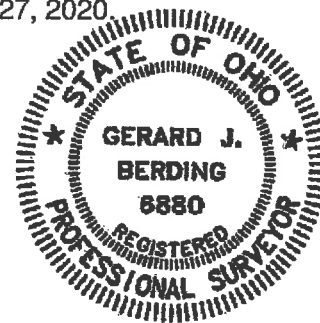
Being all of Hamilton County Auditor's parcel 092-0002-0157 as conveyed to Short Vine Properties, LLC in Official Record 14160, Page 1408. Being all of Hamilton County Auditor's parcel 092-0002-0185-90 as conveyed to the City of Cincinnati in Deed Book 3450, Page 511. Being part of Hamilton County Auditor's parcel 092-0002-0177-90 as conveyed to the City of Cincinnati in Deed Book 3326, Page 163 of the Hamilton County Recorder's Office.

Bearings are based on State Plane Coordinate System Ohio South Zone NAD83.

Prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020. Based on a Zone Change Plat prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020.

Gerard J. Berding
Gerard J. Berding, P.S. - 6880

6-1-2020
Date



G.J. Berding Surveying, Inc.

741 Main Street • Milford, OH 45150 • 513 831 5505 tel • 513 831 6761 fax • www.berdingsurveying.com

0.2859 Acres – Area to be Reclassified

Situated in City of Cincinnati, Hamilton County, Ohio, and being more particularly described as follows:

COMMENCING at the intersection of the centerline of Corry Street and the centerline of Short Vine Street; Thence with the centerline of Short Vine Street, North $06^{\circ}14'25''$ East, 310.50 feet to the **POINT OF BEGINNING**.

Thence North $06^{\circ}14'25''$ East, 92.33 feet;

Thence South $83^{\circ}51'26''$ East, 135.00 feet;

Thence South $06^{\circ}14'25''$ West, 92.16 feet;

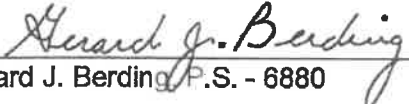
Thence North $83^{\circ}55'38''$ West, 135.00 feet to the **POINT OF BEGINNING**.

CONTAINING 0.2859 Acres to be reclassified.

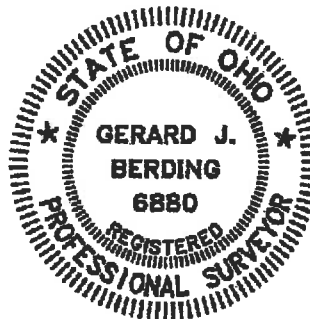
Being all of Hamilton County Auditor's parcels 092-0002-0001 & 092-0002-0003 as conveyed to Short Vine Properties, LLC in Official Record 13701, Page 1910 & Official Record 13701, Page 1906 of the Hamilton County Recorder's Office.

Bearings are based on State Plane Coordinate System Ohio South Zone NAD83.

Prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020. Based on a Zone Change Plat prepared by G.J. BERDING SURVEYING, INC. on May 27, 2020.


Gerard J. Berding P.S. - 6880

5-27-2020
Date



2600 and 2630 Short Vine Program Statement

Uptown Rental Properties, through Gas Light Ventures LLC and Short Vine Properties LLC, own approximately 0.6537 acres (Gross) of property contained in Auditors Parcels 092-0002-0157, 0003 and 0001. The parcels are all zoned “CN-P” Commercial Neighborhood – Pedestrian Oriented District and are located within Urban Design Overlay District #6. A zone map amendment is being requested to allow these parcels to become part of “PD-69” Planned Development District, which is immediately adjacent to the east. Final Development Plan approval is also being requested for the two development areas.

The northeast corner of Corry Street and Short Vine (2600 Short Vine – Parcel 0157) is currently vacant land and would be consolidated with two City owned parcels (Parcels 092-0002-0185 and 0007) which are already a part of “PD-69”.



2600 Short Vine Street – Front View



2600 Short Vine Street – Corry Street View

This 0.3678 acres (Gross) would be developed with eight residential units (5 five bedroom units and 3 two bedroom units). Also included on the first floor would be 2,241 square feet of restaurant/retail space. The building would be three stories on the Short Vine Street elevation and have a partial lower walkout level on the east elevation. The building is located on the Corry Street sidewalk with a clipped corner entrance to the restaurant/retail space at the intersection. The building is located adjacent to the Short Vine sidewalk on the southern portion of the building, however, due to the location of a large transformer, the northern portion of the building is set back off the sidewalk but features a landscaped garden space to accommodate the transformers. The inclusion of the 0.37 acres (Gross) into “PD-69” will allow the corner to establish a presence as the south end of the Short Vine Business District and will complement the VP-3 development to the east, the recent Kroger/Walgreens to the south, and the established Short Vine business district to the west and north.

Further north on Short Vine Street is the 0.2859 acres (Gross) of property located at 2622 – 2632 Short Vine Street (Parcels 092-0002-0001 and 0003). These properties are also zoned “CN-P” Commercial Neighborhood – Pedestrian District and are located within Urban Design Overlay District #6. The properties have been offered for sale over the last several years without any significant interest and are in poor condition.



2624-2632 Short Vine Street – Front Elevation



2624-2632 Short Vine Street – Rear Elevation



2622 Short Vine Street – Front Elevation



2622 Short Vine Street – Rear Elevation

The properties are currently beyond repair, and a request is being made to allow for their demolition. The 0.2859 acres (Gross) would be redeveloped as a 19 unit residential development. The 19 units would be a mix of one bedroom (1 unit), two bedroom (9 units), three bedroom (4 units), four bedroom (1 unit), and two level five bedroom (4 units) residences. With a four-story presence on Short Vine and five stories to the west, the building will complement adjacent properties while being built to the Short Vine Street sidewalk with two recess points. Parking for the 27 residential units and the restaurant/retail space will be provided in the public parking lot, directly to the east within “PD-69” or within the VP-3 parking garage, which is also in “PD-69”. The surface parking lot to the immediate east of the development is owned by the City and contains approximately 59 parking spaces and has access from both Corry and Charlton Streets. The VP-3 garage, in addition to providing 233 spaces for residents, also features 203 public parking spaces that can be accessed from Euclid or the adjacent City parking lot.

Relative to the new buildings being located in Urban Design District #6, the new buildings are compatible with their surroundings in terms of architectural style, massing, scale, and form. Both buildings respond to the pattern of window placement in the district and have an articulated rhythm of windows as they relate to the structural bay creating an appropriate articulation. As they are windows into apartment units, the ground floor windows in 2630 are not open storefront windows as the UD regulations encourage, however, the entries are recessed and covered.

The proposed inclusion of the two redevelopments into “PD-69” represents a \$7,000,000.00 investment in the Short Vine Business District. Provided approvals are obtained in a timely manner, Uptown would begin construction this fall making new residential units and key retail space available for occupancy in August 2021. The development of the mixed use building at 2600 Short Vine and the residential building at 2630 Short Vine are consistent with many of the goals of adopted plans, including:

“Plan Cincinnati”

- Build on the recommendation of the Plan Cincinnati Policy to help maintain Short Vine as a “Neighborhood of Choice”.
- Implement the Policy of Plan Cincinnati to strengthen community organizations in recognizing the Corryville Community Council and the Short Vine Association support of the proposed development.
- Continue to focus revitalization on “Centers of Activity” which includes Corryville.
- Maintaining a walkable neighborhood center with structures addressing the street in a consistent pattern with parking consolidated to the rear.
- Integrate more housing into our neighborhood business districts and increase pedestrian activity.
- “Support and stabilize neighborhoods”. “Reduce the supply of functionally obsolete 2 – 4 unit apartment buildings through conversion or demolition”.
- “Increase the stock of quality moderate and upper income housing to help increase population and expand our tax base”.
- “Improve the quality and number of moderate to high-income rental and homeowner units”.
- “Offer housing options of varied sizes and types for residents at all stages of life”.
- “Increase the supply of townhomes and multi-family living options around centers of activity and along transit corridors”.

- The proposed redevelopment locations, consistent with the sustainability and healthier environment goals, are easily accessible to walk-to colleges and employment centers and are within a short walk to a new urban Kroger providing fresh, healthy foods.

University Village Urban Renewal Plan:

- “Future housing should provide higher density to complement the commercial district and provide a transition to housing to the east”.
- “New homes should be comprised of townhomes, condos and apartments”.
- “Preserve the rear lots behind the existing buildings for surface and structured parking to support local retailers on Vine Street”.
- “Continue to promote private reinvestment into the neighborhood housing stock as a means to increase the economic diversity within the primary trade area population.

The proposed redevelopment of these two portions of Short Vine will fill voids in the existing streetscape, creating new residences, opportunities for new business development and support for existing businesses. Uptown has been working with the Corryville Community Council, and they explicitly support amending “PD-69” to include the new construction. Further, the Community Council believes they are aligned with Uptown Rental Properties in their priority of improving and populating Corryville’s largest business district. The Short Vine Association also supports the request to include these properties in “PD-69” and believes that they share with Uptown the priority of improving and populating the Short Vine Business District and supporting its merchants. Consistent with support of the Corryville Community Council and the Short Vine Association, we would ask that these two development areas be consolidated into “PD-69” and Final Development Plan be approved to allow Uptown’s redevelopment and revitalization work in the Short Vine area to continue.



NOTE: AREA SHADDED IN LIGHT GREEN IS PART OF PD-69 AS ESTABLISHED BY THE CITY OF CINCINNATI. AREAS SHADDED IN DARK GREEN ARE PROPOSED TO BE ADDED TO PD-69.

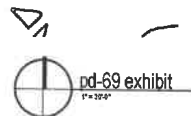


EXHIBIT D



2600, 2630-2622 SHORT VINE STREET
PD-69 EXHIBIT

m.a architects

2019.428
05/22/20
20.0

GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF CINCINNATI SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE SHORT VINE / CORRY ST. RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF CINCINNATI.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXPOSING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING. THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.18 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS, PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL, PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO DESIGN, IN ORDER TO RETAIN AND PREVENT THE SPREAD OF THE EMERALD ASH BORER. LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 9013-2-04. EXISTING REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE (HTTP://WWW.AGR.OHIO.GOV/CAO/).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT (513)871-0884, 8-1-1 OR 1-800-362-2784 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR EXISTENCE IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONNEL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PI" SHALL BE PVC-SR-359 HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT ITEM 702.33 / OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, GLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 811.10, TYPE A (COLLECTOR) AND TYPE B (STORM/SANITARY UNDER PAVEMENT). PER ODOT ITEM 811.08 BEDDING, TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 811.04.

USE TYPE 1 BEDDING FOR 706.02, OR 706.051 AND 706.052 CH SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL TOP RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPOUT PIPE. LEAVE THE BEDDING BELOW THE HOLE ONE-TWO OF THE PIPE BELL UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 811.06.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET). DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

EXCAVATION/FILL:

SITE BUILDING PAD EXCAVATION AND EMBANKMENT SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION AND APPROVAL.



DUKE ENERGY (ELECTRIC)
BRIAN BACON
TEL: 513-419-1647

DUKE ENERGY (GAS)
CLAY ASHCRAFT
TEL: 513-978-5432

CITY OF CINCINNATI STORMWATER
MANAGEMENT UTILITY (SMU)
4747 SPRING GROVE AVENUE
CINCINNATI, OHIO 45202
TEL: 513-591-5050

CITY OF CINCINNATI
DEPARTMENT OF TRANSPORTATION
AND ENGINEERING (DOT)
801 PLUM ST., ROOM 450
CINCINNATI, OHIO 45202
513-352-2424

CITY OF CINCINNATI
FIRE PREVENTION BUREAU
430 CENTRAL AVE.
CINCINNATI, OHIO 45202
FRED PRATHER
513-352-1665

DEPARTMENT UTILITY TABLE:

CITY OF CINCINNATI
BUILDINGS AND INSPECTION AND
PERMIT CENTER (BUILDING & ZONING)
805 CENTRAL AVE.; 5TH FLOOR
CINCINNATI, OHIO
513-352-4845

GREATER CINCINNATI WATER WORKS
4747 SPRING GROVE AVE.
CINCINNATI, OHIO 45202
TEL: 513-591-7837

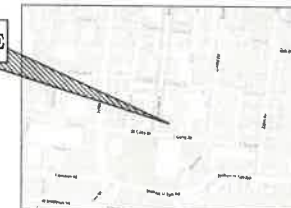
METROPOLITAN SEWER DISTRICT OF
GREATER CINCINNATI (MSD-SANITARY)
1500 WEST ST.
CINCINNATI, OHIO 45204
TEL: 513-244-1330

PLANS FOR THE CONSTRUCTION OF A NEW MULTI-FAMILY RESIDENTIAL BUILDING KNOWN AS:

2600 SHORT VINE MIXED USE

2600 SHORT VINE ST., CITY OF CINCINNATI, HAMILTON COUNTY, OHIO
MAY, 2020

PROPOSED SITE



LOCATION MAP

OWNER:

GASLIGHT VENTURES LLC
2718 SHORT VINE
CINCINNATI OH 45219

CIVIL ENGINEERING:

EVANS ENGINEERING
1240 AIRPORT RD., SUITE 211
CINCINNATI, OHIO 45226
(513)-321-2188
JONATHAN R. EVANS, P.E.

SURVEYING:

BERDING SURVEYING
741 MAIN STREET
HILFORD, OHIO 45150
(513)-531-5500
GERRY BERDING, P.S.

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- C-2 EXISTING CONDITIONS & DEMO PLAN
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- C-3.1 UTILITY SERVICE PLAN
- C-4 GRADING PLAN
- C-4.1 STORMWATER POLLUTION PREVENTION PLAN (SWPPP), NOTES

STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

- CB 1.1 (7-10-2019) CATCH BASINS Nos 2-2A & B
- CB 1.2 (1-10-2018) CATCH BASINS Nos 2-3 & 2-4
- CB 2.2 (7-10-2019) CATCH BASIN NO. 3A
- MH 1.2 (1-10-2018) MANHOLE NO. 3
- BP-7.1 (7-20-2019) NEW CURB RAMPS WITH TRUNCATED DOMES

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
4. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
5. INSTALL STORMWATER MANAGEMENT SYSTEMS.
6. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
7. SITE CONSTRUCTION.
8. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
9. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS	BY	NO. & DESCRIPTION
DATE		

EVANS ENGINEERING
4540 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2188



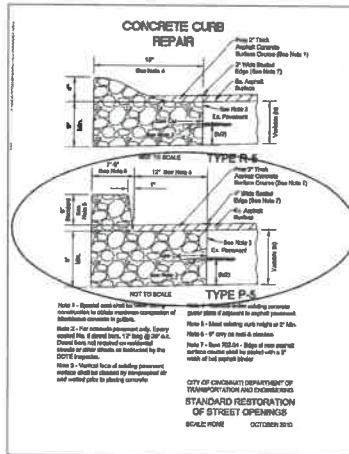
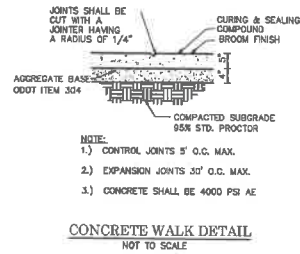
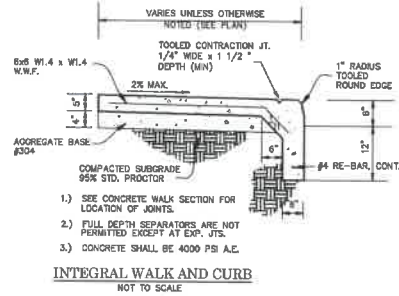
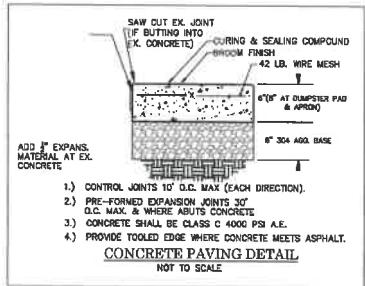
2600 SHORT VINE MIXED USE
TITLE SHEET & GENERAL NOTES
2600 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
1"=20'	N/A	

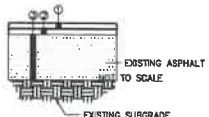
REV. NO.	119-103
DATE	Jun. 1, 2020

SHEET NO.

C-1

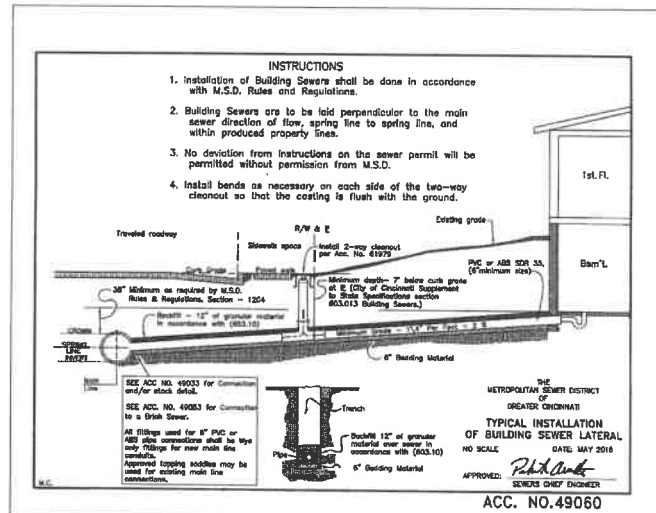


CURB REPAIR DETAIL



① ITEM 448 - 1" ASPHALT SURFACE COURSE
 ② ITEM 448 - VARIED THICKNESS ASPHALT INTERMEDIATE COURSE (ONLY AS NEEDED)
 ③ EXISTING GRAVEL OR ASPHALT DRIVE (THICKNESS VARIES)

RESURFACING ASPHALT PAVING DETAIL
NOT TO SCALE



PRELIMINARY
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REVISIONS
 DATE BY NO. & DESCRIPTION

EVANS ENGINEERING
 4540 AIRPORT ROAD, SUITE 211
 CINCINNATI, OHIO 45226
 (513) 321-2166



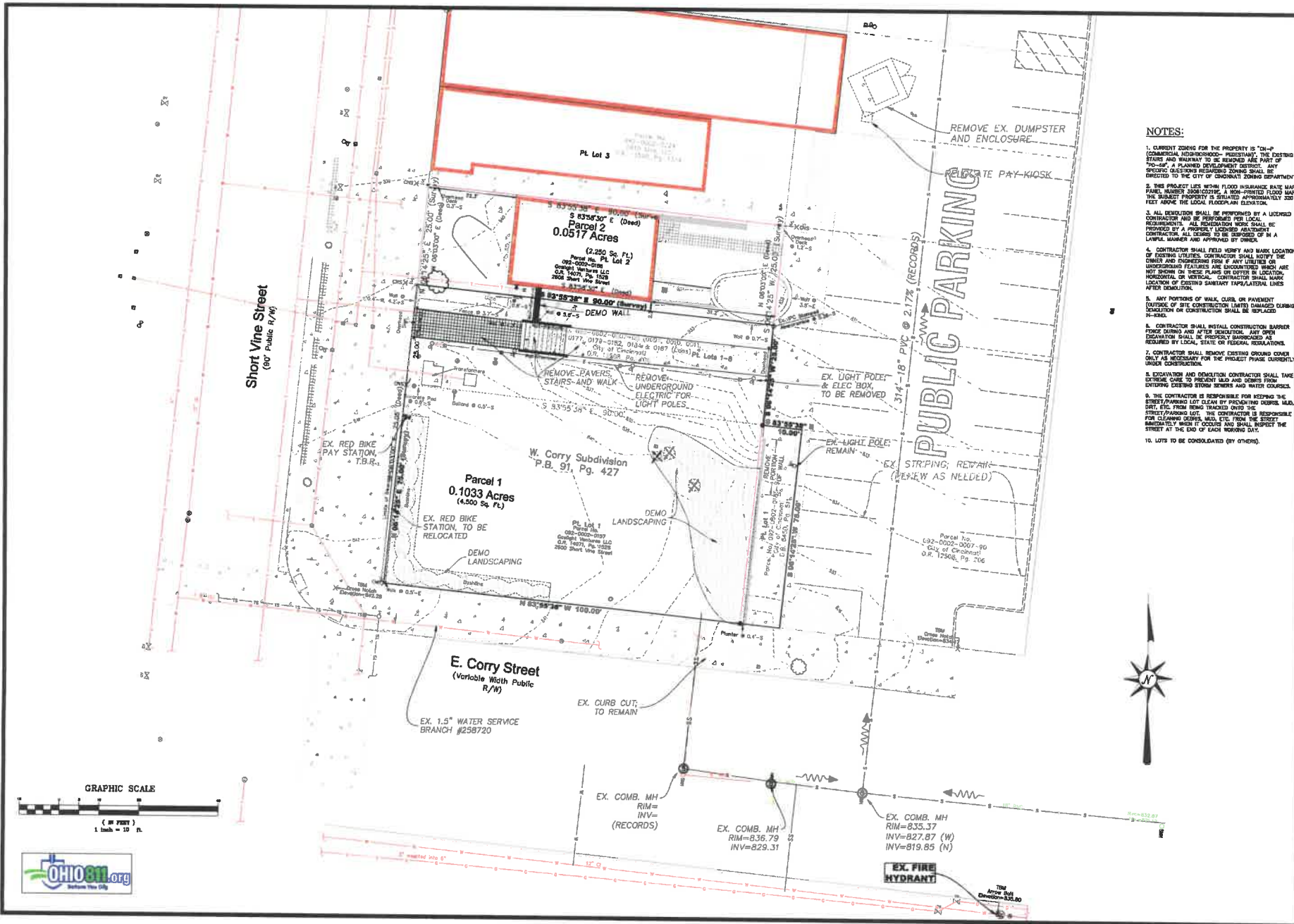
2600 SHORT VINE MIXED USE
SITE CONSTRUCTION
DETAILS
 2600 SHORT VINE ST.
 CINCINNATI, HAMILTON COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	N/A	N/A
DATE:	18-10-13	
DATE:	Jun. 1, 2020	

SHEET NO.

C-1.1





NOTES:

1. CURRENT ZONING FOR THE PROPERTY IS "C-1-P (COMMERCIAL NEIGHBORHOOD- RESIDENTIAL); THE EXISTING STAIRS AND WALKWAY TO BE REMOVED ARE PART OF "P-24" A PLANNED DEVELOPMENT DISTRICT. ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE CITY OF CINCINNATI ZONING DEPARTMENT.
2. THIS PROJECT LIES WITHIN FLOOD INSURANCE RATE MAP PANEL NUMBER UNDEVELOPED, A 100-YEAR FLOOD HAZARD. THE SUBJECT PROPERTY IS SITUATED APPROXIMATELY 300 FEET ABOVE THE LOCAL FLOOD-WAY ELEVATION.
3. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REQUIREMENTS. ALL REMEDIATION WORK SHALL BE PROVIDED BY A PROPER LICENSED CONTRACTOR. ALL DEMOS TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY OHIO.
4. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEERING FIRM IF ANY UTILITIES OR UNDERGROUND FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR OFFER IN LOCATION. HORIZONTAL OR VERTICAL. CONTRACTOR SHALL MARK LOCATION OF EXISTING SANITARY PIPE/LINE/LINES AFTER DEMOLITION.
5. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN-SITU.
6. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER FENCE SURROUND AND AFTER DEMOLITION. ANY OTHER DEMOLITION SHALL BE PROPERLY BARICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.
7. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
8. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT SOIL AND DEBRIS FROM EXISTING EXISTING STONE SERIES AND WATER COURSE(S).
9. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, OIL, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.
10. LOTS TO BE CONSOLIDATED (BY OTHERS).

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DATE	BY	REV. #	DESCRIPTION

EVANS ENGINEERING
4540 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-6166



2800 SHORT VINE MIXED USE
EXISTING CONDITIONS & DEMOLITION PLAN
2600 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
	1"=10'	N/A

JOB NO. 18-103
DATE Jan. 1, 2020

SHEET NO.

C-2



BRANCH APPLICATION DRAWING VERIFY DISCLAIMER

THIS DRAWING PLAT/SHEET HAS BEEN PREPARED BY THE APPLICANT FOR WATER SERVICE.
 ALL EXISTING UTILITY AND RECORD INFORMATION DEPICTED ON THIS DRAWING, INCLUDING BUILDING FOOTPRINT, TRUCKS MUST SHOW ANY ENCROACHMENTS INTO THE PUBLIC RIGHT OF WAY INCLUDING, BUT NOT LIMITED TO, BASEMENT AREAS, ROOT COLUMNS AND COIL, CRUISES, PAVES AND RESIDENT INFORMATION, ROADWAY AND RIGHT OF WAY LOCATION ARE THE RESULT OF RESEARCH BY THIS APPLICANT. ANY AND ALL DAMAGES OR NEED FOR ADDITIONAL WORK, RESULTING FROM INACCURACY ON THE PART OF THE APPLICANT IS THE APPLICANT'S SOLE FINANCIAL RESPONSIBILITY.

LEGEND-PROP. FEATURES

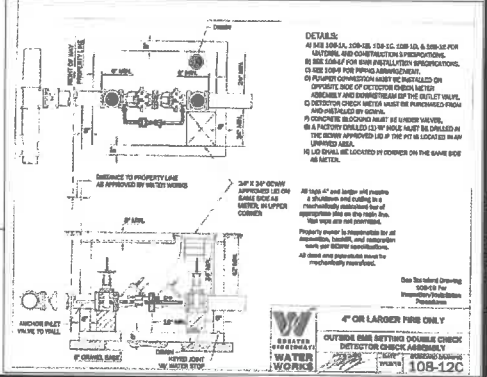
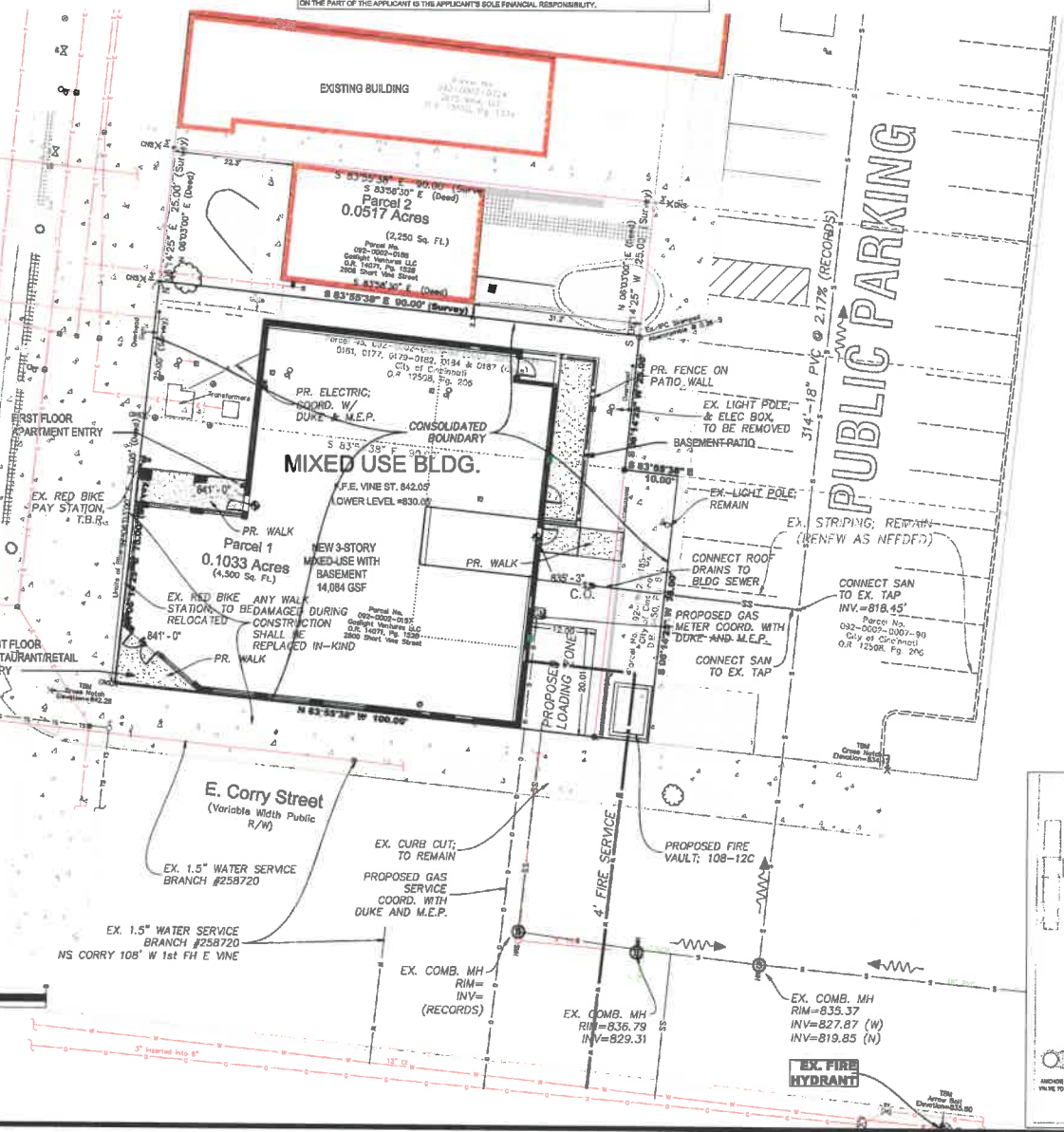
- S — EXISTING SANITARY MAIN OR COMBINED SEWER
- EXISTING WATER LINE
- EXISTING STORM
- DEC — EXISTING OVERHEAD ELECTRIC SERVICE
- EXISTING OVERHEAD TRAFFIC WIRES
- EXISTING GAS SERVICE
- T — EXISTING TELECOM SERVICE
- W — PROPOSED DOMESTIC WATER SERVICE (2" MET. 1.5" LINE)
- F — PROPOSED FIRE LINE 4", CONFORM WITH FIRE SUPPRESSION CONTRACTOR ALL WATER LINES TO HAVE A MINIMUM OF 42" OF COVER
- ES — PROPOSED 8" SANITARY LATERAL PVC 80R 35 @ 2.00% MIN.
- E — PROPOSED UNDERGROUND ELECTRIC SERVICE
- TR — PROPOSED ELECTRIC TRANSFORMER
- T — PROPOSED UNDERGROUND TELEPHONE SERVICE
- G — PROPOSED GAS SERVICE (SIZE TBD BY USE)
- I — INSTALL 4" CONDUIT WITH PULL STRIPS AND LOCATOR WIRE
- DS — R.R. DOWNSPILT
- R — R. 1" 30R 35 ROOF DRAIN @ 1.00% (OR SLOPED AS NOTED)

NOTES:

1. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY BEHND SURVEYING.
2. ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES SEE COVER SHEET FOR CONTACTS.
3. FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH EXISTING ARCHITECTURAL AND M.E.P. PLANS PRIOR TO STARTING CONSTRUCTION.
4. THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
5. IF LOWEST LEVEL ELEVATION IS BELOW MIN. ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
6. SANITARY CLEANOUTS WITHIN FEMENTATION SHALL HAVE MINIMUM R-1878 LID AND FRAME.
7. COORDINATE WITH GOLF AND MSD FOR BUILDING WATER AND SEWER TAPS.
8. ROOF DRAIN, FOUNDATION DRAIN, COOLING WATER, SWIMMING POOL, WATER OR CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
9. ROOF DRAIN SHALL BE 30R 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
10. SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER LOCATION.
11. A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
12. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES, AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIR ANY DAMAGE DONE TO THE UTILITIES DURING PRODIGING OR CONSTRUCTION.
13. ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND/OR UTILITY OWNER, AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL TRENCHES, PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
14. SITE CONTRACTOR SHALL CLEAN ALL CONCRETE AND PIPES THAT COLLECT DIRT, MUD, CONCRETE, TRASH, ETC. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
15. SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
16. SITE CONTRACTOR TO REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS INCLUDING SITE LIGHTING, IRRIGATION, GAS, TELECOM, WIRELESS AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
17. DOWNSPILT DRAIN CONNECTION SHALL BE 2.0" MIN. BELOW FINISHED FLOOR ELEVATION. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECTURAL PLAN.
18. CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
19. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
20. WATER MAINS SHALL BE LAD IN A MINIMUM OF 4'-0" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER MAIN.
21. DOMESTIC WATER PIPE FROM MAIN TO METER SHALL BE COPPER TUBING, NOT PLASTIC PIPE. 300-200 PSI CAN BE USED FROM 27' CURBICE METER TO BUILDING.
22. SANITARY SERVICE SHALL BE 6" PVC 80R-35 @ 2.00% MIN.
23. CONTRACTOR SHALL MAINTAIN MINIMUM CLEARANCE OF 10" BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE SPECIFIED BY GOVERNING MUNICIPALITY UTILITIES REQUIREMENTS.



Short Vine Street
(60' Public R/W)



PRELIMINARY
NOT FOR CONSTRUCTION

DATE	BY	NO.	DESCRIPTION

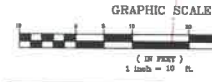
EVANS ENGINEERING
4848 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



2600 SHORT VINE MIXED USE
UTILITY SERVICE PLAN
2600 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
1"=10'	N/A	N/A

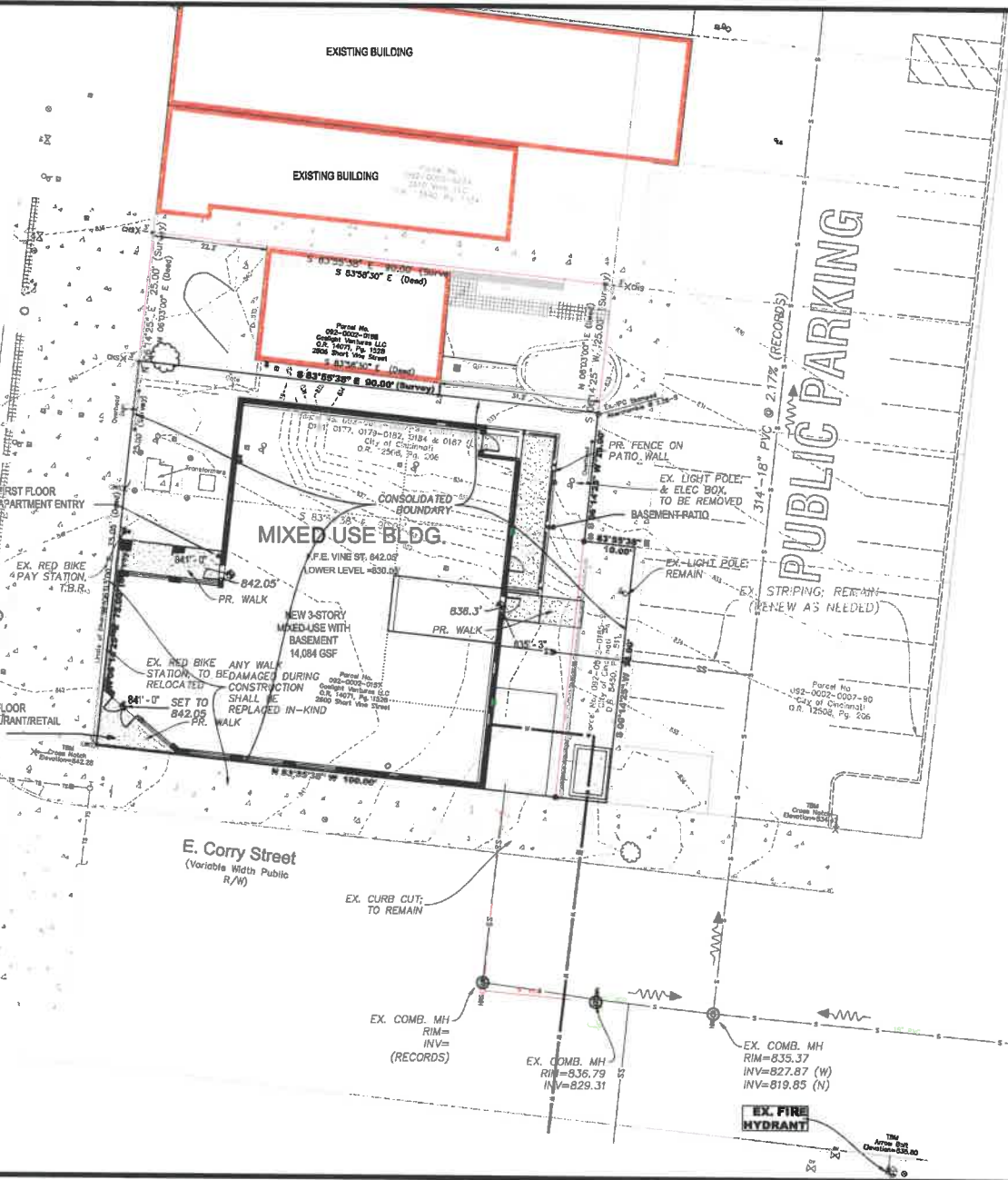
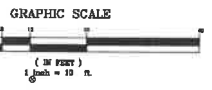
SHEET NO.
C-3.1





Short Vine Street
(90' Public R/W)

E. Cory Street
(Variable Width Public R/W)



GRADING LEGEND
 TC=TOP OF CURB ELEVATION
 F=FINISHED GRADE (PAVEMENT)
 F=FINISHED GRADE
 TW=TOP OF WALL
 BW=BOTTOM OF WALL
 B/C=EXISTING BACK OF CURB GRADE
 B/W=EXISTING BACK OF WALL GRADE
 EX=EXISTING GRADE

SPECIAL NOTES:
 CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER BEFORE COMMENCING EARTHWORK ACTIVITIES.
 TOPSOIL, 4" SHOULD BE DISTRIBUTED BACK ACROSS LANDSCAPE AREAS PRIOR TO SEEDING.
 CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. EXPORTED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED FILL AREA.

PRELIMINARY
NOT FOR CONSTRUCTION

DATE	BY	NO. & DESCRIPTION

EVANS ENGINEERING
 4240 AIRPORT ROAD, SUITE 211
 CINCINNATI, OHIO 45226
 (513) 321-2168

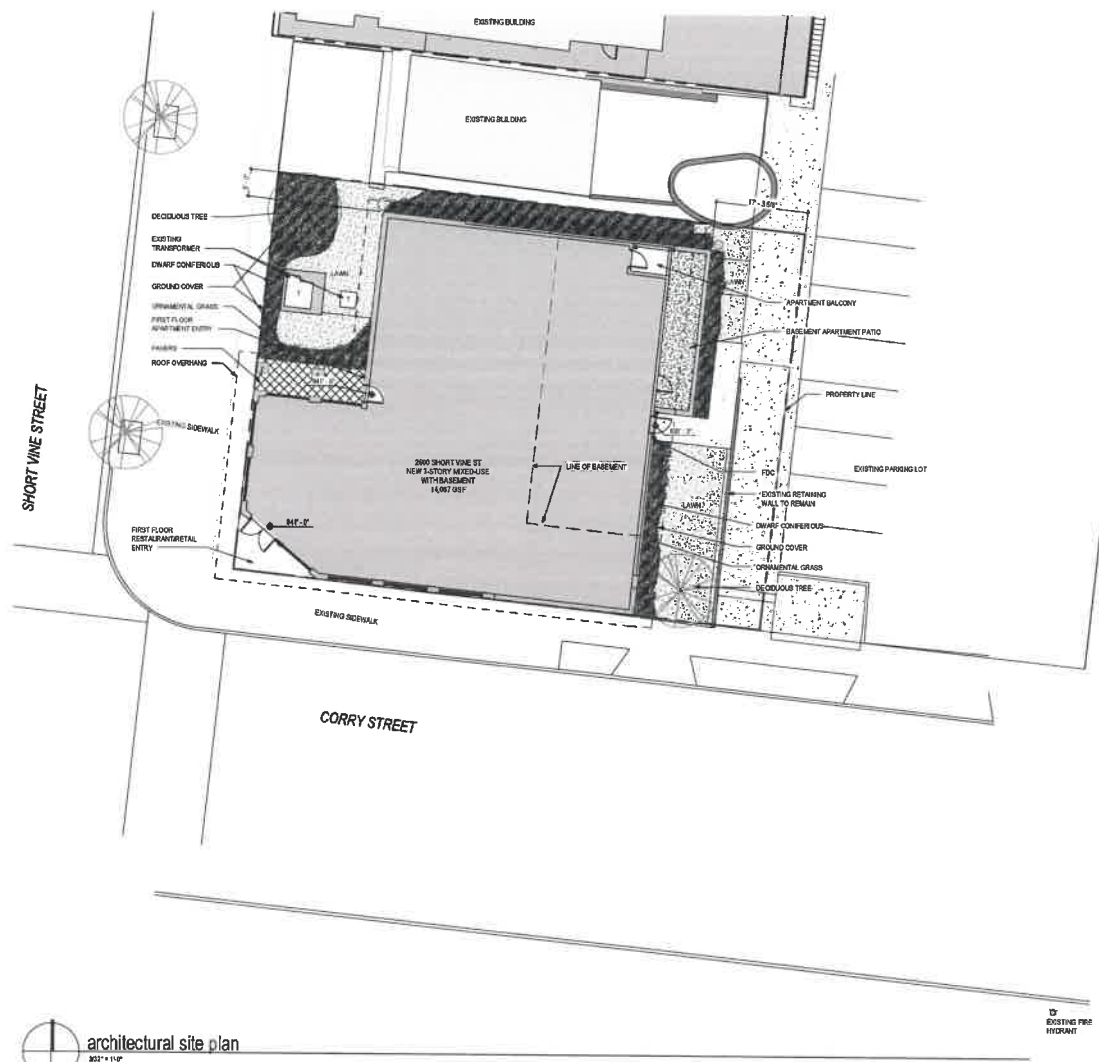


2600 SHORT VINE MIXED USE
 GRADING PLAN
 2600 SHORT VINE ST.
 CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
1"=10'	N/A	N/A
JOB NO.	19-103	
DATE	Jun. 1, 2020	

SHEET NO.

C-4



architectural site plan
 3/27/19



2600 SHORT VINE
 ARCHITECTURAL SITE PLAN

m+a architects

2019.428
 05/22/20
 Z1.0



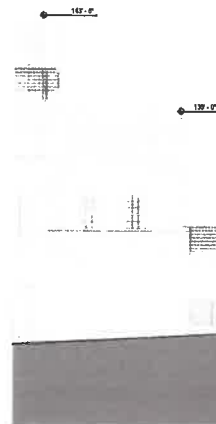
north elevation
181' x 132'



east (rear) elevation
109' x 140'



south elevation
147' x 142'



west (front) elevation
147' x 142'



2600 SHORT VINE EXTERIOR ELEVATIONS

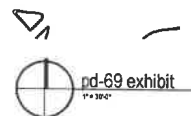


EXHIBIT E

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2600, 2630-2622 SHORT VINE STREET
PD-69 EXHIBIT

m+a architects

2019.426
 05/22/20
 20.0

GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF CINCINNATI SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE SHORT VINE, RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF CINCINNATI.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 2011 CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 100.18 AND 100.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 806.04, IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER. LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 801.3-5-6, COVERING REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE (<http://www.agri.ohio.gov/801.3>).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING THIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT SHORTROLLS, 8-1-1 OR 1-800-382-2764 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SETWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT ENDEAVOR UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONNEL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS PER ITEM SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER GOOT 707.33 / OR REINFORCED CONCRETE PIPE PER GOOT ITEM 708.02, CLASS IV. ALL STORM SHALL BE INSTALLED FOR GOOT ITEM 811.10, TYPE A (COLLECTORS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

811.06 BEDDING, TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 811.05.

USE TYPE 1 BEDDING FOR 708.04, OR 708.051 AND 708.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 708 RIGID PIPE CONDUITS AND 3 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPOUT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPA UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 811.05.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER COVERING AGREES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING GOOT ITEM 708.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET), DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

EXCAVATION/FILL:

SITE BUILDING PAD EXCAVATION AND EMBANKMENT SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION AND APPROVAL.



OHIO 811
Before You Dig

PLANS FOR THE CONSTRUCTION OF A NEW MULTI-FAMILY RESIDENTIAL BUILDING KNOWN AS:

2630 SHORT VINE RESIDENTIAL

2630 SHORT VINE ST., HAMILTON COUNTY, OHIO
MAY, 2020



OWNER:
SHORT VINE PROPERTIES LLC
2718 SHORT VINE ST
CINCINNATI OH 45219

CIVIL ENGINEERING:
EVANS ENGINEERING
4240 AIRPORT RD., SUITE 211
CINCINNATI, OHIO 45224
(613)-321-2168
JONATHAN R. EVANS, P.E.

SURVEYING:
BERING SURVEYING
741 MAIN STREET
MILFORD, OHIO 45150
(513) 831-5505
GERRY BERING, P.S.

INDEX:

- C-1 TITLE SHEET & GENERAL NOTES
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- C-3.1 UTILITY SERVICE PLAN
- C-4 GRADING PLAN
- C-4.1 STORMWATER POLLUTION PREVENTION PLAN (SWPPP), NOTES

STANDARD DRAWINGS:

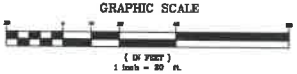
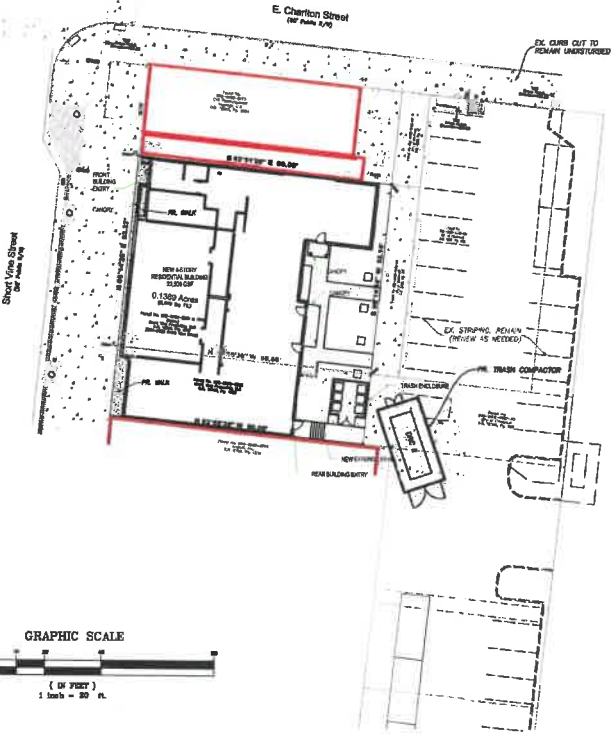
THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

- OB 1.1 (7-18-2019) CATCH BASIN NOS 2-2A & B
- OB 1.2 (1-15-2016) CATCH BASIN NOS 2-3 & 2-4
- OB 2.2 (7-10-2016) CATCH BASIN NO. 3A
- MN 1.2 (1-15-2016) MANHOLE NO. 3
- BP-7.1 (7-20-2014) NEW CURB RAMPS WITH TRUNCATED DOMES

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
3. GRADING AND STOPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
4. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SDP, PERMITS)
5. INSTALL STORMWATER MANAGEMENT SYSTEMS.
6. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
7. SITE CONSTRUCTION.
8. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
9. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.



DEPARTMENT/UTILITY TABLE:

CITY OF CINCINNATI BUILDINGS AND INSPECTION AND PERMIT CENTER (BUILDING & ZONING) 805 CENTRAL AVE.; 5TH FLOOR CINCINNATI, OHIO 513-352-4845	GREATER CINCINNATI WATER WORKS 4747 SPRING GROVE AVE. CINCINNATI, OHIO 45232 TEL: 513-591-7837	METROPOLITAN SEWER DISTRICT OF GREATER CINCINNATI (MSD-SANITARY) 1600 QEST ST. CINCINNATI, OHIO 45204 TEL: 513-244-1330	CITY OF CINCINNATI DEPARTMENT OF TRANSPORTATION AND ENGINEERING (DOT) 801 PLUM ST., ROOM 450 CINCINNATI, OHIO 45202 513-352-3424
DUKE ENERGY (ELECTRIC) BRIAN BACON TEL: 513-419-1647	DUKE ENERGY (GAS) CLAY ASHCRAFT TEL: 513-978-5432	CITY OF CINCINNATI STORMWATER MANAGEMENT UTILITY (SMU) 4747 SPRING GROVE AVENUE CINCINNATI, OHIO 45232 TEL: 513-591-5050	CITY OF CINCINNATI FIRE PREVENTION BUREAU 430 CENTRAL AVE. CINCINNATI, OHIO 45202 FRED PRATHER 513-352-1685

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS	BY	NO. & DESCRIPTION
DATE		

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45224
(513) 321-2168



2630 SHORT VINE RESIDENTIAL
TITLE SHEET & GENERAL NOTES
2630 SHORT VINE ST.
HAMILTON COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=20'	N/A

JOB NO. 19-194
DATE: May 22, 2020

SHEET NO.

C-1

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REVISIONS
DATE BY NO. & DESCRIPTION

EVANS ENGINEERING
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CINCINNATI, OHIO 45226
(513) 321-2168

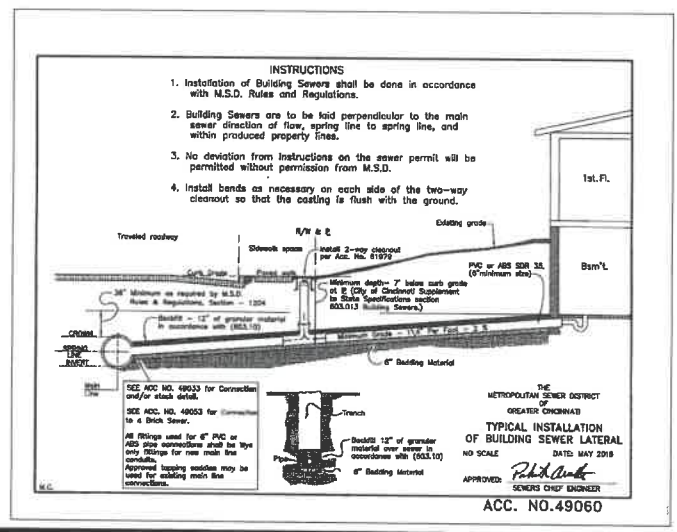
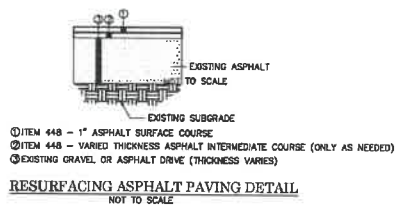
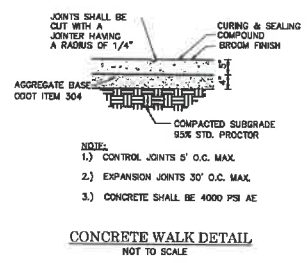
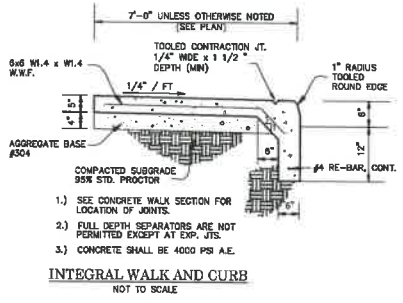
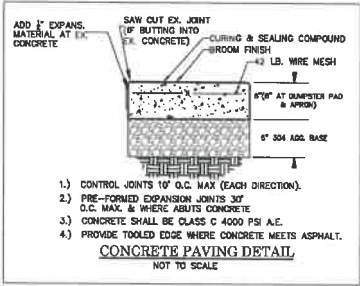


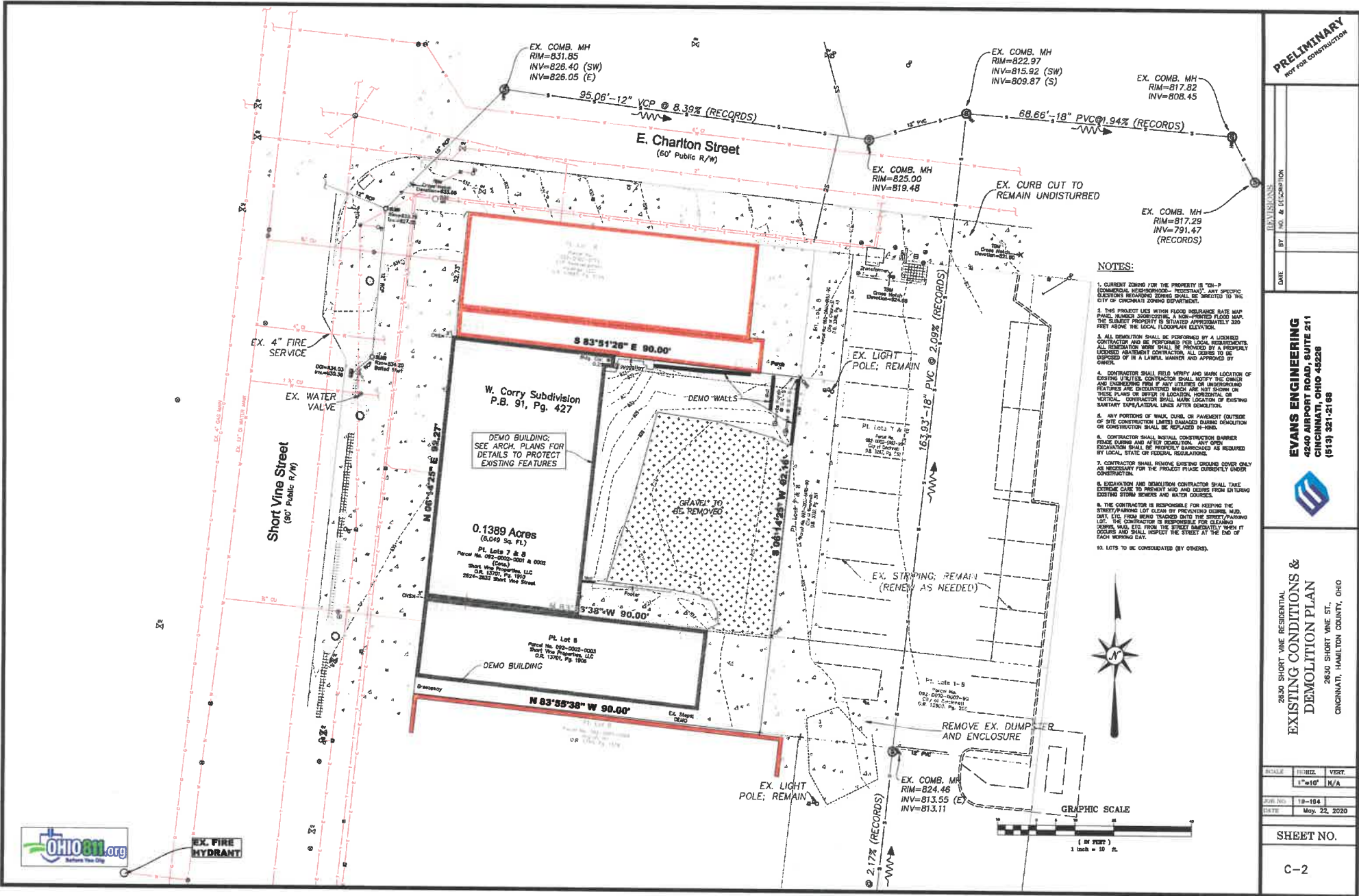
2630 SHORT VINE RESIDENTIAL
SITE CONSTRUCTION
DETAILS
2630 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
	N/A	N/A
JOB NO.	18-184	
DATE	May 22, 2020	

SHEET NO.

C-1.1





- NOTES:**
1. CURRENT ZONING FOR THE PROPERTY IS "C3-P" (COMMERCIAL INTERMEDIATE- PEDESTRIAN). ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE CITY OF CINCINNATI ZONING DEPARTMENT.
 2. THIS PROJECT USES WITH FLOOD INSURANCE RATE MAP PANEL NUMBER 0802020202. A NON-SPRINKLED FLOOD MAP. THE SUBJECT PROPERTY IS SITUATED APPROXIMATELY 320 FEET ABOVE THE LOCAL FLOODPLAIN ELEVATION.
 3. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REGULATIONS. ALL DEMOLITION WORK SHALL BE PROVIDED BY A PROPERLY LICENSED ABANDONMENT CONTRACTOR. ALL DEBRIS TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY OWNER.
 4. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND CONSIDERING POSITION OF ANY UTILITIES OR INFRASTRUCTURE FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR OFFER IN LOCATION, HORIZONTAL OR VERTICAL. CONTRACTOR SHALL MARK LOCATION OF EXISTING SANITARY TRENCHES/LINES AFTER EXCAVATION.
 5. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN-SITU.
 6. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER PRIOR DURING AND AFTER DEMOLITION. ANY OPEN EXCAVATIONS SHALL BE PROPERLY BARRICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.
 7. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
 8. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER CONDUITS.
 9. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, OILS, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL RESPECT THE STREET AT THE END OF EACH WORKING DAY.
 10. LOTS TO BE CONSIDERATED (BY OTHERS).



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EVANS ENGINEERING
4040 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2166



2630 SHORT VINE RESIDENTIAL
EXISTING CONDITIONS & DEMOLITION PLAN
2630 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
1"=10'	N/A	N/A

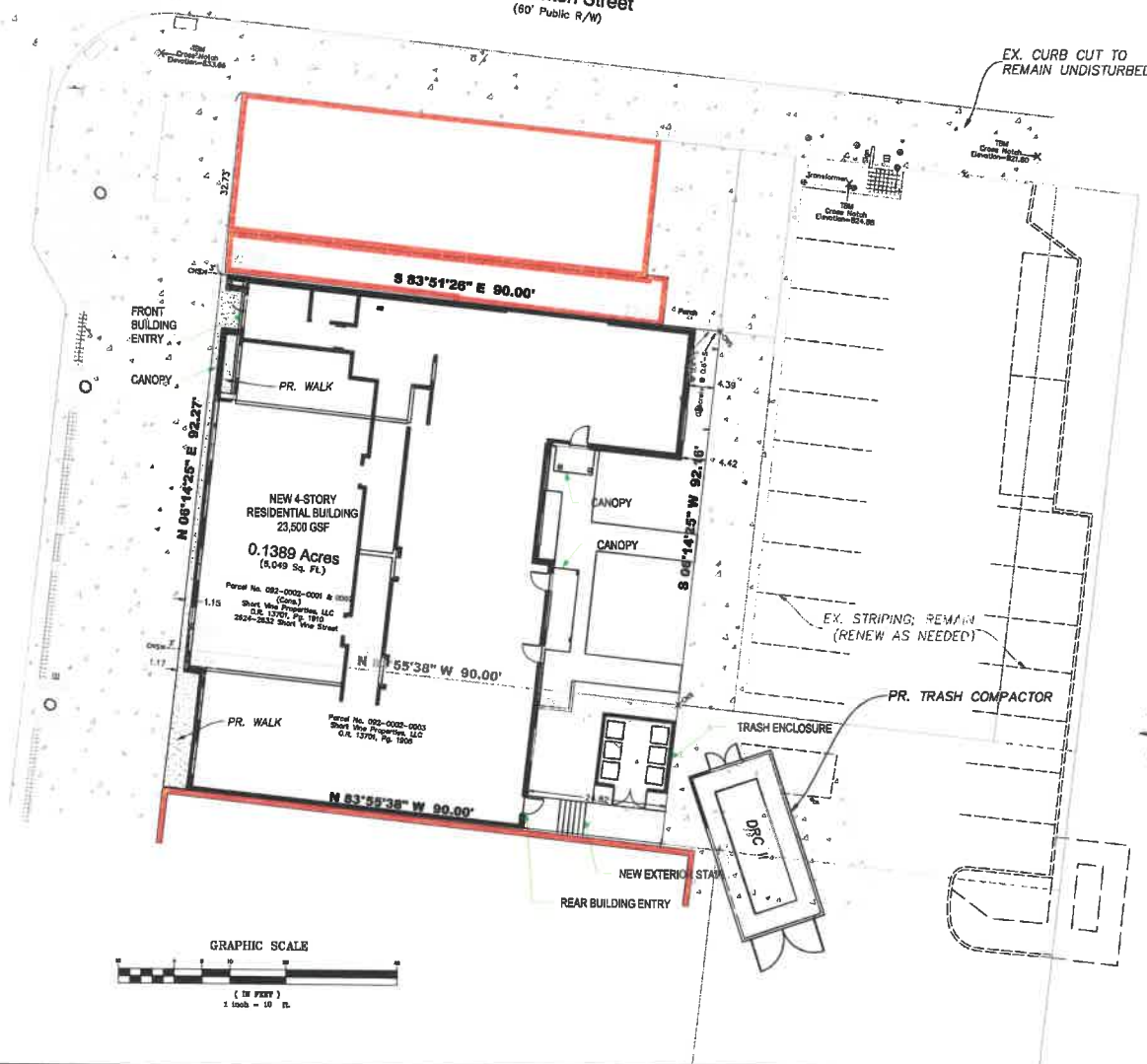
SHEET NO. C-2



EX. FIRE HYDRANT

Short Vine Street
(60' Public R/W)

E. Charlton Street
(60' Public R/W)



LEGEND-PROP. FEATURES

- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW PORTLAND CEMENT CONCRETE WALK

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVED OR BUILT UP ARE TO BE COVERED WITH GRASS/Turf UNLESS OTHERWISE NOTED.

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STREETS, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
2. ALL CURB RADIUS ARE 5' UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
4. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
5. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPERVISORS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
6. ALL CONCRETE FOR SITE WORK SHALL BE PER DOT 662, CLASS "C", 4,000 PSI, 0-7% AIR EXTRACTED.

EX. CURB CUT TO REMAIN UNDISTURBED

EX. STRIPING; REMAIN (RENEW AS NEEDED)

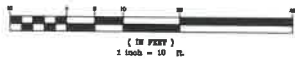
PR. TRASH COMPACTOR

TRASH ENCLOSURE

NEW EXTERIOR STAIR

REAR BUILDING ENTRY

GRAPHIC SCALE



EX. FIRE HYDRANT



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CINCINNATI, OHIO 45226
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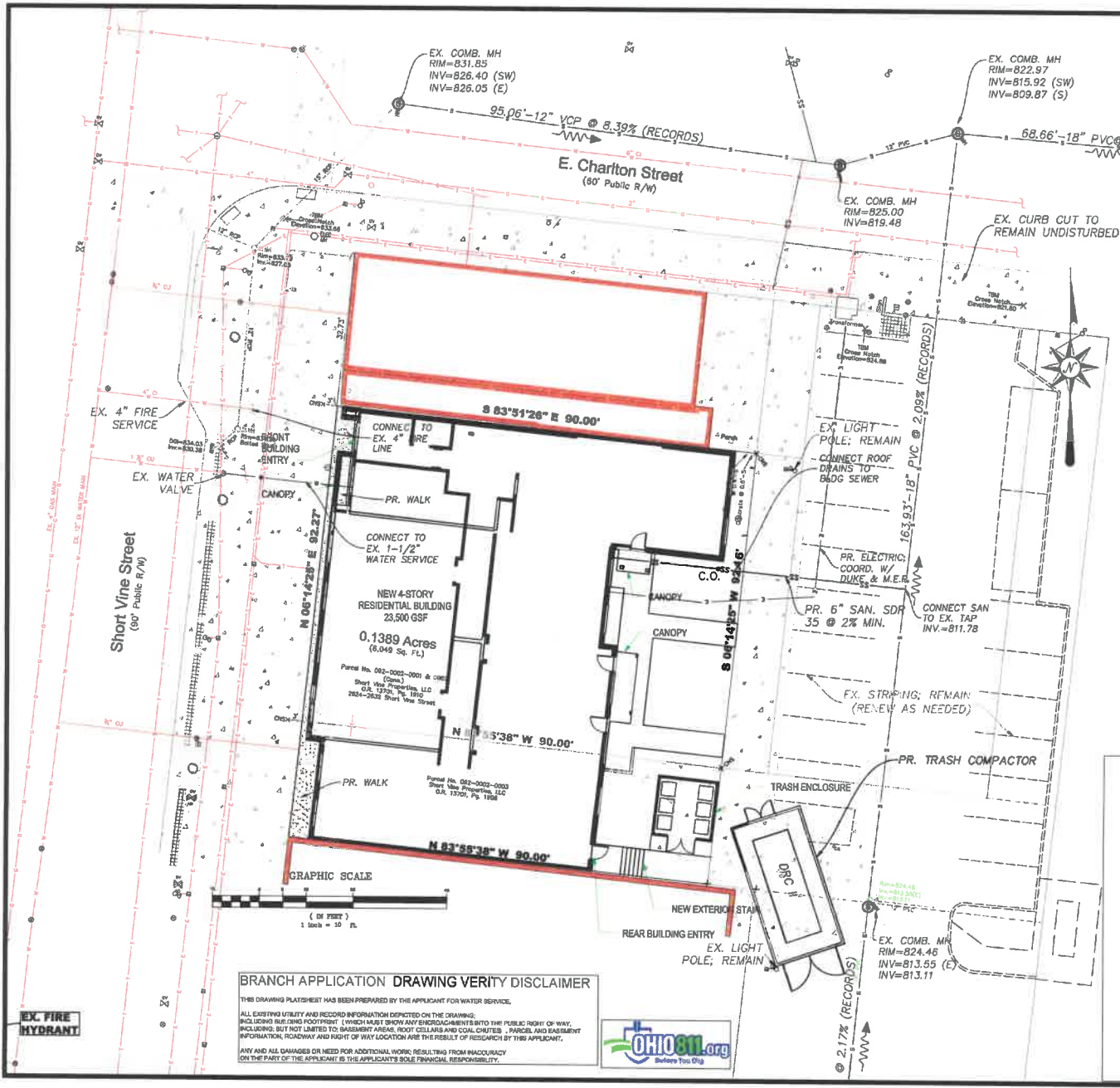
2630 SHORT VINE RESIDENTIAL
SITE DIMENSION PLAN
2630 SHORT VINE ST.,
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=10'	N/A

JOB NO.	19-194
DATE	May 22, 2020

SHEET NO.

C-3



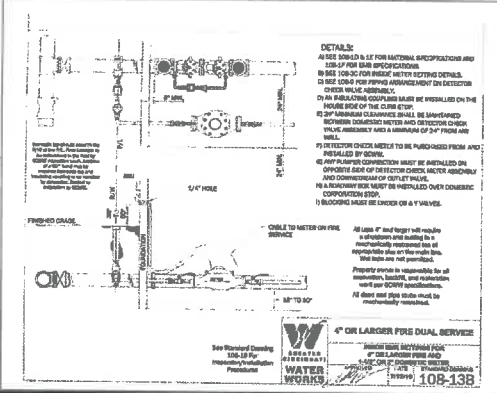
LEGEND-PROP. FEATURES

- EXISTING SANITARY MAIN OR COVERED SEWER
- EXISTING WATERLINE
- EXISTING STORM
- EXISTING OVERHEAD ELECTRIC SERVICE
- EXISTING OVERHEAD TRAFFIC WIRES
- EXISTING GAS SERVICE
- EXISTING TELECOM SERVICE
- PROPOSED DOMESTIC WATER SERVICE (1.5" METERS, 1.5" LINES)
- PROPOSED FIRE LINE 4", COMP/SM WITH FIRE SUPPRESSION CONTRACT
- ALL WATER LINES TO HAVE A MINIMUM OF 42" OF COVER
- PROPOSED 8" SANITARY LATERAL, PVC SER 35 @ 2.00% MIN.
- PROPOSED STORM SERVICE
- PROPOSED UNDERGROUND ELECTRIC SERVICE
- PROPOSED ELECTRIC TRANSDUCER
- PROPOSED UNDERGROUND TELEPHONE SERVICE

OS - SEE DOWNSPOUT
RIP - 1/2" DIA. 3/4" ROOF DRAIN @ 100% (OR SLOPED AS NOTED)

NOTES:

1. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRS OR RELOCATION OF ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY RECORDING SERVICES.
2. ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS).
3. FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL AND M.E.P. PLANS PRIOR TO STARTING CONSTRUCTION.
4. THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
5. IF LOWEST LEVEL ELEVATION IS BELOW FIN ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PEAKED TO GRANTY.
6. SANITARY CLEANOUTS WITHIN PAYMENT SHALL HAVE MINIMUM 8-1076 LID AND FRAME.
7. COORDINATE WITH OWNER AND USF FOR BUILDING WATER AND SEWER TAP.
8. ROOF DRAIN, FOUNDATION DRAINS, COOKING WATER, CHILLING WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
9. ROOF DRAINS SHALL BE SOR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
10. SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER PAKS.
11. A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
12. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXISTING UTILITIES, AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIR AND/OR CHANGE DONE TO THE UTILITIES DURING PROGRESS OF CONSTRUCTION.
13. ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND FOR UTILITY CHECKS AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL INDICATED PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
14. SITE CONTRACTOR SHALL CLEAN ALL LOCATIONS AND AREAS THAT COLLECT DEBRIS, MUD, CONCRETE, TRASH, ETC. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
15. SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
16. SITE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS, INCLUDING SITE LIGHTING, IRRIGATION, GAS, ELECTRIC, MECHANICAL AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
17. DOWNSPOUT DRAIN CONNECTION SHALL BE 2.0" MIN. BELOW FINISHED FLOOR ELEVATION. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECTURAL PLAN.
18. CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
19. THE CONTRACTOR SHALL PROVIDE ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
20. WATER MAINS SHALL BE LAID IN A MINIMUM OF 4'-0" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER MAIN.
21. HYDROSTATIC WATER PIPE FROM MAIN TO WATER SHALL BE COPPER TUBING, TYPE K, PLASTIC PIPING, 200-250 PSI CAN BE USED FROM 3' OUTSIDE METE TO BUILDING???.
22. SANITARY SERVICE SHALL BE 6" PVC SDR-35 @ 2.00% MIN.
23. CONTRACTOR SHALL ENSURE MINIMUM CLEARANCE OF 18" BETWEEN CROSSING UTILITIES UNLESS OTHERWISE REQUIRED BY CODE/REG.



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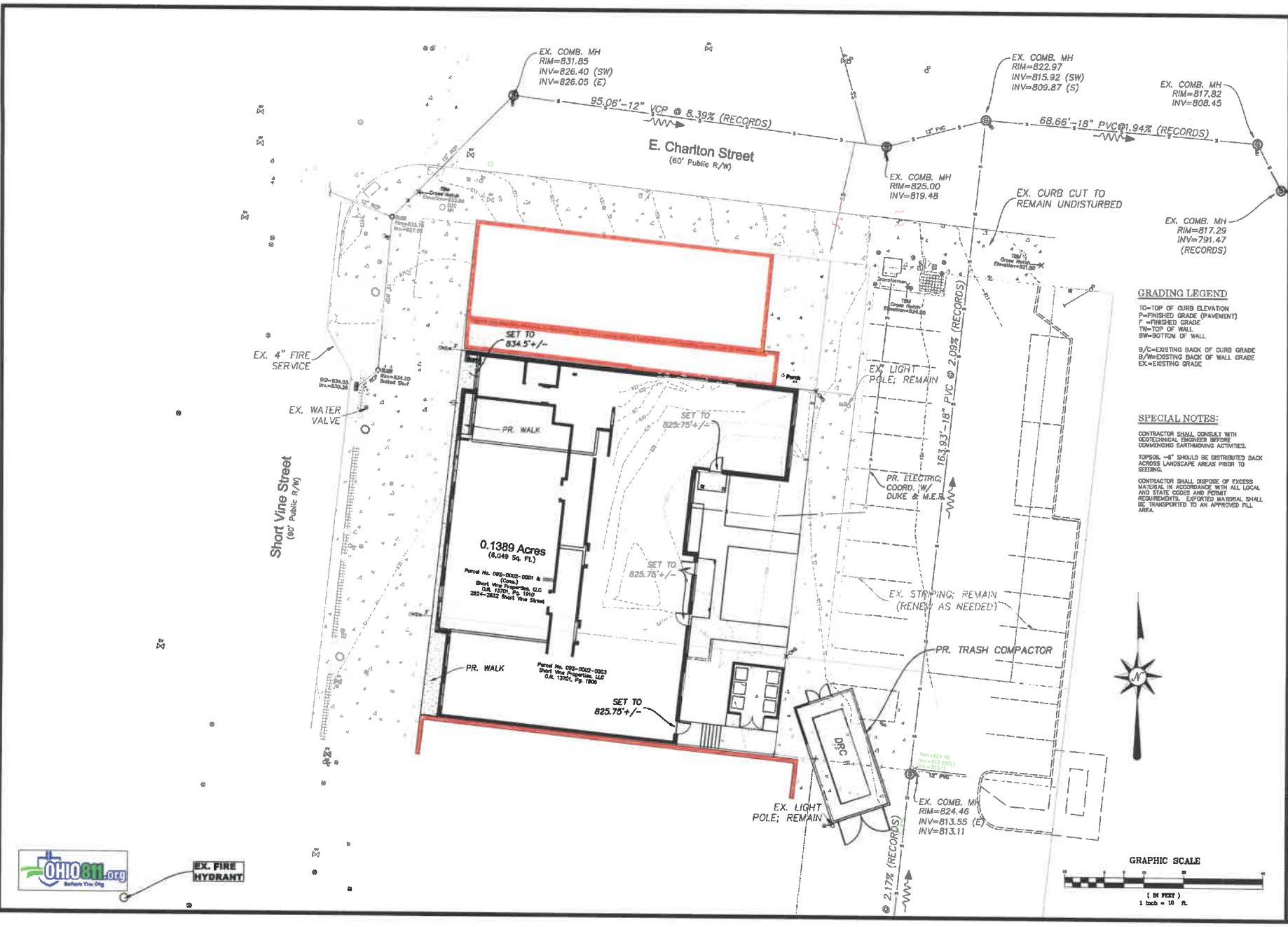


2630 SHORT VINE RESIDENTIAL
UTILITY SERVICE PLAN
2630 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=10'	N/A

DATE: May 22, 2020

SHEET NO. C-3.1



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EVANS ENGINEERING
4540 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(913) 321-2166



2630 SHORT VINE RESIDENTIAL
GRADING PLAN
2630 SHORT VINE ST.,
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	HORIZ.	VERT.
	1"=10'	N/A

JOB NO. 19-104
DATE May 22, 2020

SHEET NO.

C-4



EX. FIRE HYDRANT

EROSION AND SEDIMENT CONTROL (E) NOTES:

PRE-CONSTRUCTION:

1. THE CONTRACTOR SHALL NOTIFY THE HAMILTON COUNTY ENGINEER AT LEAST FIVE (5) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITIES AND OBTAIN A PERMIT FROM THE LOCAL AUTHORITY. ALL PERMITS MUST BE SECURED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVE FROM THE LOCAL AUTHORITY.
2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY BY TELEPHONE AT THE FOLLOWING POINTS:
 - A. THE REQUIRED PRE-CONSTRUCTION MEETING FOLLOWING ESTABLISHMENT OF EROSION CONTROL MEASURES.
 - B. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE.
 - C. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES.
 - D. PRIOR TO FINAL ACCEPTANCE.
3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES FOR THE APPROVED PLAN AND CONSTRUCTION RESPONSE AND SHALL HAVE THEM INSPECTED AND APPROVED BY A LOCAL AUTHORITY REPRESENTATIVE PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES.
5. THE CONTRACTOR SHALL INSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE AN EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE.
6. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE ANY CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEDIMENT CONTROL MEASURES ARE IMPLEMENTED UNDER EMERGENCY ACTION IS NECESSARY. IN THIS CASE, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR AGGRAVATED EROSION AND SEDIMENT POLLUTION.
7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN OPERATIVE CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIME THEY ARE REMOVED WITH PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE. THE CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL EROSION AND SEDIMENT CONTROL MEASURES AND MAINTENANCE FOR THE DURATION OF THE PROJECT. THIS INFORMATION MUST BE MADE AVAILABLE TO A LOCAL AUTHORITY REPRESENTATIVE UPON REQUEST.

SAFETY:

1. THE LOCAL AUTHORITY SITE REPRESENTATIVE ALWAYS HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY.
2. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR DESIGNER, BARRIERS AND TRAPS MAY NEED TO BE SUPPLEMENTED WITH AN APPROVED SAFETY FENCE. THE CONTRACTOR SHALL COMPLY WITH LOCAL ORDINANCES AND REGULATIONS. THE DESIGNER OR ENGINEER SHALL COMPLY WITH LOCAL BUILDING OFFICIALS OR APPLICABLE SAFETY ORDINANCES. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCE TYPES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED PIPE AND AT LEAST FORTY TWO (42) INCHES HIGH. HANG POSTS BRACED NO FARTHER APART THAN EIGHT (8) FEET. HANG POSTS SHOULD BE MADE OF TWO (2) INCHES IN DIAMETER AND AT LEAST FORTY TWO (42) INCHES IN HEIGHT WITH A MINIMUM OF 1/4 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.

11. STORM DRAIN BULBS IN NON-SEWER AREAS SHALL BE CONSTRUCTED WITH FLOW CONTROL PANS CONSTRUCTED AT THE TIME OF BASE PAVING TO CORRECT OUTFLOW INTO THE BULBS TO AVOID SURROUNDING AND OUTFLOW OF BULBS IN SLAP AREAS.
12. STORM SLOPES SHALL NOT BE STEEPER THAN 2:1.

STABILIZED CONSTRUCTION ENTRANCE:

13. THE CONTRACTOR SHALL PROTECT ALL PORTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF SOILS AND PUBLIC BARRIERS. ALL MATERIALS DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED IMMEDIATELY USING A STREET SWEEPERS OR BROOMS. CURBS SHALL NOT BE BARRIERS OFF PAVED SURFACES OR INTO STORM DRAINS.
14. CONSTRUCTION EQUIPMENT SHOULD NOT BE KEPT UNOILY TO REMOVE MUD FROM TIRES. VEHICLES THAT ENTER AND LEAVE THE SITE SHALL BE RESTRICTED FROM MUDDY AREAS OR CLEANED BEFORE LEAVING SITE.

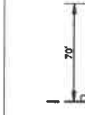
SEDIMENT TRAPS AND BARRIERS:

15. SEDIMENT TRAPS OR BARRIERS ARE NOT REQUIRED WHEN THIRTY (30) FEET OR MORE DISTANCE OR PROPOSED TRAP OR BARRIER IS NOT WITHIN THE TRAP OR BARRIER. TRAPS AND BARRIERS SHALL BE CONSTRUCTED WITHIN THIRTY (30) FEET OF AN ACTIVE SEDIMENT TRAP OR BARRIER.
16. SEDIMENT TRAPS AND BARRIERS MUST HAVE STABLE MULCH AND OUTFLOW POINTS SO THAT WATER CAN DISCHARGE WITHOUT CAUSING EROSION.
17. SEDIMENT BARRIERS/TRAPS SHALL NOT BE GREATER THAN FOUR (4) FEET IN DEPTH.
18. SEDIMENT MUST BE CLEANED, AND THE TRAP/BARRIER RESTORED TO ITS ORIGINAL CONDITION. MULCH ACCUMULATION REQUIRES A HEIGHT HALF-WAY UP TO THE TOP OF THE DESIGNED HOLDING AREA.
19. SEDIMENT TRAPPED FROM TRAPS AND BARRIERS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.
20. WHEN PUMPING SEDIMENT LOADED WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM, STABLE GROUND SURFACE, OR RELEASE FROM THE SITE.
21. SEDIMENT BARRIERS MUST BE REMOVED WITHIN THIRTY (30) MONTHS AFTER THEIR CONSTRUCTION.
22. ONE (1) DASH SIXTY SEVEN (67) BARRIERS LARGER THAN FIFTEEN (15) AGGREGATE (AGG) OR AS RECOMMENDED TO THE TOP OF THE HOLDING AREA.

TEMPORARY & PERMANENT STABILIZATION:

1. ALL CRITICAL SLOPES (2:1 OR STEEPER) SHALL BE STABILIZED WITH SOIL OR SEED AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ADOPTED FINAL GRADE.
2. ALL AREAS NOT SUBJECT TO A FUNCTIONING SEDIMENT BARRIERS MUST BE FINAL GRADED AND STABILIZED WITH SOIL OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ADOPTED FINAL GRADE.
25. ALL AREAS WITHIN FIFTY (50) FEET OF A STREAM MUST BE STABILIZED WITHIN TWO (2) CALENDAR DAYS OF ADOPTED FINAL GRADE.
26. ALL AREAS THAT ARE TO REMAIN BARE, INCLUDING STOCK PILES, FOR FOURTEEN (14) CALENDAR DAYS MUST BE STABILIZED WITH SEED OR SOIL.
27. WHEN THE PROPERTY IS SUBJECT TO FRESH GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND MULCH MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.
28. PERMANENT STRIPES OR OTHER PORTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOIL OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ADOPTED FINAL GRADE, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OF ADOPTED FINAL GRADE.
29. TEMPORARY SEDIMENT CONTROL DEVICES MUST BE REMOVED THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.
30. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE CONVERTED TO THE PERMANENT CONSTRUCTION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

STABILIZED CONSTRUCTION ENTRANCE
(ONLY IF NECESSARY)
NO SCALE



TEMPORARY AND PERMANENT SEEDING:

1. SEEDING REQUIREMENTS:

- A. SOIL OR LIME OF A SOIL TEST RECOMMENDATION OF ADD SOIL (P=4% OR LESS) AND SEEDING AT A RATE OF 100 POUNDS PER ACRE BY OR TWO (2) TONS PER ACRE OF AGRICULTURAL GRADE LIMING.
- B. SEEDING ON TOP OF A SOIL TEST RECOMMENDATION SHALL BE APPLIED AT A RATE OF 10-15 POUNDS PER ACRE FOR PERMANENT SEEDING OR 100 LB OF 10-15-10 OR 10-15-10 AGGREGATE OF EQUIVALENT.

2. SEEDING:

1. TEMPORARY SEEDING MATURE:

DATE	RATE (LBS/AC)
1. DATE	2.00
2. PINE, HYDRANGEA	1.00
3. TALL FESCUE	1.00
FALL	
1. PINE, HYDRANGEA	1.00
2. FESCUE	1.00
3. TALL FESCUE	1.00

3. PERMANENT SEEDING MATURE:

SEEDING DATE TYPE RATE (LBS/AC)

1. CHEERING AND PINE	0.50
2. PINE, HYDRANGEA	0.50
3. TALL FESCUE	1.00
4. STAFF FESCUE	1.00

2-1 SEEDING FOR STEEP BANKS OR CUTS:

1. TALL FESCUE	1.00
2. COMPANION	0.50
3. TALL FESCUE	0.50
4. TALL FESCUE	0.50

2-2 SEEDING FOR RETAINMENT AND ROAD CUTS:

1. TALL FESCUE	1.00
2. COMPANION	0.50

3. SEEDING RATE:

- A. APPLY SEED UNIFORMLY WITH A CYLINDER SEEDER, ORL LITHIUM SEEDER, OR HYDROSEEDER. SEED MUST BE AT LEAST ONE (1) INCH DEEP IN SOIL.
- B. SEED MUST BE AT LEAST ONE (1) INCH DEEP IN SOIL. SEED MUST BE AT LEAST ONE (1) INCH DEEP IN SOIL.

4. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

5. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

6. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

7. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

8. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

9. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

10. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

11. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

12. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

13. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

14. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

15. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

16. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

17. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

18. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

19. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

20. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

21. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

22. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

23. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

24. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

25. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

26. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

27. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

28. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

29. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

30. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

31. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

32. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

33. SEEDING RATE:

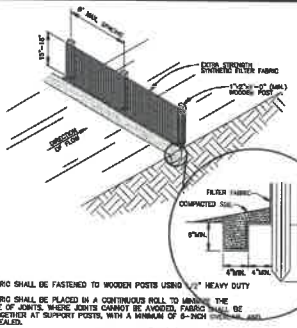
- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

34. SEEDING RATE:

- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:

35. SEEDING RATE:

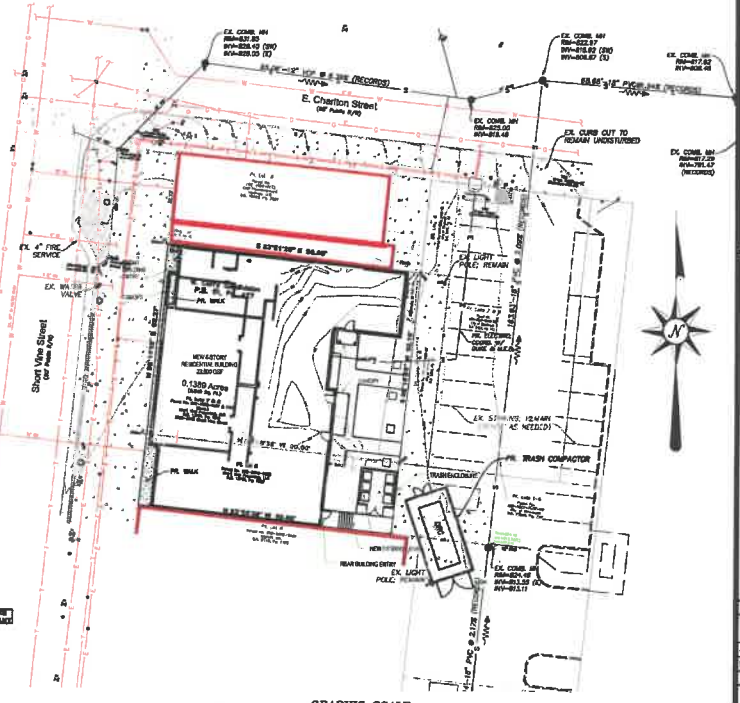
- A. SEEDING RATE MUST BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAYER.
- B. SEEDING RATE:



SILT FENCE (SF) DETAIL
NO SCALE

DETAIL OF INLET SEDIMENT CONTROL DEVICE
DANDY BAG (DB)

INSTALLATION: STAND GRADE ON DED. OF DANDY BAG OVER GRADE. TOP GRADE OVER THAT OVER DED TO BE FULL UP BLACK TUCK FLAP BE BE OVER DED OF DANDY BAG. ONLY COVERED BY DANDY BAG. MUST BE PROPERLY HOLDING HANDLES. CORRECTLY PLACE DANDY BAG WITH ONLY ONE END OF BAG OVER DED. SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.



GRAPHIC SCALE



EROSION CONTROL LEGEND

- SF — SILT FENCE
- D.B. DANDY BAG OR APPROVED EQUAL INLET PROTECTION FILTER
- CONSTRUCTION ENTRANCE

PRELIMINARY
NOT FOR CONSTRUCTION

DATE: _____
BY: _____
REV. NO. & DESCRIPTION: _____

EVANS ENGINEERING
4620 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 221-2168

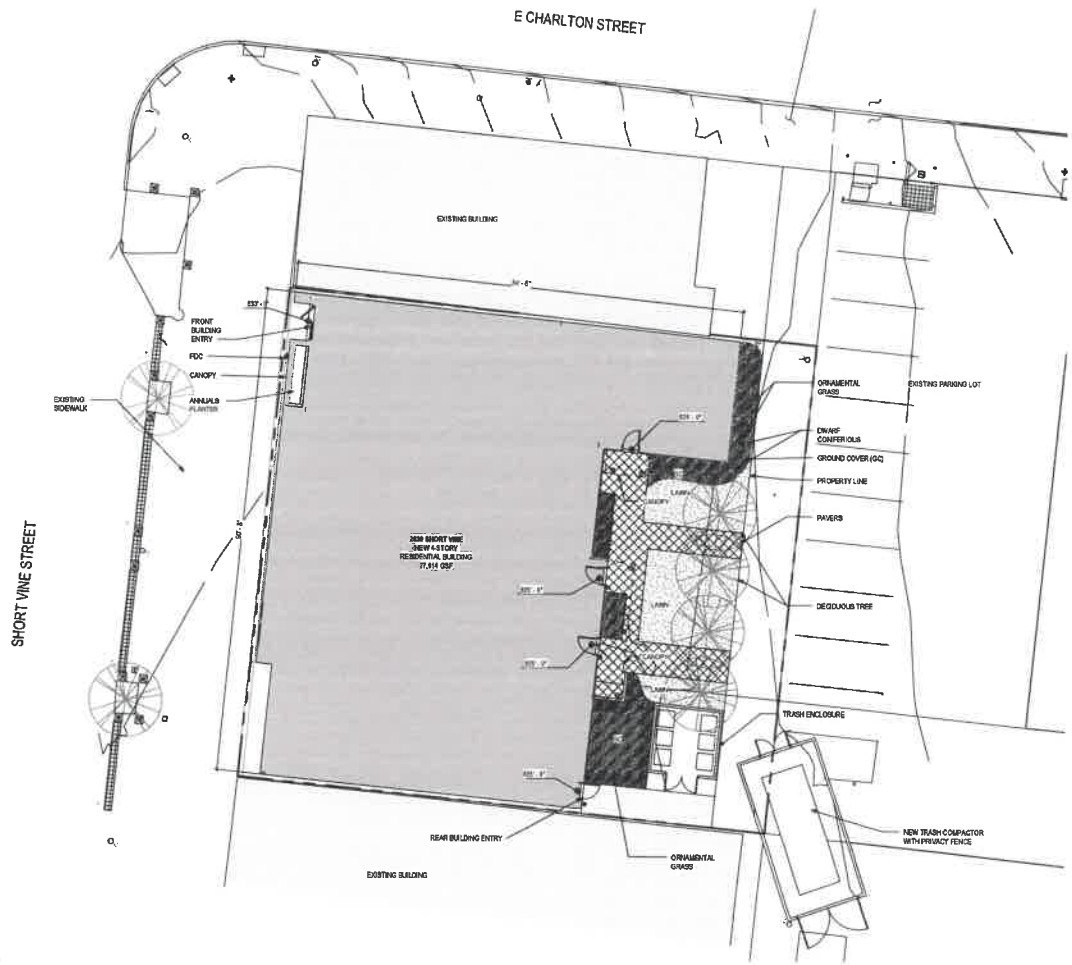
STORMWATER POLLUTION PREVENTION PLAN & NOTES
2630 SHORT VINE RESIDENTIAL
2630 SHORT VINE ST.
CINCINNATI, HAMILTON COUNTY, OHIO

SCALE	DATE	REVISION	BY	CHKD.
1"=20'	May 22, 2020			

SHEET NO.

C-5






 architectural site plan
 3/27/19-P



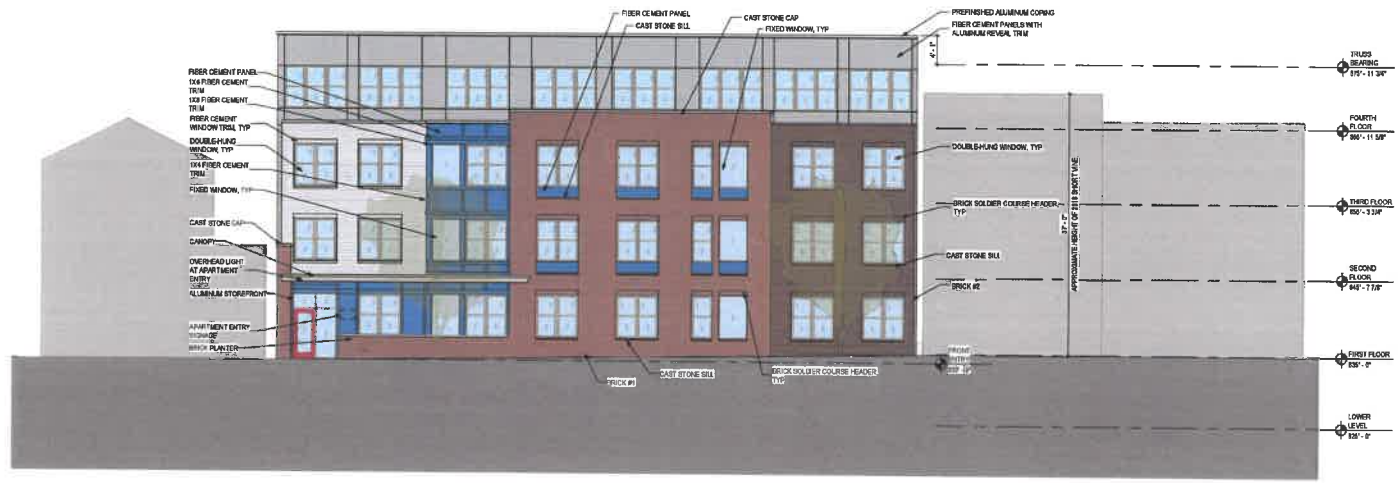
2630-2622 SHORT VINE STREET
 ARCHITECTURAL SITE PLAN

ma architects

2019.428
 05/22/20
 Z1.0



east elevation
88' x 14'



west elevation
88' x 14'

© 2022 m+a architects | 3000 Madison Ave. | in construction



2630-2622 SHORT VINE STREET ELEVATIONS

m+a architects

2019.428
05/22/20
23.0



Corryville Community Council, Inc.

May 12th, 2020

To: Mr. Byron Stallworth, Chair, Cincinnati Planning Commission

RE: Corryville Community Council Support for Short Vine Developments

Dear Mr. Stallworth,

The Corryville Community Council submits this letter of support for Uptown Rental Properties' major amendment to Planned Development (PD) District 69. The Uptown Rental Properties team has presented this pair of projects to both the Board and General Membership. Throughout their engagement, they have highlighted the historical challenges to this project, which is why we explicitly support amending the VP3 Planned Development (PD-69) to include new construction on the following parcels:

- 2600-2604 Short Vine & 4 E Corry (Corner building)
- 2622-2632 Short Vine (Mid-Block building)

We additionally support the intended uses of the new construction—a restaurant space and 27 units of student housing—to revitalize these currently vacant, blighted properties.

The Community Council and Uptown Rental Properties are aligned in their priority of improving and populating Corryville's largest business district, which is why we support the aforementioned changes and uses.

Sincerely,

Leah Hollstein
Secretary
Corryville Community Council



May 12th, 2020

To: Mr. Byron Stallworth, Chair, Cincinnati Planning Commission

RE: Short Vine Association Support for Short Vine Developments

Mr. Stallworth,

The Short Vine Association submits this letter of support for Uptown Rental Properties' major amendment to Planned Development (PD) District 69. The Uptown Rental Properties team has presented this pair of projects to both the Board and General Membership. Throughout their engagement, they have highlighted the logistical challenges to this project, which is why we explicitly support amending the VP3 Planned Development (PD-69) to include new construction on the following parcels:

- 2600-2604 Short Vine & 4 E Corry (Corner building)
- 2622-2632 Short Vine (Mid-Block building)

We additionally support the intended uses of the new construction—a restaurant space and 27 units of student housing—to revitalize these currently vacant, blighted properties.

The Short Vine Association and Uptown Rental Properties are aligned in their priority of improving and populating the Short Vine business district and supporting our merchants, which is why we endorse a major amendment and accompanying uses.

Sincerely,

Vice President, Short Vine Association



March 11, 2020

Mrs. Anne F. McBride
McBride Dale Clarion
5721 Dragon Way, Suite 300
Cincinnati, Ohio 45227

Re: 2600 & 2604 Short Vine Street and 4 Corry Street | 2600 Vine Mixed-Use (P) –
(CPRE200022) Initial Comments and Recommendations

Dear Mrs. McBride,

This Preliminary Design Review letter informs you that our Advisory-TEAM has reviewed your proposed project at **2600 & 2604 Short Vine Street and 4 Corey Street** in the Community of Corryville. We hope that the information provided below will help you move forward with your project. Please see our initial feedback listed below. We strongly recommend that you return to us for either a Development Design Review or Technical Design Review before you get ready for permitting. Thank you for developing within the City of Cincinnati.

City Planning Department

Immediate Requirements to move forward with project:

1. 2600 Short Vine Street is zoned CN-P. 2604 Short Vine Street and 4 Corry Street are zoned PD-69 (VP3). A zone changes from CN-P to PD is necessary and would be considered a Major Amendment to the Concept Plan for PD-69.

Requirements to obtain Permits:

1. Consolidation Plat required to be recorded with Hamilton County.
2. It appears that a subdivision of land would be required to divide the portion of the parcel fronting Short Vine from the existing parking lot.
3. Any sale of City-owned property will require review by the City Planning Commission.

Recommendations:

1. It is advised that the applicant engage with the Corryville Community Council.

Contact:

- **Samantha McLean** | City Planning | 513-352-4886 | samantha.mclean@cincinnati-oh.gov

Buildings & Inspections – Zoning

Immediate Requirements to move forward with project:

1. Assuming the site is re-zoned to a PD, the urban design, facade articulation, building placement, setbacks, parking and density would be reviewed and coordinated by the City Planning Department.
2. The zoning code definition of family limits the number of unrelated people living in the same unit to four people and thus each unit could have a maximum of four bedrooms assuming one person per bedroom and thus the design of the units should reflect a maximum of four bedrooms per unit.
3. Parcel consolidation prior to building permit.

Requirements to obtain Permits:

1. None.

Recommendations:

- None

Contact:

- **Weston Munzel** | Zoning | 513-352-2442 | weston.munzel@cincinnati-oh.gov

Metropolitan Sewer District (MSD)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. An approved site utility plan will be required to receive approved permit.
2. Your project may change flow to a sewer overflow. Please complete the Request for Availability of Sewer Service Form online. The link to the online form can be found at http://www.msdbg.org/customer_care/development_services/index.html
3. Your project will require a grease trap review. The application and instructions can be found at http://msdbg.org/customer_care/permits_and_records/index.html. Submit the application, plans, and menu to SewerUseApplications@cincinnati-oh.gov

Recommendations:

- None

Contact:

- **Jim Wood** | MSD | 513-352-4311 | jim.wood@cincinnati-oh.gov

Stormwater Management Utility (SMU)

Immediate requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Detention requirements:
 - Show C value composites for pre and post construction conditions. If post C-value shows an increase of 20% or more, SMU will require a detention system. See chapter 12 of SMU rules & regulations [https://www.cincinnati-oh.gov/stormwater/assets/File/smu_rules_and_regs\(1\).pdf](https://www.cincinnati-oh.gov/stormwater/assets/File/smu_rules_and_regs(1).pdf).
 - If detention is required, submit calculations, drainage map, section drawing of detention control structure and detention shop drawings. Site is located in combination sewers area; therefore, design calculations may follow MSD rules.
2. Pipes in the R/W must be RCP or DIP (RCP for covers 3' > only). Show profiles for all Stormwater pipes in public R/W.
3. Roof drainage: show downspouts connections to sewer system. Add note on site plan: "All downspouts to connect to sewer system."
4. Submit an approved Erosion/Sediment control plan for the entire site
5. Add SMU Standard Plan Notes (<https://cincinnati-oh.gov/stormwater/construction-and-design/standards/standard-plan-notes-updated-july-2017/>)

Recommendation:

- None

Contact:

- **Saidou Wane** | SMU | 513-591-7746 | saidou.wane@cincinnati-oh.gov

Water Works

Immediate requirements to move forward with project:

- None

Requirements to obtain Permits:

1. The subject development property is receiving water service from an existing 1-1/2-inch water service branch (H-258720) connected to the 12-inch public water main in Short Vine Street.
2. Any existing water service branch not to be used for this development, must be properly disconnected at the owner's / developer's expense. Owner would be required to fill out the online FOD form at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing removal of the existing water service branch before any new water service can be sold.
3. All new water service branches can be connected to the existing 12-inch public water main in Short Vine Street or the 12-inch public water main in E. Corry Street.

Recommendations:

1. Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded fire protection company and plumber to perform the private water service branch design work and installation.
2. Owner(s)/Developer(s) must have a licensed fire protection company and plumber that is bonded and certified with GCWW and fill out the Online Branch application <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/> for water service.

Contact:

- **Bill Morris** | WaterWorks | 513-591-7858 | bill.morris@gcww.cincinnati-oh.gov

Fire Department

Immediate Requirements to move forward with project:

1. Confirm that the closest two hydrants have fire flows of at least 1000 GPM at 20 PSI.

Requirements to obtain Permits:

1. For this structure confirm that there are at least two fire hydrants that are within 400' from all parts of each structure.
2. Closest hydrants are located at 2617 Short Vine Street, 1 W. Corry St. and 1 E. Corry
3. Confirm that the Fire Department Connection is within 50' of a fire hydrant.
4. Use of Hydrants and FDC placement are not to block fire apparatus access to the structures.

Recommendations:

- None

Contact:

- **Fred Prather** | Fire Dept. | 513-357-7595 | fred.prather@cincinnati-oh.gov

Office of Environmental Sustainability (OES)

Immediate Requirements to move forward with project:

- None

Requirements to obtain permits:

- None

Recommendations:

1. The development goal should be to earn at a minimum the LEED Certified rating level.
2. Rooftop solar should be considered in the design as a renewable energy source.
3. Site areas designated for trash dumpsters or carts should also have at least equal space designated for recycling dumpsters or carts in the design.
4. The use of trees in the landscape design should be included to enhance urban forestry.
5. The use of non-impervious surfaces should be maximized to the extent practical in the design.

Contact:

- **Howard Miller** | OES | 513-352-6999 | howard.miller@cincinnati-oh.gov

Police Department

Immediate Requirements to move forward with project:

- None at this time.

Requirements to obtain Permits:

- No Comments.

Recommendations:

- None

Contact:

- **Matt Hammer** | Police Dept. | 513-478-2257 | matt.hammer@cincinnati-oh.gov
- **Brandon Kyle** | Police Dept. | brandon.kyle@cincinnati-oh.gov

Health Department

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. A food facility plan review by the Cincinnati Health Department (CHD) will be required if future or current space (or tenant) is licensable (or is currently licensed) as a food service operation (FSO) or retail food establishment (RFE). If licensable, plumbing will not issue permits until CHD has completed the food facility review and approved the project.
2. Recommendations:

Recommendations:

1. For assistance in determining whether facility is licensable as an FSO/RFE or not, please contact Trisha Blake.

Contact:

- **Trisha Blake** | Health Dept. | 513-352-2447 | trisha.blake@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Work with Duke on the property transfer and the existing easement.
2. An easement is needed for the overhang of the building.
3. Work with Jason Barron (513-621-2453) on the location of the Red Bike station.
4. The 2 arches for the walkway need to be returned to the owner.
5. The City light poles on the City property along the walkway need to be returned. Contact Curtis Hines to coordinate at 352-3462.
6. Remove old driveway apron and restore to meet City Standards.
7. All work in the right of way requires a DOTE permit.
8. Addressing has been assigned as: 2600 Short Vine St for the commercial space; 2602 Short Vine St for the apartments. Please contact DTEaddress@cincinnati-oh.gov with any questions.

Recommendations:

- None

Contact:

- **Morgan Kolks** | DOTE | 513-352-5285 | morgan.kolks@cincinnati-oh.gov

Buildings & Inspections – Buildings

Immediate Requirements to move forward with project:

1. Plans lack information to enable a response.

Requirements to obtain Permits:

- None at this time.

Recommendations:

- None

Contact:

- **Robert Martin** | B&I Plans Exam | 513-352-2456 | robert.martin@cincinnati-oh.gov

Department of Community & Economic Development (DCED)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

- None

Recommendations:

1. DCED intends to sell City property to facilitate this project. However, before the sale can occur, we are recommending that the developer work with DCED, Planning, and DOTE to outline the steps necessary to complete a zone change, lot split, and sale of the City parcel.

Contact:

- **Bob Bertsch** | DCED | 513-352-7373 | bob.bertsch@cincinnati-oh.gov

Law Department

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

- None

Recommendations:

1. Submit plans that show property lines.
2. The proposed plan shows construction on a City-owned parcel that abuts 2600 Short Vine to the north.
3. The sale of city-owned property requires:
 - Coordinated Report
 - Appraisal
 - City Planning Commission approval
 - City Council approval.

Contact:

- **Charles Martinez** | Law | 513-352-3359 | charles.martinez@cincinnati-oh.gov

This letter is not intended as the City's final approval of your project, but rather as an initial review and consultation to provide feedback from the City's various departments and to better coordinate between the City and developer. We hope you find this process both forthcoming and helpful.

Sincerely,



Rodney D. Ringer
Development Manager

RDR: rdr



March 17, 2020

Mrs. Anne F. McBride
McBride Dale Clarion
5721 Dragon Way, Suite 300
Cincinnati, Ohio 45227

Re: 2622-2630 Short Vine Street | Multi-family (P) – (CPRE200030) Initial Comments and Recommendations

Dear Mrs. McBride,

This Preliminary Design Review letter informs you that our Advisory-TEAM has reviewed your proposed project at **2622-2630 Short Vine Street** in the Community of Corryville. We hope that the information provided below will help you move forward with your project. Please see our initial feedback listed below. This project will need to return to us for either a Development Design Review or Technical Design Review before you get ready for your zone change submittal and permitting. Thank you for developing within the City of Cincinnati.

City Planning Department

Immediate Requirements to move forward with project:

1. None. No subdivision appears to be proposed.

Requirements to obtain Permits:

1. Both properties (2622 and 2630 Short Vine Street) are zoned CN-P which allows multi-family development with some limitations. **A zone change from CN-P to PD-69 which adjoins the property on the east is necessary in order to address proposed demolition and variances to setbacks etc. Hence a Major Amendment to the Concept Plan for PD-69 need to be undertaken by the City's Department of City Planning.**

Recommendations:

1. The Department of City Planning recommends that the applicant engage with the Corryville Community Council to discuss the proposed plans for the site.

Contact:

- **Felix Bere** | City Planning |513-352-4846 | felix.bere@cincinnati-oh.gov

Buildings & Inspections – Zoning

Immediate Requirements to move forward with project:

1. Assuming the site is re-zoned to a PD, the urban design, facade articulation, building placement, setbacks, parking and density would be reviewed and coordinated by the City Planning Department.
2. The zoning code definition of family limits the number of unrelated people living in the same unit to four people and thus each unit could have a maximum of four bedrooms assuming one person per bedroom and thus the design of the units should reflect a maximum of four bedrooms per unit.

3. More info on parking is needed; 0.5 spaces per bed if rented by the bed; 1 space per unit if rented by the unit.

Requirements to obtain Permits:

- None

Recommendations:

- None

Contact:

- **Weston Munzel** | ZPE | 513-352-2442 | weston.munzel@cincinnati-oh.gov

Metropolitan Sewer District (MSD)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Detention will be reviewed by Jeff Chen at jeff.chen@cincinnati-oh.gov or 513-244-1357 per Section 303 of the MSD Rules and Regulations.
2. An approved site utility plan will be required for each residence to receive approved permit.
3. Your project may change flow to a sewer overflow. Please complete the Request for Availability of Sewer Service Form online. The link to the online form can be found at http://www.msdbg.org/customer_care/development_services/index.html

Recommendations:

- None

Contact:

- **Jim Wood** | MSD | 513-352-4311 | jim.wood@cincinnati-oh.gov

Stormwater Management Utility (SMU)

Immediate requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Site Plan, add note: "All downspouts to connect to underground sewer system."

Recommendation:

- None

Contact:

- **Saidou Wane** | SMU | 513-591-7746 | saidou.wane@cincinnati-oh.gov

Water Works

Immediate requirements to move forward with project:

- None

Requirements to obtain Permits:

1. The subject development property is receiving water service from existing 3/4-inch water service branch (H- 18424), 1-1/2-inch water service branch (H-57691), and a 4-inch Fire Branch (H-286561) which are connected to existing 12-inch public water main in Short Vine Street.

2. Any existing water service branch not to be used for this development, must be properly disconnected at the owner's / developer's expense. Owner would be required to fill out the online FOD form at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing removal of the existing water service branch before any new water service can be sold.
3. Please note the 3/4-inch and 1-1/2-inch water service branches, according to Water Works records indicate the existing private side of the water service line (H-18424) and (H-57691) at this site are a Lead Service line. In accordance with CMC Chapter 401 Division M, must be replaced with copper service line. Please contact the GCWW Lead Service Line Replacement Coordinator Kathleen Frey at (513) 591-5068 Please call 513-651-5323 and/or refer to <http://www.cincinnati-oh.gov/water/lead-information/>.

Recommendations:

1. Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded plumber to perform the private water service branch design work and installation.
2. Owner(s)/Developer(s) must have a licensed plumber that is bonded and certified with GCWW and fill out the Online Branch application <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/> for water service.

Contact:

- **Bill Morris** | WaterWorks | 513-591-7858 | bill.morris@gcww.cincinnati-oh.gov

Fire Department

Immediate Requirements to move forward with project:

1. Confirm that the closest two hydrants have fire flows of at least 1000 GPM at 20 PSI.

Requirements to obtain Permits:

1. Confirm that there are at least two fire hydrants that are within 400' from all parts of the structure.
2. Closest hydrants are located at 2617 Sort Vine Street, 21 E. Charlton St and 2715 Sort Vine Street,
3. Hydrants and FDC placement are not to block fire apparatus access to the structures.
4. Sec. 1229-5. - Location of Buildings and Structures.
5. Confirm that the Fire Department Connection is within 50' of a fire hydrant.
6. If the structure is greater than four stories the owner is to use Siamese connections for his FDC/s.
7. Bidirectional antenna for fire department communication maybe required for the structures.
8. Post indicator valves cannot be more than 40 feet from the building it services.

Recommendations:

1. For larger structures it is strongly recommended that the owner install a second Fire Department Connection on the structure, such connections should be remote from the other Fire Department Connection. This recommendation is based on the size and location of the structure.

Contact:

- **Fred Prather** | Fire Dept. | 513-357-7595 | fred.prather@cincinnati-oh.gov

Office of Environmental Sustainability (OES)

Immediate Requirements to move forward with project:

- None

Requirements to obtain permits:

- None

Recommendations:

1. Due to the age of the existing buildings, asbestos, lead based paint, and other hazardous building materials should be surveyed and, if needed, abatement should be conducted following all applicable regulations prior to their demolition.
2. The development goal should be to earn at a minimum the LEED Certified rating level.
3. Rooftop solar should be considered in the design as a renewable energy source.
4. Site areas designated for trash dumpsters or carts should also have at least equal space designated for recycling dumpsters or carts in the design.
5. The use of trees in the landscape design should be included to enhance urban forestry.
6. The use of non-impervious surfaces should be maximized to the extent practical in the design.

Contact:

- **Howard Miller** | OES | 513-352-6999 | howard.miller@cincinnati-oh.gov

Police Department

Immediate Requirements to move forward with project:

- None at this time.

Requirements to obtain Permits:

- No Comments.

Recommendations:

- None

Contact:

- **Matt Hammer** | Police Dept. | 513-478-2257 | matt.hammer@cincinnati-oh.gov
- **Brandon Kyle** | Police Dept. | brandon.kyle@cincinnati-oh.gov

Health Department

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. No need for Health review for project as proposed.

Recommendations:

- None

Contact:

- **Trisha Blake** | Health Dept. | 513-352-2447 | trisha.blake@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Restore the streetscape to match the existing.
2. A DOTE permit is needed for all work in the right of way.
3. Final addresses to be assigned by DTEaddress@cincinnati-oh.gov. Please contact.

Recommendations:

- None

Contact:

- **Morgan Kolks** | DOTE | 513-352-5285 | morgan.kolks@cincinnati-oh.gov

Buildings & Inspections – Buildings

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Show location of property lines.
2. Exterior walls must comply with OBC Table 602
3. Openings in exterior walls must comply with OBC Table 705.8
4. Show that building will be accessible per OBC Chapter 11
5. Show that building exits have access to the public-way per OBC 1028.5
6. Without easements - Building construction shall not project beyond property lines of the site, OBC Table 705.5.

Recommendations:

- None

Contact:

- **John Schueler** | B&I Plans Exam | 513-352-2481 | john.schueler@cincinnati-oh.gov

Department of Community & Economic Development (DCED)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

- None

Recommendations:

- None

Contact:

- **Roy Hackworth** | DCED | 513-352-6119 | roy.hackworth@cincinnati-oh.gov

Law Department

Immediate Requirements to move forward with project:

1. No comments at this time.

Requirements to obtain Permits:

- None

Recommendations:

- None

Contact:

- **Charles Martinez** | Law | 513-352-3359 | charles.martinez@cincinnati-oh.gov

This letter is not intended as the City's final approval of your project, but rather as an initial review and consultation to provide feedback from the City's various departments and to better coordinate between the City and developer. We hope you find this process both forthcoming and helpful.

Sincerely,



Rodney D. Ringer
Development Manager

RDR: rdr

2609 VINE LLC
5 W 8TH AVE
COLUMBUS OH 43201

2610 VINE LLC
1443 NORTH HIGH ST
COLUMBUS OH 43201

2701 VINE LLC
383 N FRONT ST
COLUMBUS OH 43215

2703 VINE STREET LLC
431 WARNER ST
CINCINNATI OH 45219

2717 VINE LLC
3808 LINCOLN RD
CINCINNATI OH 45247

A P & ASSOCIATES LTD
24602 MELDON BLVD
BEACHWOOD OH 44122-2338

AMEER PROPERTIES INC
2607 VINE ST
CINCINNATI OH 45219

ANCHOR CORRYVILLE GROCERY LLC
128 E SECOND ST
COVINGTON KY 41011

ANCHOR CORRYVILLE PHARMACY
PHARMACY LLC
128 E 2ND ST
COVINGTON KY 41011

ANGIULLI INC
2618 VINE ST
CINCINNATI OH 45219

APYAN ALEXANDER C & PAUL M
2628 JEFFERSON AVE
#5
CINCINNATI OH 45219

BAUER RICHARD A & LINDA J
2700 EUCLID AVE
CINCINNATI OH 45219-2113

BRICHACEK JOSHUA A
2614 EUCLID AVE
CINCINNATI OH 45219

CHURI RAHAMIM & GAYLE
PO BOX 19272
CINCINNATI OH 45219

CJR ISLAND HOLDINGS LLC
2582 GRANDIN ROAD
CINCINNATI OH 45208

CORRYVILLE PROPERTIES LLC
129 FOREST AVE
CINCINNATI OH 45219

CUTIE PIE PROPERTIES I LLC
2864 CRESCENT SPRINGS PK
ERLANGER KY 41018

CVP REDEVELOPMENT HOLDINGS LLC
629 OAK ST
UPTOWN CONSORTIUM INC STE 306
CINCINNATI OH 45206

DALLAS DAVID E & MELISSA D
3515 HEEKIN AVE
CINCINNATI OH 45208

DAMENE EGIGAYEHU
2704 EUCLID AVE
CINCINNATI OH 45219

DAOUD FAHID S & LEILA F
650 LUNKEN PARK DR
CINCINNATI OH 45226

DAOUD REALTY LLC
8124 WYCLIFFE RD
CINCINNATI OH 45244

DAVIS STEPHEN R & RENEE A
2815 INVERNESS PLACE
CINCINNATI OH 45209

DEERING PROPERTIES II LLC
3427 MANOR HILL DR
CINCINNATI OH 45220

DUVALL LOIS TR & DON TR
5334 WINDBROOK TRL
WEST CHESTER OH 45069

EDEN CORRY LLC
310 OAK ST
CINCINNATI OH 45219

EDEN CORRY LLC
PO BOX 8713
CINCINNATI OH 45208

EDEN CORRY LLC
2619 EDEN AVE
CINCINNATI OH 45219

EDENU LLC
359 RESOR AVE
CINCINNATI OH 45220

EJP GROUP LLC
6899 NORFOLK DR
WEST CHESTER OH 45069

ESIA LAND LLC 2606 JEFFERSON AVE CINCINNATI OH 45219	EXCLUSIVE PROPERTY REALTORS INC 2720 VINE ST CINCINNATI OH 45219	FLUEGEMAN VERNETTA S & MARCIA LEE SMITH 4130 W UNIVERSITY AVE MUNCIE IN 47304
FORTMAN ROBERT J & KATHRYN M 2632 JEFFERSON AVE CINCINNATI OH 45219	GASLIGHT VENTURES LLC 2718 VINE STREET CINCINNATI OH 45219	GASLIGHT VENTURES LLC 2718 SHORT VINE CINCINNATI OH 45219
GODFREY RALPH JR & LANORA 3414 FITZGERALD WAY MAINEVILLE OH 45039	GREGORY STEWART C & KATHLEEN D 2526 MADISON RD CINCINNATI OH 45208	HEDLESTEN ROBERT C TR & SUSAN TR 3905 BEECH ST CINCINNATI OH 45227
HF RENTALS LLC 529 WINDINGS CT CINCINNATI OH 45220	HOVIOUS DARRELL N 21 W CHARLTON ST CINCINNATI OH 45219-2056	HUTCIENDA LLC 8655 REMINGTON RD CINCINNATI OH 45242
J F ROWLEY COMPANY OF 2729 VINE ST CINCINNATI OH 45219	JEFFERSON VIEW PROPERTIES LLC 10124 CLIFFWOOD CT CINCINNATI OH 45241	JOHNSON DAROLD & TOM KOETTER 10049 SONYA LN WEST CHESTER OH 45069
KING HIGHLAND COMMUNITY URBAN REDEVELOPMENT CORPOR 260 STETSON AVE STE E CINCINNATI OH 45219	KJR REAL ESTATE LLC 4633 LAMBS FERRY RD COVINGTON KY 41015	KRAUSE KIMBERLY G & CAROLYN 110 HOSEA AVE CINCINNATI OH 45220
LEE DOLLEEN JUANITA 2716 EUCLID AVE CINCINNATI OH 45219-2113	LYLE CHRISTOPHER 2616 JEFFERSON AVE CINCINNATI OH 45219	MASFI JAMES PO BOX 230285 LAS VEGAS NV 89150
MCC ON NJ LLC 4821 READING RD UNIT 11 CINCINNATI OH 45237	MORRIS SHERMAN 163 COMPTON RD CINCINNATI OH 45215	MOSS ANNE M 2709 EUCLID AVE CINCINNATI OH 45219-2112
MOUNT AUBURN PRESBYTERIAN CHURCH 103 WILLIAM HOWARD TAFT RD CINCINNATI OH 45219	NAZCA PROPERATIES LLC PO BOX 198010 CINCINNATI OH 45219	NAZCA PROPERTIES LLC P O BOX 332 BATAVIA OH 45103
P J C INC 1829 CAREW TOWER CINCINNATI OH 45202	PENNINGTON RONALD L 2622 EUCLID CINCINNATI OH 45219	PLATINUM PAR INVESTMENTS LLC 4221 S SHORE DR MASON OH 45040

PRASAD LAKSHMI
2605 EDEN AVE
#4
CINCINNATI OH 45219

RICE ROBERT C
2612 EUCLID AVE
CINCINNATI OH 45219-2102

ROGERS DAVID F & LISA P
30 SILVER AVE
FT MITCHELL KY 41017

S SQUARED PROPERTIES LLC
2600 EUCLID AVE
CINCINNATI OH 45219

SAFI WALID & NAILA
10741 SEDCO DR
UNION KY 41091

SHORT VINE INVESTMENTS LLC
9402 TOWNE SQUARE AVE STE C
CINCINNATI OH 45242

SHORT VINE PROPERTIES LLC
2718 SHORT VINE ST
CINCINNATI OH 45219

SHOWERS PARKER & AMY CLINE
2610 JEFFERSON AVE APT
1
CINCINNATI OH 45219

SNELL LEONARD J
2892 OVERDALE DR
CINCINNATI OH 45251

SOHI SEAN & PARNEET S
2624 JEFFERSON
CINCINNATI OH 45219

SPENCER SHEELAH @3
3354 EVANSTON AVE
CINCINNATI OH 45207

SWIGERT ROGER
117 WILLIAM H TAFT RD
CINCINNATI OH 45219

TAYLOR GARRY L & KAREN S
114 E CHARLTON ST
CINCINNATI OH 45219-2109

TAYLOR RICHARD P JR & ROBERT M
PO BOX 19037
CINCINNATI OH 45219

TOWER LEASING LLC
1418 CENTRAL PARKWAY
201
CINCINNATI OH 45202

UHL MARK
114 EAST CORRY ST
CINCINNATI OH 45219

VINE CHARLTON LLC
P O BOX 19967
CINCINNATI OH 45219

VP3 LLC
2718 VINE ST
CINCINNATI OH 45219

VP4 LLC @ 2
260 E UNIVERSITY AVE
CINCINNATI OH 45219

WANG JIANG & YING
3589 CARPENTERS GREEN LN
CINCINNATI OH 45241

WEBER WILLIAM G
110 E CORRY ST
CINCINNATI OH 45219

WELLS HANNAH RUTH
2714 EUCLID AVE
CINCINNATI OH 45219

WELLS HANNAH RUTH
2708 EUCLID AVE
CINCINNATI OH 45219-2113

WYNN GAYLE DENICE
2721 EDEN AVE
CINCINNATI OH 45219-2201

ZHANG ENQI
2634 JEFFERSON AVE
CINCINNATI OH 45219

CORRYVILLE COMMUNITY COUNTIL
260 Stetson Street, Suite E
CINCINNATI OH 45219

MCBRIDE DALE CLARION
5821 DRAGON WAY
SUITE 300
CINCINNATI OH 45227

August 4, 2020

To: Mayor and Members of City Council
From: Paula Boggs Muething, Interim City Manager
Subject: **Emergency Ordinance - IDC 87, Summit Road in Roselawn**

Transmitted is an Emergency Ordinance captioned:

EXTENDING Interim Development Control District No. 87, "Summit Road in Roselawn," in the Roselawn neighborhood as an interim development control district for a period of six months pursuant to Chapter 1431, "Interim Development Control Overlay Districts," of the Cincinnati Zoning Code.

Summary

On July 3, 2019, City Manager Patrick A. Duhaney forwarded a request from Vice Mayor Christopher Smitherman requesting the Department of City Planning to place an IDC Overlay District in Roselawn on Summit Road west of the Roselawn Neighborhood Business District.

The subject area for the IDC Overlay District is for multi-family properties fronting along Summit Road from the Roselawn Neighborhood Business District to 1581 Summit Road, the Summit East Apartment Complex. The properties are currently zoned Residential Multi-Family (RM-2.0 and RM-0.7).

Pursuant to Section 1431-01 of the Cincinnati Zoning Code, the purpose of the Interim Development Control (IDC) Overlay District is to temporarily regulate the establishment of uses, construction of new buildings and demolition or alteration of existing structures in areas where potential development could be detrimental or have adverse impacts on the implementation of approved amendments to the Cincinnati Zoning Code, approved or adopted plans, or current planning, land use or zoning studies.

The three-month IDC was approved by City Council on August 7, 2019. A nine-month extension of the IDC was approved by City Council on October 16, 2019 and will expire on August 7, 2020. The zoning study is complete, but due to COVID-19 there has not been adequate time to discuss or implement any potential changes from the study. The City Planning Commission recommended approval of a six-month extension of the IDC at their July 17, 2020 meeting.

The emergency measure is necessary due to the IDC being set to expire before a standard ordinance would take effect.

The Administration recommends Approval of this Ordinance.

cc: Katherine Keough-Jurs, AICP, Director
Department of City Planning

EMERGENCY

DBS

- 2020

EXTENDING Interim Development Control District No. 87, “Summit Road in Roselawn,” in the Roselawn neighborhood as an interim development control district for a period of six months pursuant to Chapter 1431, “Interim Development Control Overlay Districts,” of the Cincinnati Zoning Code.

WHEREAS, the City Planning Commission and the Department of City Planning are conducting a zoning study of certain portions of the Roselawn neighborhood to address concerns about the potential for new land development with the potential to impact adversely the health and general welfare of the area; and

WHEREAS, the Council established Interim Development Control District No. 87, “Summit Road in Roselawn” (“IDC District No. 87”) effective as of August 7, 2019, and continuing for a period of three months thereafter, in order to protect the area while the City Planning Commission and the Department of City Planning conduct their study and consider proposed changes that would affect the allowable land uses within the district; and

WHEREAS, the Council subsequently extended IDC District No. 87 for a period of nine months, and it expires on August 7, 2020; and

WHEREAS, although the City Planning Commission and the Department of City Planning have concluded their initial study, the Department of City Planning is still in the process of working with Roselawn stakeholders to develop proposed changes that would effect the allowable land uses within the district based on their initial findings; and

WHEREAS, the City Planning Commission, at its regularly scheduled meeting on July 17, 2020, recommended the extension of IDC District No. 87 for an additional period of six months upon finding that the criteria in Cincinnati Municipal Code Section 1431-13 have been satisfied; and

WHEREAS, a committee of Council held a public hearing on the proposed extension of IDC District No. 87, following due and proper notice pursuant to Cincinnati Municipal Code Sections 111-1 and 1431-13, and the committee approved the extension, finding it in the interest of the general public’s health, safety, morals, and welfare; and

WHEREAS, Council considers the extension of IDC District No. 87 to be in the best interests of the City and the general public’s health, safety, morals, and welfare; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That Council makes the following findings:

EXHIBIT B

**Regulations and Application Review Guidelines for
Interim Development Control Overlay District No. 87,
Summit Road in Roselawn
and
Designation of Administrative Reviewer**

Section I. Applications Subject to Review:

1. Building permits for new construction, demolition of existing structures, exterior alterations or additions to existing structures and changes in use.

Section II. Designated Administrative Reviewer:

Council designates the Department of City Planning as the staff reviewing authority for Interim Development Control Overlay District No. 87, Summit Road in Roselawn.

Section III. Application Review Guidelines:

In addition to any other necessary reviews and approvals as required by the Cincinnati Zoning Code and any other applicable laws, any application subject to review in Section I above shall be reviewed by the City Planning Commission to determine whether the application conforms to all applicable laws, ordinances, and regulations and is in the public interest.

In determining whether the application is in the public interest, the City Planning Commission shall consider those factors listed below that are relevant to the application. The application's failure to conform to any single factor is not necessarily a sufficient basis for denial.

- a) *Zoning*. The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.
- b) *Guidelines*. The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.
- c) *Plans*. The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
- d) *Traffic*. Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.
- e) *Buffering*. Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.

- f) *Landscaping.* Landscaping meets the requirements of the Cincinnati Zoning Code.
- g) *Hours of Operation.* Operating hours are compatible with adjacent land uses.
- h) *Neighborhood Compatibility.* The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
- i) *Proposed Zoning Amendments.* The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.
- j) *Adverse Effects.* Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
- k) *Blight.* The elimination or avoidance of blight.
- l) *Economic Benefits.* The promotion of the Cincinnati economy.
- m) *Job Creation.* The creation of jobs both permanently and during construction.
- n) *Tax Valuation.* Any increase in the real property tax duplicate.
- o) *Private Benefits.* The economic and other private benefits to the owner or applicant.
- p) *Public Benefits.* The public peace, health, safety or general welfare.

August 4, 2020

To: Nicole Crawford, Office of the Clerk of Council

From: Katherine Keough-Jurs, AICP, Director, Department of City Planning *KJS*

Copies to: James Weaver, AICP, Senior City Planner

Subject: **Emergency Ordinance - Extending IDC No. 87, "Summit Road in Roselawn"**

The above referenced emergency ordinance is ready to be scheduled for Committee. We are requesting that this item be scheduled for the **Tuesday August 4th meeting** of the Economic Growth & Zoning Committee. This item requires a public hearing and notice in the City Bulletin 14 days before the public hearing,

Included in this submission are the following items:

- 1) The transmittal letter to the Economic Growth & Zoning Committee;
- 2) A copy of the Planning Commission staff report dated July 17, 2020;
- 3) The Emergency Ordinance extending IDC No. 87, Summit Road in Roselawn;
- 4) The mailing labels for notification of all property owners within the IDC
- 5) A copy of the mailing labels for your records

August 4, 2020

Cincinnati City Council
Council Chambers, City Hall
Cincinnati, Ohio 45202



Dear Members of Council:

We are transmitting herewith an Emergency Ordinance captioned as follows:

EXTENDING Interim Development Control District No. 87, "Summit Road in Roselawn," in the Roselawn neighborhood as an interim development control district for a period of six months pursuant to Chapter 1431, "Interim Development Control Overlay Districts," of the Cincinnati Zoning Code.

Summary:

On July 3, 2019, City Manager Patrick A. Duhaney forwarded a request from Vice Mayor Christopher Smitherman requesting the Department of City Planning to place an IDC Overlay District in Roselawn on Summit Road west of the Roselawn Neighborhood Business District.

The subject area for the IDC Overlay District is for multi-family properties fronting along Summit Road from the Roselawn Neighborhood Business District to 1581 Summit Road, the Summit East Apartment Complex. The properties are currently zoned Residential Multi-Family (RM-2.0 and RM-0.7).

Pursuant to Section 1431-01 of the Cincinnati Zoning Code, the purpose of the Interim Development Control (IDC) Overlay District is to temporarily regulate the establishment of uses, construction of new buildings and demolition or alteration of existing structures in areas where potential development could be detrimental or have adverse impacts on the implementation of approved amendments to the Cincinnati Zoning Code, approved or adopted plans, or current planning, land use or zoning studies.

The three-month IDC was approved by City Council on August 7, 2019. A nine-month extension of the IDC was approved by City Council on October 16, 2019 and will expire on August 7, 2020. The zoning study is complete, but due to COVID-19 there has not been adequate time to discuss or implement any potential changes from the study. The City Planning Commission recommended approval of a six-month extension of the IDC at their July 17, 2020 meeting. The emergency measure is necessary due to the IDC being set to expire before a standard ordinance would take effect.

Motion to Approve: Ms. Sesler

Ayes:

Mr. Juech
Mr. Samad
Ms. Sesler
Mr. Eby
Mr. Stallworth

Seconded: Mr. Samad

THE CITY PLANNING COMMISSION

Katherine Keough-Jurs, AICP, Director
Department of City Planning

KKJ: jmw

Encl.: Staff Report, Ordinance

July 17, 2020

**Honorable City Planning Commission
Cincinnati, Ohio**

SUBJECT: A report and recommendation on the extension of Interim Development Control (IDC) Overlay District No. 87, Summit Road for a period of six months.

BACKGROUND:

On July 3, 2019, City Manager Patrick A. Duhaney forwarded a request from Vice Mayor Christopher Smitherman requesting the Department of City Planning to place an IDC Overlay District in Roselawn on Summit Road west of the Roselawn Neighborhood Business District.

Pursuant to Section 1431-01 of the Cincinnati Zoning Code, the purpose of the Interim Development Control (IDC) Overlay District is to temporarily regulate the establishment of uses, construction of new buildings and demolition or alteration of existing structures in areas where potential development could be detrimental or have adverse impacts on the implementation of approved amendments to the Cincinnati Zoning Code, approved or adopted plans, or current planning, land use or zoning studies.

The City Planning Commission recommended approval of an emergency three-month IDC to Cincinnati City Council on August 2, 2019. Cincinnati City Council approved the establishment of IDC No. 87 on August 7, 2019. The City Planning Commission recommended approval of a nine-month extension of the IDC to Cincinnati City Council on September 20, 2019. Cincinnati City Council approved the nine-month extension of IDC No. 87 on October 16, 2019. The approved IDC No. 87 allows for the review of building permits for new construction, demolition of existing structures, exterior or interior alterations or additions to existing structures, and changes in use by the Department of City Planning and the City Planning Commission while the IDC is in place.

The subject area for the IDC Overlay District is along Summit Road from the Roselawn Neighborhood Business District to Summit East Apartments at 1581 Summit Road. The properties are currently zoned Residential Multi-Family (RM-2.0 and RM-0.7). In the RM-0.7 zoning district, there is one property containing a 143-unit structure (Summit East Apartments). In the RM-2.0 zoning district, there are 15 two-family structures, 23 four-family structures, two five-unit structures, one six-unit structure, one 15-unit structure (the former Chabad House), and one office building which is a legal non-conforming use in the district. Two of the four-unit properties and one 15-unit property are classified by the Hamilton County Auditor as "Charities, Hospitals, & Retirement Homes". Another four-unit building is owned by the Hamilton County Mental Health Board.

ATTACHMENTS:

Provided in addition to this report are:

- Exhibit A - Location Map
- Exhibit B - IDC Review Criteria
- Exhibit C - Existing Conditions Map
- Exhibit D – Results of the Zoning Study and Potential Options

CRITERIA FOR EXTENDING AN IDC OVERLAY DISTRICT

Pursuant to Section 1431-13 of the Cincinnati Zoning Code, Council may extend the duration of an IDC Overlay District by an additional six months, provided that an IDC Overlay District may not remain in effect for more than two years from the date it was first established if notice has been given and a public hearing held in accordance with Section 111-1, Hearings on Zoning Amendments, of the Municipal Code and on finding that:

- (a) Complex Study. The study of the proposed amendment to the Cincinnati Zoning Code or map that would affect the allowable land uses within the IDC Overlay District has proven to be extraordinarily complex by reason of unusual geographic, physical or social conditions in the district;

- (b) Study Incomplete. The City Planning Commission has not yet completed the consideration of the proposed Cincinnati Zoning Code map amendments that would affect the allowable land uses within the IDC Overlay District; and
- (c) Inconsistent Uses. There is a prospect of change in use, construction of new structures or alteration or demolition of existing structures that would be inconsistent with preliminary objectives or findings for the area approved by the City Planning Commission.

REGULATIONS AND GUIDELINES FOR THE IDC:

The area within the boundary of IDC Overlay District No. 87 is the officially recognized boundary of the zoning study in Roselawn as shown on the attached map in Exhibit A.

According to §1431-15, the City Planning Commission has the duty to review applications in an established IDC Overlay District and has been designated as the administrative reviewer for the IDC Overlay District.

The following permits are subject to review by the City Planning Commission:

- Building permits for new construction, demolition of existing structures, exterior or interior alterations or additions to existing structures, and changes in use.

ANALYSIS:

The IDC is currently set to expire on August 7, 2020 unless City Council approves an extension of IDC Overlay District No. 87 for an additional six months before that time expires. In order to do so, City Council must receive an affirmative recommendation from the City Planning Commission to make this extension. An additional six months would leave IDC Overlay District No. 87 in effect until March 7, 2021 (if approved by City Council).

As described in the above section, Criteria for Extension of an IDC Overlay District, City Council may extend an IDC Overlay District for a period of six months if the City Planning Commission gives them an affirmative recommendation on the finding that:

- a) Complex Study. The City Planning Commission is studying proposed Cincinnati Zoning Code or map amendments that would affect the area within the IDC District;
The study may result in proposed amendments to the City's Zoning Code and/or Zoning Map. A Zoning Map amendment would only affect the area within the boundary of the IDC Overlay District while a Zoning Code amendment would make changes city-wide. Any changes to the City's Zoning Code and/or Zoning Map need to be requested by the community. A Zoning Code/Zoning Map amendment is typically a three-to-six-month process due to notification requirements. This process was interrupted by COVID-19, which affected implementation of any potential action based on the results of the study.
- b) Study Incomplete. The study is not yet completed, but may reasonably be expected to be completed and Cincinnati Zoning Code amendments enacted within the six-month extension; and
The initial study is complete, but the Department of City Planning staff is still in the process of working with Roselawn on any proposed changes, which was interrupted by measures required due to COVID-19. If approved, the six-month extension would allow for more time for additional conversations with Roselawn leadership and to implement any next steps.

- c) **Inconsistent Uses.** There is a prospect of changes in use, construction of new structures or alteration or demolition of existing structures that would be inconsistent with preliminary objectives or findings for the area approved by the City Planning Commission.

The primary reason the IDC Overlay District was initially established was to study potential new construction, demolition of existing structures, exterior or interior alterations or additions to existing structures, and changes in use. Any changes to the Zoning Code or Zoning Map are expected to be completed if the IDC Overlay District is extended for an additional six-months. To date, staff has not received any permits within this IDC Overlay District for review.

The Department of City Planning will continue to work with Roselawn to study the appropriate land uses for this area and if any changes to the City's Zoning Code and/or Zoning Map are necessary. Changes to the Zoning Map would only affect the area within the IDC, while changes to the Zoning Code would require additional notification and review from every city neighborhood.

PUBLIC COMMENT:

Department of City Planning staff reached out to Roselawn leadership in March of 2020 and again in June of 2020 to discuss potential outcomes based on the results of the study. Department of City Planning staff sent notice of the proposed extension to all affected property owners of record within the boundary of the IDC Overlay District as well as to the Roselawn Community Council on July 1, 2020. Staff has not received any correspondence to-date.

CONSISTENCY WITH PLANS:


Plan Cincinnati (2012) does not specifically address the concerns related to the establishment of IDC Overlay District No. 87, Summit Road in Roselawn, but conducting a zoning study is consistent with an Action Step within the Live Initiative Area to "Support and stabilize our neighborhoods" (page 160).

RECOMMENDATION:

The staff of the Department of City Planning recommends that the City Planning Commission take the following actions:


- 1) **ADOPT** the Department of City Planning's staff findings that the proposed IDC Overlay District is in compliance with Cincinnati Zoning Code Section 1431-13, Extension of IDC Overlay Districts, as discussed on pages 2 – 3 of this report; and,
- 2) **RECOMMEND** that City Council extend Interim Development Control (IDC) Overlay District No. 87 Summit Road in Roselawn, for a period of six months, finding it to be in the interest of the general public's health, safety, and welfare during the course of the Department of City Planning's study.

Respectfully submitted:



James Weaver, AICP, Senior City Planner
Department of City Planning

Approved:



Katherine Keough-Jurs, AICP, Director
Department of City Planning

Exhibit A: Proposed 6-month extension of IDC-87: Summit Road in Roselawn

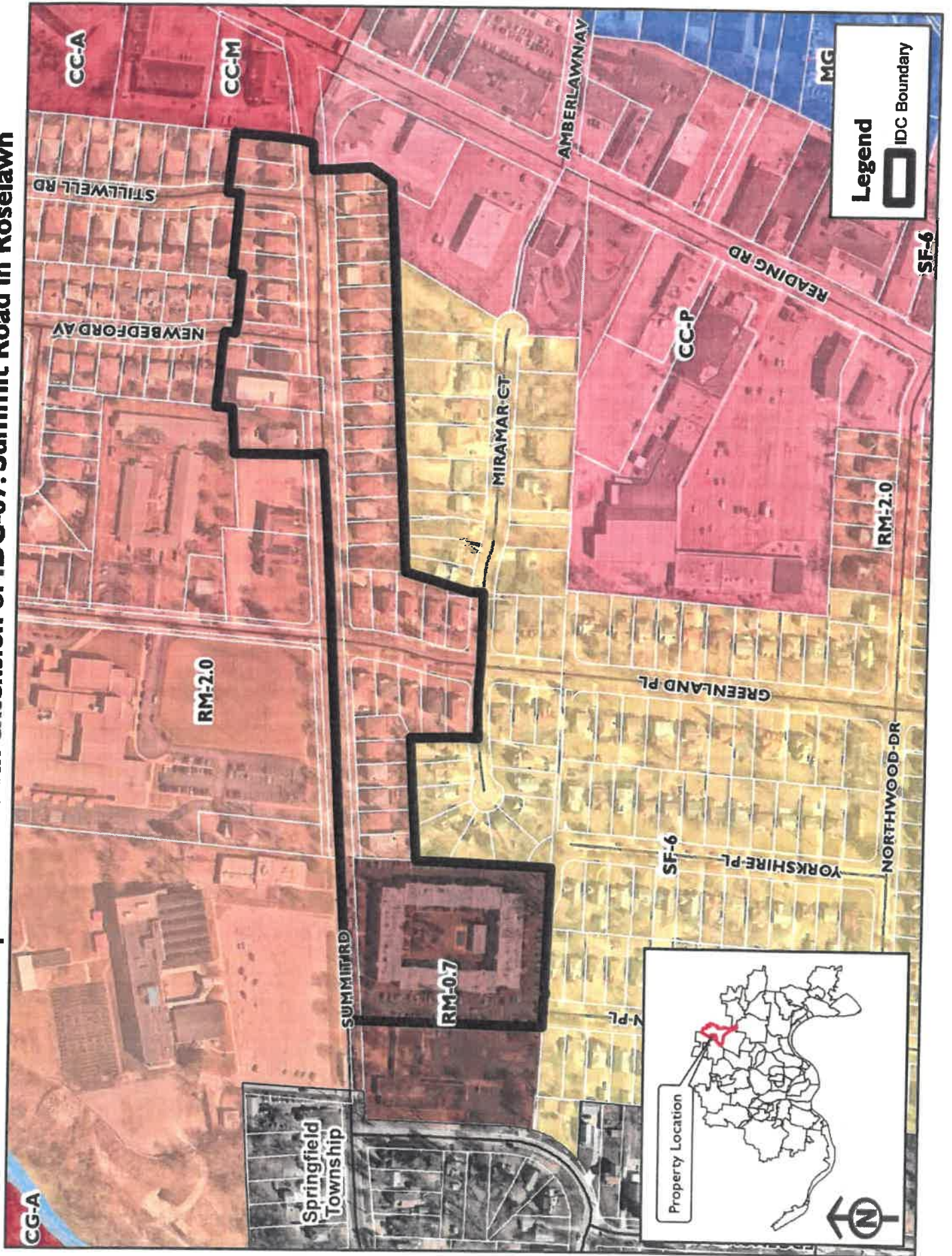


EXHIBIT B

**Regulations and Application Review Guidelines for
Interim Development Control Overlay District No. 87,
Summit Road in Roselawn
and
Designation of Administrative Reviewer**

Section I. Applications Subject to Review:

1. Building permits for new construction, demolition of existing structures, exterior alterations or additions to existing structures and changes in use.

Section II. Designated Administrative Reviewer:

Council designates the Department of City Planning as the staff reviewing authority for Interim Development Control Overlay District No. 87, Summit Road in Roselawn.

Section III. Application Review Guidelines:

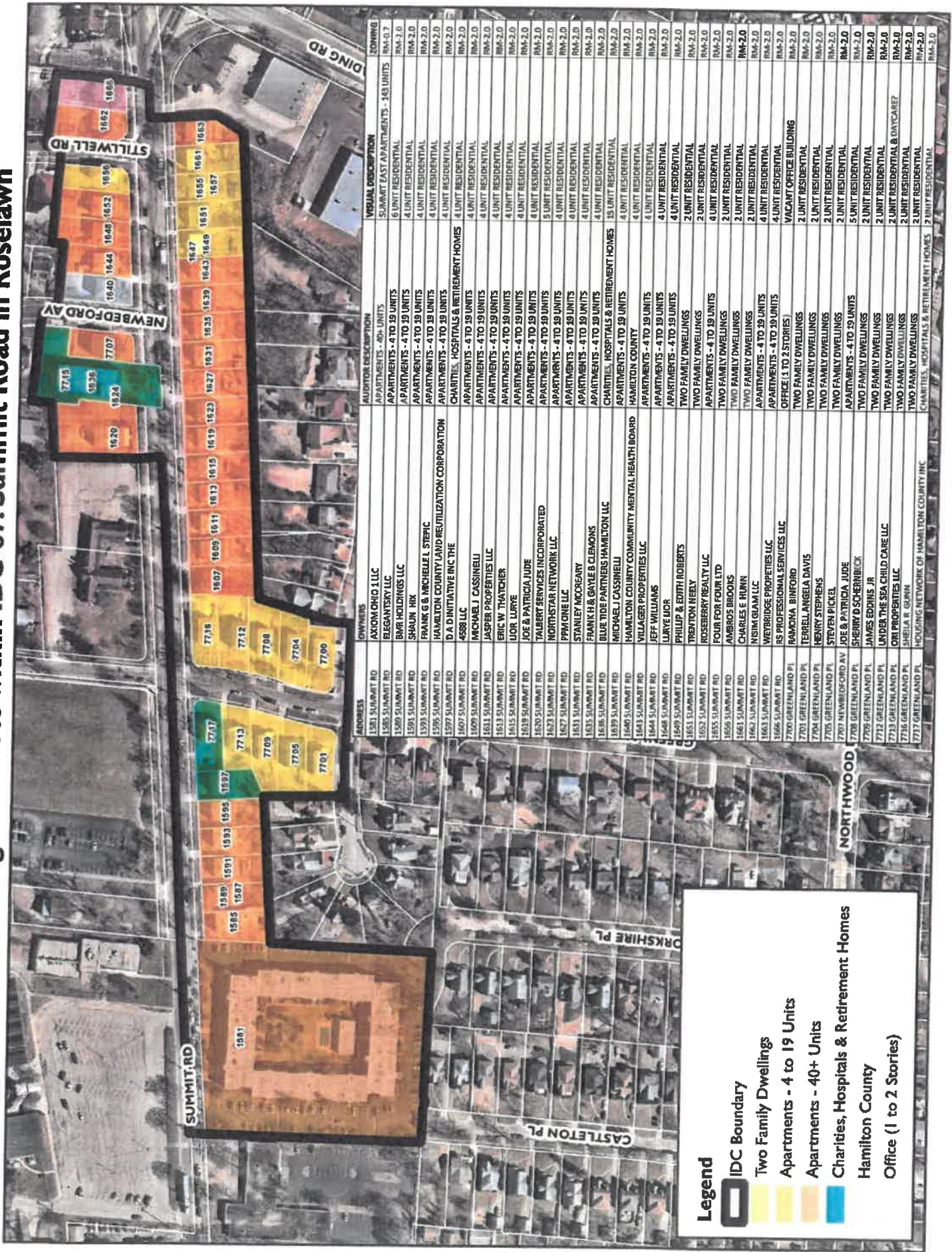
In addition to any other necessary reviews and approvals as required by the Cincinnati Zoning Code and any other applicable laws, any application subject to review in Section I above shall be reviewed by the City Planning Commission to determine whether the application conforms to all applicable laws, ordinances, and regulations and is in the public interest.

In determining whether the application is in the public interest, the City Planning Commission shall consider those factors listed below that are relevant to the application. The application's failure to conform to any single factor is not necessarily a sufficient basis for denial.

- a) *Zoning*. The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.
- b) *Guidelines*. The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.
- c) *Plans*. The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
- d) *Traffic*. Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.
- e) *Buffering*. Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.

- f) *Landscaping.* Landscaping meets the requirements of the Cincinnati Zoning Code.
- g) *Hours of Operation.* Operating hours are compatible with adjacent land uses.
- h) *Neighborhood Compatibility.* The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
- i) *Proposed Zoning Amendments.* The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.
- j) *Adverse Effects.* Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
- k) *Blight.* The elimination or avoidance of blight.
- l) *Economic Benefits.* The promotion of the Cincinnati economy.
- m) *Job Creation.* The creation of jobs both permanently and during construction.
- n) *Tax Valuation.* Any increase in the real property tax duplicate.
- o) *Private Benefits.* The economic and other private benefits to the owner or applicant.
- p) *Public Benefits.* The public peace, health, safety or general welfare.

Exhibit C: Existing Land Uses within IDC-87: Summit Road in Roselawn



ADDRESS	OWNER	AUDITOR DESCRIPTION	VISUAL DESCRIPTION	ZONING
1581 SUMMIT RD	AXIOM OHIO 1 LLC	APARTMENTS - 40+ UNITS	SUMMIT EAST APARTMENTS - 143 UNITS	RM-2.0
1585 SUMMIT RD	ELEGANTARY LLC	APARTMENTS - 4 TO 19 UNITS	6 UNIT RESIDENTIAL	RM-2.0
1589 SUMMIT RD	BMR HOLDINGS LLC	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1591 SUMMIT RD	SHAUN HK	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1593 SUMMIT RD	FRANK G & MICHELLE L STEPIĆ	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1595 SUMMIT RD	HAMILTON COUNTY LAND REUTILIZATION CORPORATION	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1597 SUMMIT RD	D A D INITIATIVE INC THE	CHARITIES, HOSPITALS & RETIREMENT HOMES	4 UNIT RESIDENTIAL	RM-2.0
1607 SUMMIT RD	4838 LLC	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1611 SUMMIT RD	MICHAEL J CASSINELLI	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1615 SUMMIT RD	JASPER PROPERTIES LLC	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1619 SUMMIT RD	ERIC W THATCHER	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1623 SUMMIT RD	LOR LUYE	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1627 SUMMIT RD	JOE & PATRICIA JUDE	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1631 SUMMIT RD	TALBERT SERVICES INCORPORATED	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1635 SUMMIT RD	NORTHSTAR NETWORK LLC	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1639 SUMMIT RD	PPW ONE LLC	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1643 SUMMIT RD	STANLEY MCCREARY	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1647 SUMMIT RD	FRANK H & GAYLE B CLEMONS	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1651 SUMMIT RD	BLUE TIDE PARTNERS HAMILTON LLC	CHARITIES, HOSPITALS & RETIREMENT HOMES	15 UNIT RESIDENTIAL	RM-2.0
1655 SUMMIT RD	MICHAEL J CASSINELLI	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1659 SUMMIT RD	HAMILTON COUNTY COMMUNITY MENTAL HEALTH BOARD	HAMILTON COUNTY	4 UNIT RESIDENTIAL	RM-2.0
1663 SUMMIT RD	VILLAGER PROPERTIES LLC	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1667 SUMMIT RD	JEFF WILLIAMS	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1671 SUMMIT RD	LURVE LUR	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1675 SUMMIT RD	PHILIP & EDITH ROBERTS	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1679 SUMMIT RD	THRENTON WEEBY	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1683 SUMMIT RD	ROSEBERRY REALTY LLC	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1687 SUMMIT RD	FOUR FOR FOUR LTD	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1691 SUMMIT RD	AMBR'S BROOKS	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1695 SUMMIT RD	CHARLES E HURN	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1699 SUMMIT RD	NSIM GUAM LLC	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1703 SUMMIT RD	WETBRIDGE PROPERTIES LLC	APARTMENTS - 4 TO 19 UNITS	4 UNIT RESIDENTIAL	RM-2.0
1707 SUMMIT RD	BS PROFESSIONAL SERVICES LLC	OFFICE (1 TO 2 STORIES)	VACANT OFFICE BUILDING	RM-2.0
1711 SUMMIT RD	RAMONA BINFORD	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1715 SUMMIT RD	TERRELL ANGELA DAVIS	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1719 SUMMIT RD	HENRY STEPHENS	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1723 SUMMIT RD	STEVEN PICKEL	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1727 SUMMIT RD	JOE & PATRICIA JUDE	APARTMENTS - 4 TO 19 UNITS	5 UNIT RESIDENTIAL	RM-2.0
1731 SUMMIT RD	S-HENRY D SCHERBECK	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1735 SUMMIT RD	JAMES EDDINS JR	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1739 SUMMIT RD	UNDER THE SEA CHILD CARE LLC	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL & DAYCARE	RM-2.0
1743 SUMMIT RD	GRI PROPERTIES LLC	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1747 SUMMIT RD	SHELA R GUNN	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL	RM-2.0
1751 SUMMIT RD	HOUSING NETWORK OF HAMILTON COUNTY INC	CHARITIES, HOSPITALS & RETIREMENT HOMES	7 UNIT RESIDENTIAL	RM-2.0

Legend

- IDC Boundary
- Two Family Dwellings
- Apartments - 4 to 19 Units
- Apartments - 40+ Units
- Charities, Hospitals & Retirement Homes
- Hamilton County Office (1 to 2 Stories)

Exhibit D

Weaver, James

From: Weaver, James
Sent: Wednesday, March 18, 2020 9:03 AM
To: Carol Smith (iams3141@gmail.com)
Cc: Kevin Laudat; rlm44@fuse.net
Subject: Summit Road IDC
Attachments: IDC 87 Zoning Study.pdf; Summit IDC Zoning Map 8-1-19.pdf

Carol,

I wanted to talk to you about the Summit Road IDC. Most of the area is zoned low-density multi-family (RM-2.0 and light brown) with the Summit East Apartments zoned high density multi-family (RM-0.7 and dark brown).

We've done a zoning study on the property based on the existing land uses that are out there, which is the "IDC 87 Zoning Study" attachment. Based on the existing uses, the zoning is probably appropriate for this area if we don't want to make anything non-conforming.

If you're looking to limit institutional uses, such as Talbert House on a smaller scale, rezoning the property to RMX (residential mix of 1-3 family homes) is an option. Rezoning the light brown area currently zoned RM-2.0 to RMX would make everything but the yellow parcels on the IDC 87 Zoning Study Map a nonconforming use. This means that these existing uses and buildings could continue as they are indefinitely, but any new uses in this area would have to be 1-3 family residential. This could potentially be a fight with these property owners, as you probably know. If I remember correctly there were very few land uses that became nonconforming (besides the Valley and a gas station) when we rezoned your business district to CC-P from an auto-oriented zoning district.

Think about it and let me know what the RCC wants to do and let me know if you have any questions or thoughts.

Stay healthy and safe out there.

James Weaver, AICP | Senior City Planner

City of Cincinnati | Department of City Planning
Two Centennial Plaza | 805 Central Avenue, Suite 720 | Cincinnati, OH 45202
513-352-4882 (p) | 513-352-4853 (f) | www.cincinnati-oh.gov



The 2020 Census opens on March 12th! It's **EASY, IMPORTANT, and SAFE.**
Find out more and take the pledge to participate: www.greatercincycounts.com/pledge

EMERGENCY

City of Cincinnati

DBS

AWB

An Ordinance No. _____

- 2020

EXTENDING Interim Development Control District No. 87, "Summit Road in Roselawn," in the Roselawn neighborhood as an interim development control district for a period of six months pursuant to Chapter 1431, "Interim Development Control Overlay Districts," of the Cincinnati Zoning Code.

WHEREAS, the City Planning Commission and the Department of City Planning are conducting a zoning study of certain portions of the Roselawn neighborhood to address concerns about the potential for new land development with the potential to impact adversely the health and general welfare of the area; and

WHEREAS, the Council established Interim Development Control District No. 87, "Summit Road in Roselawn" ("IDC District No. 87") effective as of August 7, 2019, and continuing for a period of three months thereafter, in order to protect the area while the City Planning Commission and the Department of City Planning conduct their study and consider proposed changes that would affect the allowable land uses within the district; and

WHEREAS, the Council subsequently extended IDC District No. 87 for a period of nine months, and it expires on August 7, 2020; and

WHEREAS, although the City Planning Commission and the Department of City Planning have concluded their initial study, the Department of City Planning is still in the process of working with Roselawn stakeholders to develop proposed changes that would effect the allowable land uses within the district based on their initial findings; and

WHEREAS, the City Planning Commission, at its regularly scheduled meeting on July 17, 2020, recommended the extension of IDC District No. 87 for an additional period of six months upon finding that the criteria in Cincinnati Municipal Code Section 1431-13 have been satisfied; and

WHEREAS, a committee of Council held a public hearing on the proposed extension of IDC District No. 87, following due and proper notice pursuant to Cincinnati Municipal Code Sections 111-1 and 1431-13, and the committee approved the extension, finding it in the interest of the general public's health, safety, morals, and welfare; and

WHEREAS, Council considers the extension of IDC District No. 87 to be in the best interests of the City and the general public's health, safety, morals, and welfare; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That Council makes the following findings:

- (a) At its regularly scheduled meeting on July 17, 2020, the City Planning Commission affirmatively recommended that Council extend Interim Development Control District No. 87, “Summit Road” (“IDC District No. 87”), for a period of six months.
- (b) The City Planning Commission and the Department of City Planning require further consideration of proposed changes that would affect the allowable land uses within IDC District No. 87 because the study of the area has proven to be extraordinarily complex due to COVID-19 complications and social conditions in the district. The complexity results from the number and diversity of stakeholders affected by the proposed changes, the need to engage all of the stakeholders, and the difficulty associated with developing consensus around many issues concerned in the study.
- (c) The City Planning Commission has not yet completed its consideration of the zoning map amendments and text amendments that would affect the allowable land uses within the IDC District No. 87. Effecting an amendment to the zoning code or zoning map amendment is typically a three-to-six-month process that requires public notification and engagement. This process was interrupted by COVID-19, and it affected the implementation of any proposals resulting from this process.
- (d) There is a prospect of change in use, construction of new structures, or alteration of existing structures in IDC District No. 87 that would be inconsistent with preliminary objectives or findings for the area approved by the City Planning Commission, which include zoning text and map amendments, as well as other policies, programs, and administrative changes.

Section 2. That IDC District No. 87, as depicted on the map attached as “Exhibit A” to Ordinance No. 300-2019 and incorporated herein by reference, is extended throughout the area designated on the map as the interim development control district.

Section 3. That, pursuant to Cincinnati Municipal Code Section 1431-07, Section 1431-15, and Ordinance No. 300-2019, the Council adopted Application Review Guidelines for IDC District No. 87. The Application Review Guidelines, attached as “Exhibit B” to Ordinance No. 300-2019, and incorporated herein by reference, shall remain in effect for the duration of IDC District No. 87 and be used by the City Planning Commission in its review of applications for the use of property within IDC District No. 87.

Section 4. That pursuant to Section 1431-13 of the Cincinnati Zoning Code, IDC District No. 87 shall remain in effect for an additional period of six months, up to and including March 7, 2021.

Section 5. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to prevent the interim development controls established under IDC District No. 87 from expiring prior to the completion of the zoning study and review by the City Planning Commission and the Department of City Planning.

Passed: _____, 2020

John Cranley, Mayor

Attest: _____
Clerk

CITY PLANNING COMMISSION

7/17/2020

APPROVED

Katie Ky...

DIRECTOR OF CITY PLANNING

A10 HOLDINGS LLC
24 E UNIVERSITY AVE
CINCINNATI OH 45219

AXIOM OHIO 1 LLC
BRG REALTY GROUP LLC 7265
KENWOOD RD., SUITE 111
CINCINNATI OH 45236

BINFORD RAMONA
7700 GREENLAND PL
CINCINNATI OH 45237

BLUE TIDE PARTNERS HAMILTON LLC
812 RUSSELL ST
COVINGTON KY 41011

BMR HOLDINGS LLC
343 WEST PIKE ST
COVINGTON KY 41011

BROOKS AMBROS
1656 SUMMIT RD
CINCINNATI OH 45237-2038

CASSINELLI MICHAEL J
7849 NEWBEDFORD AVE
CINCINNATI OH 45237

CINCINNATI CITY OF
801 PLUM ST ROOM 122
CINCINNATI OH 45202-5704

CLEMONS FRANK H & GAYLE B
1838 BERKLEY AVE
CINCINNATI OH 45237-6116

DAVIS TERRELL ANGELA
7701 GREENLAND PL
CINCINNATI OH 45237-2711

DELE- LAWAL OLABISI & ANDREW
LAWAL
950 HALESWORTH DR
CINCINNATI OH 45240

DOLGIN GENE
515 PUTNAM AVE APT 3
CAMBRIDGE MA 02139

DOZIER GERRIE & WESLEY ELLIS
4518 COLLINS AVE
ATLANTA GA 30342

EDDINS JAMES JR
7709 GREENLAND PL
CINCINNATI OH 45237

ELEGANTSKY LLC
24656 LAS PATRANAS
YORBA LINDA CA 92887

GUNN SHEILA R
7716 GREENLAND PL
CINCINNATI OH 45237

HAMILTON COUNTY
COMMUNITYMENTAL HEALTH BOARD
2350 AUBURN AVE
CINCINNATI OH 45219

HAMILTON COUNTY LAND
REUTILIZATION CORPORATION
3 E FOUTH STREET SUITE 300
CINCINNATI OH 45202

HIX SHAUN
7236 GREENFARMS DR
CINCINNATI OH 45224

HOUSING NETWORK OF HAMILTON
COUNTY INC
3030 WEST FORK RD
CINCINNATI OH 45211

HUNN CHARLES E
328 RIDDLE RD
CINCINNATI OH 45215

JASPER PROPERTIES LLC
6731 SPRING ARBOR DR
MASON OH 45040

JOHNSON SAMUEL R
4004 LONGFELLOW ST
HYATTSVILLE MD 20781

JUDE JOE & PATRICIA
10097 SHELburn DR
LOVELAND OH 45140

LIOR LURYE
1648 SUMMIT RD
CINCINNATI OH 45237

LURYE LIOR
4204 CARRIAGELITE DR
CINCINNATI OH 45241

MCCREARY STANLEY
6601 ROE ST
CINCINNATI OH 45227

NEELY TRENTON
1602 SHENANDOAH AVE
CINCINNATI OH 45237

ORI PROPERTIES LLC
4617 VINE ST
CINCINNATI OH 45217

PICKEL STEVEN F@3
1825 LARCHWOOD PL
CINCINNATI OH 45237

ROBERTS PHILLIP & EDITH
18616 N 99TH AVE # 1084
SUN CITY AZ 85373

ROSEBERRY REALTY LLC
348 RIDDLE RD
CINCINNATI OH 45215

RS PROFESSIONAL SERVICESLLC
6404 THORNBERRY CT SUITE # 430
MASON OH 45040

SCHERNBECK SHERRY D
7708 GREENLAND PL
CINCINNATI OH 45237-2712

STEPHENS HENRY
7704 GREENLAND PL
CINCINNATI OH 45237-2712

STEPIC FRANK G & MICHELLE L
1593 SUMMIT RD
CINCINNATI OH 45237

TALBERT SERVICES INCORPORATED
2600 VICTORY PKWY
CINCINNATI OH 45206

THATCHER ERIC W
7653 GREENLAND PL
CINCINNATI OH 45237

UNDER THE SEA CHILD CARE LLC
12185 HUNTERGREEN DR
CINCINNATI OH 45251

VILLAGER PROPERTIES LLC
PO BOX 371029
CINCINNATI OH 45222

WEYBRIDGE PROPETIES LLC
7672 MONTGOMERY RD SUITE 211
CINCINNATI OH 45236

WILLIAMS JEFF @2
PO BOX 53466
CINCINNATI OH 45253-0466

ROSELAWN COMMUNITY COUNCIL
P. O. Box 37087
CINCINNATI OH 45222

August 4, 2020

To: Mayor and Members of City Council
From: Paula Boggs Muething, Interim City Manager
Subject: **Emergency Ordinance - IDC 87, Summit Road in Roselawn**

Transmitted is an Emergency Ordinance captioned:

EXTENDING Interim Development Control District No. 87, "Summit Road in Roselawn," in the Roselawn neighborhood as an interim development control district for a period of six months pursuant to Chapter 1431, "Interim Development Control Overlay Districts," of the Cincinnati Zoning Code.

Summary

On July 3, 2019, City Manager Patrick A. Duhaney forwarded a request from Vice Mayor Christopher Smitherman requesting the Department of City Planning to place an IDC Overlay District in Roselawn on Summit Road west of the Roselawn Neighborhood Business District.

The subject area for the IDC Overlay District is for multi-family properties fronting along Summit Road from the Roselawn Neighborhood Business District to 1581 Summit Road, the Summit East Apartment Complex. The properties are currently zoned Residential Multi-Family (RM-2.0 and RM-0.7).

Pursuant to Section 1431-01 of the Cincinnati Zoning Code, the purpose of the Interim Development Control (IDC) Overlay District is to temporarily regulate the establishment of uses, construction of new buildings and demolition or alteration of existing structures in areas where potential development could be detrimental or have adverse impacts on the implementation of approved amendments to the Cincinnati Zoning Code, approved or adopted plans, or current planning, land use or zoning studies.

The three-month IDC was approved by City Council on August 7, 2019. A nine-month extension of the IDC was approved by City Council on October 16, 2019 and will expire on August 7, 2020. The zoning study is complete, but due to COVID-19 there has not been adequate time to discuss or implement any potential changes from the study. The City Planning Commission recommended approval of a six-month extension of the IDC at their July 17, 2020 meeting.

The emergency measure is necessary due to the IDC being set to expire before a standard ordinance would take effect.

The Administration recommends Approval of this Ordinance.

cc: Katherine Keough-Jurs, AICP, Director
Department of City Planning

EMERGENCY

DBS

- 2020

EXTENDING Interim Development Control District No. 86, “Auburn Avenue in Mt. Auburn,” in the Mt. Auburn neighborhood as an interim development control district for a period of six months pursuant to Chapter 1431, “Interim Development Control Overlay Districts,” of the Cincinnati Zoning Code.

WHEREAS, the City Planning Commission and the Department of City Planning have studied the possibility of updating the zoning designation for the Mt. Auburn neighborhood’s main corridor to determine if other zoning designations are appropriate for the area in light of recent and anticipated development; and

WHEREAS, the Council established Interim Development Control District No. 86, “Auburn Avenue in Mt. Auburn” (“IDC District No. 86”) effective as of August 7, 2019, and continuing for a period of three months thereafter, in order to protect the area while the City Planning Commission and the Department of City Planning conduct their study and consider proposed changes that would affect the allowable land uses within the district; and

WHEREAS, the Council subsequently extended IDC District No. 86 for a period of nine months, and it expires on August 7, 2020; and

WHEREAS, although the City Planning Commission and the Department of City Planning have concluded their initial study, the Department of City Planning is still in the process of working with Mt. Auburn stakeholders to develop proposed changes that would effect the allowable land uses within the district based on their initial findings; and

WHEREAS, the City Planning Commission, at its regularly scheduled meeting on July 17, 2020, recommended the extension of IDC District No. 86 for an additional period of six months upon finding that the criteria in Cincinnati Municipal Code Section 1431-13 have been satisfied; and

WHEREAS, a committee of Council held a public hearing on the proposed extension of IDC District No. 86, following due and proper notice pursuant to Cincinnati Municipal Code Sections 111-1 and 1431-13, and the committee approved the extension, finding it in the interest of the general public’s health, safety, morals, and welfare; and

WHEREAS, Council considers the extension of IDC District No. 86 to be in the best interests of the City and the general public’s health, safety, morals, and welfare; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That Council makes the following findings:

Exhibit A: Proposed 6-month extension of IDC-86, Auburn Avenue in Mt. Auburn

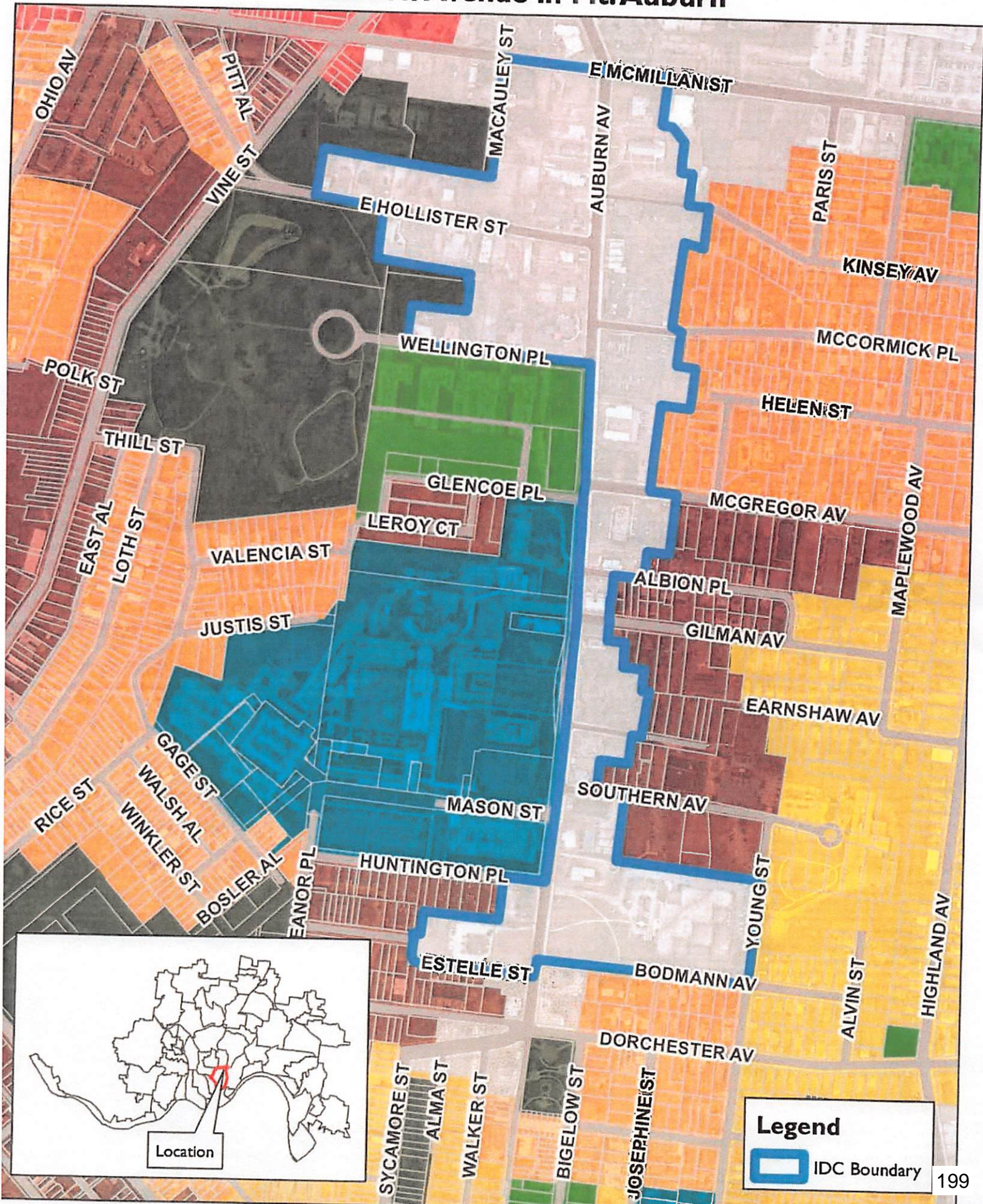


EXHIBIT B

**Regulations and Application Review Guidelines for
Interim Development Control Overlay District No. 86,
Auburn Avenue in Mt. Auburn
and
Designation of Administrative Reviewer**

Section I. Applications Subject to Review:

1. Building permit applications resulting in a change of use or occupancy under the Ohio Building Code or Cincinnati Municipal Code.

Section II. Designated Administrative Reviewer:

Council designates the Department of City Planning as the staff reviewing authority for Interim Development Control Overlay District No. 86, Auburn Avenue in Mt. Auburn.

Section III. Application Review Guidelines:

In addition to any other necessary reviews and approvals as required by the Cincinnati Zoning Code and any other applicable laws, any application subject to review in Section I above shall be reviewed by the City Planning Commission to determine whether the application conforms to all applicable laws, ordinances, and regulations and is in the public interest.

In determining whether the application is in the public interest, the City Planning Commission shall consider those factors listed below that are relevant to the application. The application's failure to conform to any single factor is not necessarily a sufficient basis for denial.

- a) *Zoning.* The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.
- b) *Guidelines.* The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.
- c) *Plans.* The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
- d) *Traffic.* Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.
- e) *Buffering.* Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.

- f) *Landscaping.* Landscaping meets the requirements of the Cincinnati Zoning Code.
- g) *Hours of Operation.* Operating hours are compatible with adjacent land uses.
- h) *Neighborhood Compatibility.* The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
- i) *Proposed Zoning Amendments.* The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.
- j) *Adverse Effects.* Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
- k) *Blight.* The elimination or avoidance of blight.
- l) *Economic Benefits.* The promotion of the Cincinnati economy.
- m) *Job Creation.* The creation of jobs both permanently and during construction.
- n) *Tax Valuation.* Any increase in the real property tax duplicate.
- o) *Private Benefits.* The economic and other private benefits to the owner or applicant.
- p) *Public Benefits.* The public peace, health, safety or general welfare.

August 4, 2020

To: Nicole Crawford, Office of the Clerk of Council

From: Katherine Keough-Jurs, AICP, Director, Department of City Planning *KJ*

Copies to: Stacey Hoffman, Senior City Planner

Subject: **Emergency Ordinance - Extending IDC No. 86, "Auburn Avenue in Mt. Auburn"**

The above referenced emergency ordinance is ready to be scheduled for Committee. We are requesting that this item be scheduled for the **Tuesday August 4th meeting** of the Economic Growth & Zoning Committee. This item requires a public hearing and notice in the City Bulletin 14 days before the public hearing,

Included in this submission are the following items:

- 1) The transmittal letter to the Economic Growth & Zoning Committee;
- 2) A copy of the Planning Commission staff report dated July 17, 2020;
- 3) The Emergency Ordinance extending IDC No. 86, Auburn Avenue in Mt. Auburn;
- 4) The mailing labels for notification of all property owners within the IDC
- 5) A copy of the mailing labels for your records

August 4, 2020

Cincinnati City Council
Council Chambers, City Hall
Cincinnati, Ohio 45202

Dear Members of Council:

We are transmitting herewith an Emergency Ordinance captioned as follows:

EXTENDING Interim Development Control District No. 86, "Auburn Avenue in Mt. Auburn," in the Mt. Auburn neighborhood as an interim development control district for a period of six months pursuant to Chapter 1431, "Interim Development Control Overlay Districts," of the Cincinnati Zoning Code.

Summary:

On June 26, 2019, City Manager Patrick A. Duhaney forwarded a request from Vice Mayor Christopher Smitherman requesting the Department of City Planning to place an IDC Overlay District in Mt. Auburn along the Auburn Avenue corridor.

On June 24, 2019, Vice Mayor Christopher Smitherman raised concerns with City Manager Patrick A. Duhaney regarding the redevelopment of the properties located at the corner of Auburn Avenue and McMillan Street in Mt. Auburn. This intersection serves as the northern gateway to the neighborhood and Auburn Avenue. All properties located along Auburn Avenue between McMillan Street and Wellington Place are currently zoned Office General (OG). As such, City Planning staff created the proposed IDC Overlay District boundary by selecting all properties zoned OG along Auburn Avenue between McMillan Street and Bodmann Avenue (on the east) and Estelle Street (on the west).

Pursuant to Section 1431-01 of the Cincinnati Zoning Code, the purpose of the IDC Overlay District is to temporarily regulate the establishment of uses, construction of new buildings and demolition or alteration of existing structures in the areas where potential development could be detrimental or have adverse impacts on the implementation of approved amendments to the Cincinnati Zoning Code, approved or adopted plans, or current planning, land use or zoning studies.

The three-month IDC was approved by City Council on August 7, 2019. A nine-month extension of the IDC was approved by City Council on October 16, 2019 and will expire on August 7, 2020. The zoning study is complete, but due to COVID-19 there has not been adequate time to discuss or implement any potential changes from the study. The City Planning Commission recommended approval of a six-month extension of the IDC at their July 17, 2020 meeting. The emergency measure is necessary due to the IDC being set to expire before a standard ordinance would take effect.

Motion to Approve: Ms. Sesler

Ayes:

Mr. Eby

Mr. Juech

Seconded: Mr. Samad

Mr. Samad

Ms. Sesler

Mr. Stallworth

THE CITY PLANNING COMMISSION



Katherine Keough-Jurs, AICP, Director
Department of City Planning

KKJ: slh

Encl.: Staff Report, Ordinance

July 17, 2020

Honorable City Planning Commission
Cincinnati, Ohio

SUBJECT: A report and recommendation on the extension of Interim Development Control (IDC) Overlay District No. 86, Auburn Avenue for a period of six months.

BACKGROUND:

On June 26, 2019, City Manager Patrick A. Duhaney forwarded a request from Vice Mayor Christopher Smitherman requesting the Department of City Planning to place an IDC Overlay District in Mt. Auburn along the Auburn Avenue corridor.

Pursuant to Section 1431-01 of the Cincinnati Zoning Code, the purpose of the IDC Overlay District is to temporarily regulate the establishment of uses, construction of new buildings and demolition or alteration of existing structures in the areas where potential development could be detrimental or have adverse impacts on the implementation of approved amendments to the Cincinnati Zoning Code, approved or adopted plans, or current planning, land use or zoning studies.

The City Planning Commission recommended approval of an emergency three-month IDC to Cincinnati City Council on August 2, 2019. Cincinnati City Council approved the establishment of IDC No. 86 on August 7, 2019. The approved IDC No. 86 allows for the review of building permit applications resulting in a change of use or occupancy under the Ohio Building Code or Cincinnati Municipal Code by the Department of City Planning and the City Planning Commission while the IDC is in place.

The subject area for the IDC Overlay District is along Auburn Avenue between McMillan Street and Wellington Place and continues down the east side of Auburn Avenue to Bodmann Avenue, crossing back to the west side of Auburn Avenue between Huntington Place and Estelle Street. The IDC Overlay District includes all properties zoned OG along Auburn Avenue between McMillan Street and Bodmann Avenue (on the east) and Estelle Street (on the west).

ATTACHMENTS:

Provided in addition to this report are:

- Exhibit A - Location Map
- Exhibit B - IDC Review Criteria
- Exhibit C - Existing Conditions

CRITERIA FOR EXTENDING AN IDC OVERLAY DISTRICT

Pursuant to Section 1431-13 of the Cincinnati Zoning Code, Council may extend the duration of an IDC Overlay District by an additional six months, provided that an IDC Overlay District may not remain in effect for more than two years from the date it was first established if notice has been given and a public hearing held in accordance with Section 111-1, Hearings on Zoning Amendments, of the Municipal Code and on finding that:

- (a) Complex Study. The study of the proposed amendment to the Cincinnati Zoning Code or map that would affect the allowable land uses within the IDC Overlay District has proven to be extraordinarily complex by reason of unusual geographic, physical or social conditions in the district;
- (b) Study Incomplete. The City Planning Commission has not yet completed the consideration of the proposed Cincinnati Zoning Code map amendments that would affect the allowable land uses within the IDC Overlay District; and

- (c) Inconsistent Uses. There is a prospect of change in use, construction of new structures or alteration or demolition of existing structures that would be inconsistent with preliminary objectives or findings for the area approved by the City Planning Commission.

REGULATIONS AND GUIDELINES FOR THE IDC:

The area within the boundary of IDC Overlay District No. 86 is the officially recognized boundary of the zoning study in Mt. Auburn as shown on the attached map in Exhibit A.

According to §1431-15, the City Planning Commission has the duty to review applications in an established IDC Overlay District and has been designated as the administrative reviewer for the IDC Overlay District.

The following permits are subject to review by the City Planning Commission:

- Building permit applications resulting in a change of use or occupancy under the Ohio Building Code or Cincinnati Municipal.

ANALYSIS:

The IDC is currently set to expire on August 7, 2020 unless City Council approves an extension of IDC Overlay District No. 86 for an additional six months before that time expires. In order to do so, City Council must receive an affirmative recommendation from the City Planning Commission to make this extension. An additional six months would leave IDC Overlay District No. 86 in effect until March 7, 2021 (if approved by City Council).

As described in the above section, Criteria for Extension of an IDC Overlay District, City Council may extend an IDC Overlay District for a period of six months if the City Planning Commission gives them an affirmative recommendation on the finding that:

- a) Complex Study. The City Planning Commission is studying proposed Cincinnati Zoning Code or map amendments that would affect the area within the IDC District;
The study may result in proposed amendments to the City's Zoning Map. A Zoning Map amendment would only affect the area within the boundary of the IDC Overlay District. Any changes to the City's Zoning Map need to be requested by the community. A Zoning Map amendment is typically a three-to-six-month process due to notification requirements. This process was interrupted by COVID-19, which affected implementation of any potential action based on the results of the study.
- b) Study Incomplete. The study is not yet completed, but may reasonably be expected to be completed and Cincinnati Zoning Code amendments enacted within the six-month extension; and
The initial study is complete, but the Department of City Planning staff is still in the process of working with Mt. Auburn on any proposed changes, which was interrupted by measures required due to COVID-19. If approved, the six-month extension would allow for more time for additional conversations with Mt. Auburn leadership and to implement any next steps.
- c) Inconsistent Uses. There is a prospect of changes in use, construction of new structures or alteration or demolition of existing structures that would be inconsistent with preliminary objectives or findings for the area approved by the City Planning Commission.

The primary reason the IDC Overlay District was initially established was to study the Office General (OG) zoning designation along the neighborhood’s main corridor and determine if it is the most appropriate zoning district. Any changes to the Zoning Code or Zoning Map are expected to be completed if the IDC Overlay District is extended for an additional six-months. To date, staff has not received any permits within this IDC Overlay District for review.

The Department of City Planning will continue to work with Mt. Auburn to study the appropriate land uses for this area and if any changes to the City’s Zoning Map are necessary. Changes to the Zoning Map would only affect the area within the IDC.

PUBLIC COMMENT:

Department of City Planning staff has worked with Mt. Auburn leadership to discuss potential outcomes based on the results of the study. Department of City Planning staff sent notice of the proposed extension to all affected property owners of record within the boundary of the IDC Overlay District as well as to the Mt. Auburn Community Council on July 2, 2020. Staff has not received any correspondence to-date.

CONSISTENCY WITH PLANS:

Plan Cincinnati (2012) does not specifically address the concerns related to the establishment of IDC Overlay District No. 86, Auburn Avenue in Mt. Auburn, but conducting a zoning study is consistent with an Action Step within the Live Initiative Area to “Support and stabilize our neighborhoods” (page 160).

The proposal is consistent with the *Auburn Avenue Corridor Study* (2017) that seeks to transform the corridor into a neighborhood serving business district. The plan specifically calls out the need to identify opportunities for businesses that support a Neighborhood Business District, to address pedestrian enhancements along Auburn Avenue, and to explore opportunities to expand connectivity to adjacent neighborhoods and to strengthen gateways into the corridor (pages 32, 33, and 35).

RECOMMENDATION:

The staff of the Department of City Planning recommends that the City Planning Commission take the following actions:

- 1) **ADOPT** the Department of City Planning’s staff findings that the proposed IDC Overlay District is in compliance with Cincinnati Zoning Code Section 1431-13, Extension of IDC Overlay Districts, as discussed on pages 2 – 3 of this report; and,
- 2) **RECOMMEND** that City Council extend Interim Development Control (IDC) Overlay District No. 86 Auburn Avenue in Mt. Auburn, for a period of six months, finding it to be in the interest of the general public’s health, safety, and welfare during the course of the Department of City Planning’s study.

Respectfully submitted:

Stacey Hoffman, Senior City Planner
Department of City Planning

Approved:

Katherine Keough-Jurs, AICP, Director
Department of City Planning

Exhibit A: Proposed 6-month extension of IDC-86, Auburn Avenue in Mt. Auburn

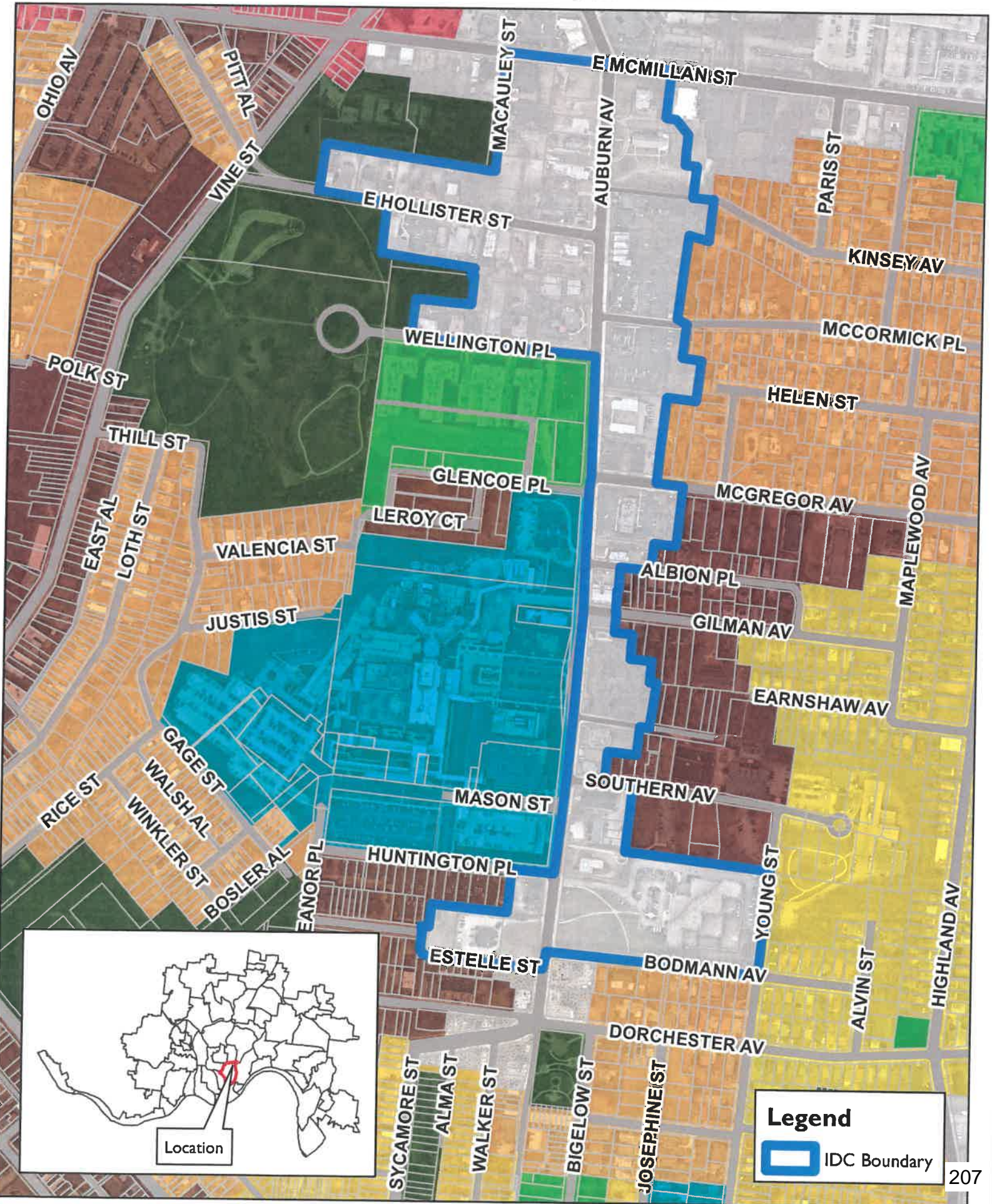


EXHIBIT B

**Regulations and Application Review Guidelines for
Interim Development Control Overlay District No. 86,
Auburn Avenue in Mt. Auburn
and
Designation of Administrative Reviewer**

Section I. Applications Subject to Review:

1. Building permit applications resulting in a change of use or occupancy under the Ohio Building Code or Cincinnati Municipal Code.

Section II. Designated Administrative Reviewer:

Council designates the Department of City Planning as the staff reviewing authority for Interim Development Control Overlay District No. 86, Auburn Avenue in Mt. Auburn.

Section III. Application Review Guidelines:

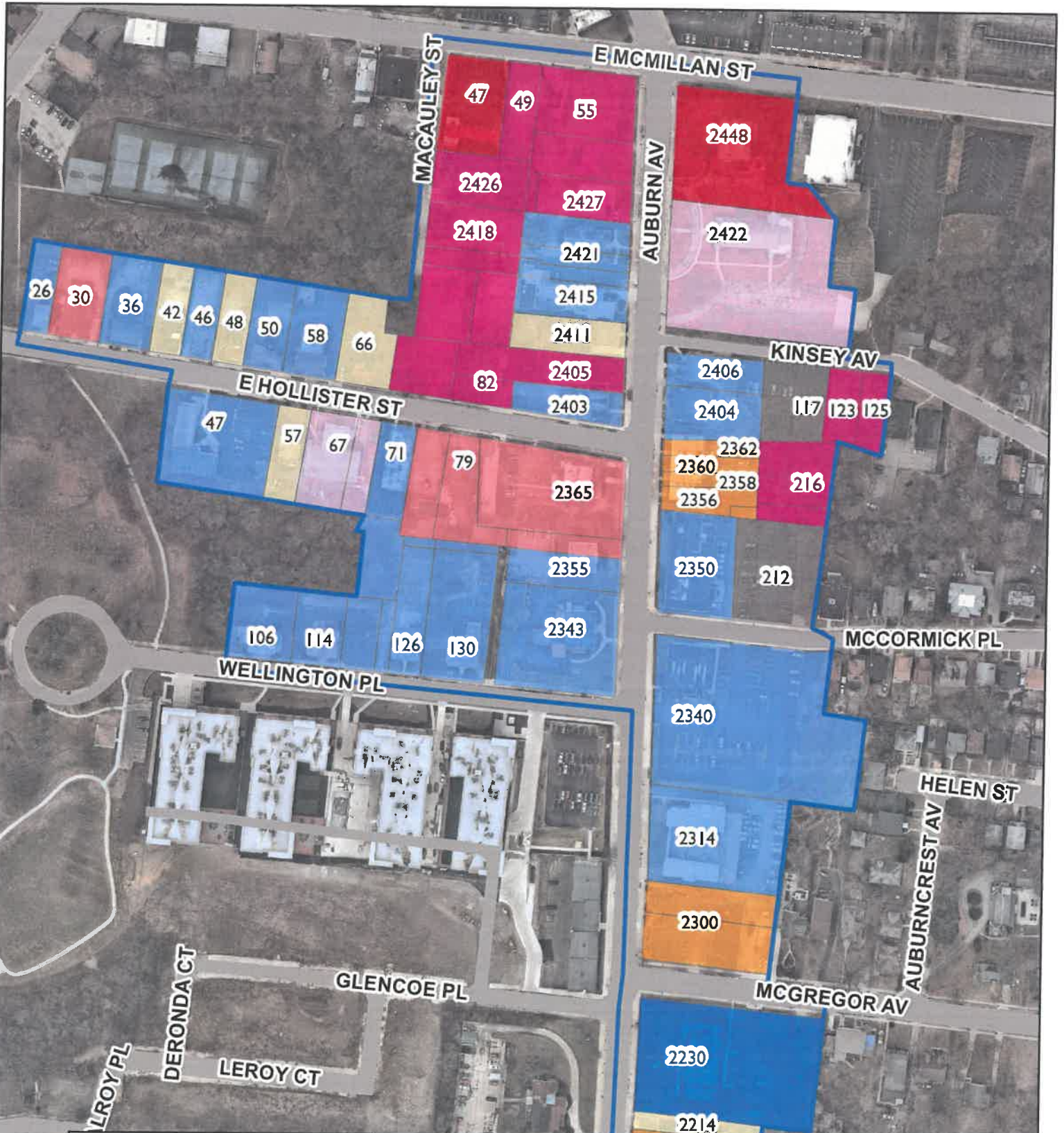
In addition to any other necessary reviews and approvals as required by the Cincinnati Zoning Code and any other applicable laws, any application subject to review in Section I above shall be reviewed by the City Planning Commission to determine whether the application conforms to all applicable laws, ordinances, and regulations and is in the public interest.

In determining whether the application is in the public interest, the City Planning Commission shall consider those factors listed below that are relevant to the application. The application's failure to conform to any single factor is not necessarily a sufficient basis for denial.

- a) *Zoning.* The proposed work conforms to the underlying zone district regulations and is in harmony with the general purposes and intent of the Cincinnati Zoning Code.
- b) *Guidelines.* The proposed work conforms to any guidelines adopted or approved by Council for the district in which the proposed work is located.
- c) *Plans.* The proposed work conforms to a comprehensive plan, any applicable urban design or other plan officially adopted by Council, and any applicable community plan approved by the City Planning Commission.
- d) *Traffic.* Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets and the internal circulation system is properly designed.
- e) *Buffering.* Appropriate buffering is provided to protect adjacent uses or properties from light, noise and visual impacts.

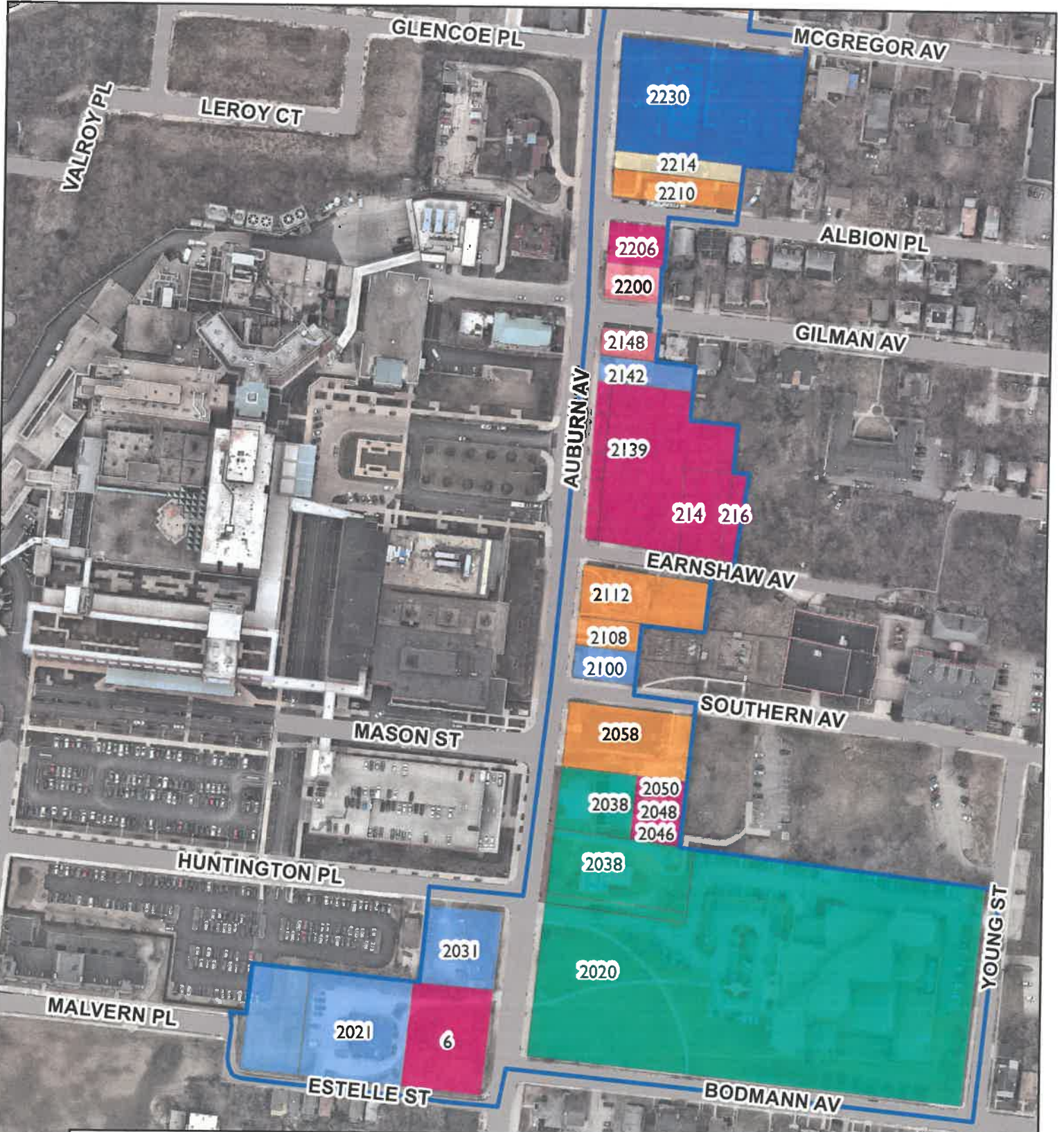
- f) *Landscaping*. Landscaping meets the requirements of the Cincinnati Zoning Code.
- g) *Hours of Operation*. Operating hours are compatible with adjacent land uses.
- h) *Neighborhood Compatibility*. The proposed work is compatible with the predominant or prevailing land use, building and structure patterns of the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood.
- i) *Proposed Zoning Amendments*. The proposed work is consistent with any proposed amendment to the zoning code then under consideration by the City Planning Commission or Council.
- j) *Adverse Effects*. Any adverse effect on the access to the property by fire, police, or other public services; access to light and air from adjoining properties; traffic conditions; or the development, usefulness or value of neighboring land and buildings.
- k) *Blight*. The elimination or avoidance of blight.
- l) *Economic Benefits*. The promotion of the Cincinnati economy.
- m) *Job Creation*. The creation of jobs both permanently and during construction.
- n) *Tax Valuation*. Any increase in the real property tax duplicate.
- o) *Private Benefits*. The economic and other private benefits to the owner or applicant.
- p) *Public Benefits*. The public peace, health, safety or general welfare.

Exhibit C: Existing Conditions Map (North) IDC-86, Auburn Avenue in Mt. Auburn



Legend			
	IDC Boundary		Commercial
	1 to 3 Units Residential		Mixed Use
	4+ Units Residential		Office
	Federal or County		Hospital/Urgent Care
	Vacant		Parking
	Worship		

Exhibit C: Existing Conditions Map (South) IDC-86, Auburn Avenue in Mt. Auburn



Legend							
	IDC Boundary		Commercial		Mixed Use		Vacant
	1 to 3 Units Residential		Federal or County		Office		Worship
	4+ Units Residential		Hospital/Urgent Care		Parking		

Exhibit C: Existing Conditions, IDC #86, Auburn Avenue

ADDRESS	OWNER(S)	AUDITOR DESCRIPTION	VISUAL DESCRIPTION
2020 AUBURN AVE	HAMILTON COUNTY BOARD OF COMMISSIONERS	HAMILTON COUNTY	HAMILTON COUNTY BUILDING
2021 AUBURN AVE	MEDULLA OBLONGATA PROPERTY HOLDINGS LLC	DWELLING USED AS OFFICE	DWELLING USED AS OFFICE
2031 AUBURN AVE	CILO PROPERTIES LLC	PUBLIC WORSHIP	OFFICE
2038 AUBURN AVE	UNITED STATES DEPT OF THE INTERIOR-NATL PARK SERVICE	FEDERAL	FEDERAL SITE
2038 AUBURN AVE	UNITED STATES DEPT OF THE INTERIOR-NATL PARK SERVICE	FEDERAL	FEDERAL SITE
2046 AUBURN AVE	SHABBAT SHALOM LLC	VACANT LAND (COMMERCIAL)	VACANT
2048 AUBURN AVE	SHABBAT SHALOM LLC	VACANT LAND (COMMERCIAL)	VACANT
2050 AUBURN AVE	SHABBAT SHALOM LLC	VACANT LAND (COMMERCIAL)	VACANT
2058 AUBURN AVE	SHABBAT SHALOM LLC	APARTMENTS - 20 TO 39 UNITS	4+ UNIT RESIDENTIAL
2100 AUBURN AVE	WDC LLC	DWELLING USED AS OFFICE	DWELLING USED AS OFFICE
2108 AUBURN AVE	MERK HOLDINGS OH 1 LLC	APARTMENTS - 4 TO 19 UNITS	4+ UNIT RESIDENTIAL
2112 AUBURN AVE	MERK HOLDINGS OH 1 LLC	APARTMENTS - 4 TO 19 UNITS	4+ UNIT RESIDENTIAL
2139 AUBURN AVE	THE CHRIST HOSPITAL	CHARITIES, HOSPITALS & RETIREMENT HOMES	VACANT
2142 AUBURN AVE	THE CHRIST HOSPITAL	CHARITIES, HOSPITALS & RETIREMENT HOMES	DWELLING USED AS OFFICE
2148 AUBURN AVE	HALL, JOANNE (C/O APARTMENT FINDERS)	RETAIL - APARTMENTS OVER	MIXED USE
2200 AUBURN AVE	2200 AUBURN AVENUE LLC	RETAIL - APARTMENTS OVER	MIXED USE
2206 AUBURN AVE	2200 AUBURN AVENUE LLC	VACANT LAND (RESIDENTIAL)	VACANT
2210 AUBURN AVE	VINA HEIGHT LLC	APARTMENTS - 4 TO 19 UNITS	4+ UNIT RESIDENTIAL
2214 AUBURN AVE	HALL, JOANNE (C/O APARTMENT FINDERS)	THREE FAMILY DWELLINGS	3 UNIT RESIDENTIAL
2230 AUBURN AVE	CLIFTON INVESTMENT COMPANY LTD	CONDOMINIUM OFFICE BUILDING	CHARITIES, HOSPITALS & RETIREMENT HOMES
2300 AUBURN AVE	THE AUBURN COMPANY	APARTMENTS - 40+ UNITS	4+ UNIT RESIDENTIAL
2314 AUBURN AVE	EMC AUBURN HOLDINGS LLC	CHARITIES, HOSPITALS & RETIREMENT HOMES	OFFICE
2340 AUBURN AVE	HAMILTON COUNTY COMMUNITY MENTAL HEALTH BOARD	CHARITIES, HOSPITALS & RETIREMENT HOMES	OFFICE
2343 AUBURN AVE	ISAAC GRAVESON LIMITED	DWELLING USED AS OFFICE	DWELLING USED AS OFFICE
2350 AUBURN AVE	HAMILTON COUNTY COMMUNITY MENTAL HEALTH BOARD	HAMILTON COUNTY	OFFICE
2355 AUBURN AVE	BARRISTER BUILDING LLC	DWELLING USED AS OFFICE	DWELLING USED AS OFFICE
2356 AUBURN AVE	DEERING PROPERTIES IV LLC	APARTMENTS - 4 TO 19 UNITS	4+ UNIT RESIDENTIAL
2358 AUBURN AVE	DEERING PROPERTIES IV LLC	APARTMENTS - 4 TO 19 UNITS	4+ UNIT RESIDENTIAL
2360 AUBURN AVE	DEERING PROPERTIES IV LLC	APARTMENTS - 4 TO 19 UNITS	4+ UNIT RESIDENTIAL
2362 AUBURN AVE	DEERING PROPERTIES IV LLC	APARTMENTS - 4 TO 19 UNITS	4+ UNIT RESIDENTIAL
2365 AUBURN AVE	APRIL 08 PROPERTIES LLC	OFFICE - APARTMENTS OVER	MIXED USE
2403 AUBURN AVE	EXCEL DEVELOPMENT CO INC	CHARITIES, HOSPITALS & RETIREMENT HOMES	DWELLING USED AS OFFICE
2404 AUBURN AVE	DORNA, HOLLY	OFFICE BUILDINGS	DWELLING USED AS OFFICE
2405 AUBURN AVE	EXCEL DEVELOPMENT CO INC	CHARITIES, HOSPITALS & RETIREMENT HOMES	VACANT
2406 AUBURN AVE	BAKST, JEFFREY	OFFICE BUILDINGS	DWELLING USED AS OFFICE
2411 AUBURN AVE	GREINER, A LEE	SINGLE FAMILY	1 UNIT RESIDENTIAL
2415 AUBURN AVE	LIFE FORWARD AUBURN CENTER LLC	PUBLIC WORSHIP	OFFICE
2421 AUBURN AVE	AUBURN LAND HOLDINGS LLC	PARKING GARAGES / LOTS	DWELLING USED AS OFFICE

Exhibit C: Existing Conditions, IDC #86, Auburn Avenue

ADDRESS	OWNER(S)	AUDITOR DESCRIPTION	VISUAL DESCRIPTION
2422 AUBURN AVE	ARCHBISHOP OF CINCINNATI TR	PUBLIC WORSHIP	PUBLIC WORSHIP
2427 AUBURN AVE	AUBURN LAND HOLDINGS LLC	VACANT LAND (COMMERCIAL)	VACANT
2448 AUBURN AVE	HARDY, CHRISTOPHER	OTHER STRUCTURES (COMMERCIAL)	COMMERCIAL
214 EARNSHAW AVE	THE CHRIST HOSPITAL	CHARITIES, HOSPITALS & RETIREMENT HOMES	VACANT
216 EARNSHAW AVE	THE CHRIST HOSPITAL	CHARITIES, HOSPITALS & RETIREMENT HOMES	VACANT
6 ESTELLE ST	MEDULLA OBLONGATA PROPERTY HOLDINGS LLC	VACANT LAND (COMMERCIAL)	VACANT
26 HOLLISTER ST	NOVAK VENTURES LLC	DWELLING USED AS OFFICE	DWELLING USED AS OFFICE
30 HOLLISTER ST	UC OZ LLC	OFFICE - APARTMENTS OVER	MIXED USE
36 HOLLISTER ST	IONIC REAL ESTATE LLC	OFFICE BUILDINGS	OFFICE
42 HOLLISTER ST	VENUS-1 PROPERTY LLC	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL
46 HOLLISTER ST	GREENHUB PROPERTIES LLC	MEDICAL CLINICS & OFFICES	DWELLING USED AS OFFICE
47 HOLLISTER ST	NEW LIFE PROPERTIES INC	MEDICAL CLINICS & OFFICES	OFFICE
48 HOLLISTER ST	DIADEM REALTY INC	SINGLE FAMILY	1 UNIT RESIDENTIAL
50 HOLLISTER ST	T GERSHANOVICH TR	OFFICE BUILDINGS	DWELLING USED AS OFFICE
57 HOLLISTER ST	GUGGER, GREGORY & CYNTHIA	THREE FAMILY DWELLINGS	3 UNIT RESIDENTIAL
58 HOLLISTER ST	HOLLISTER REALTY ASSOCIATES LLC	MEDICAL CLINICS & OFFICES	OFFICE
66 HOLLISTER ST	HUNT, MARSHALL	TWO FAMILY DWELLINGS	2 UNIT RESIDENTIAL
67 HOLLISTER ST	THE CHURCH OF OUR SAVIOR	PUBLIC WORSHIP	PUBLIC WORSHIP
71 HOLLISTER ST	MOLLY KATZ MD LLC	MEDICAL CLINICS & OFFICES	OFFICE
79 HOLLISTER ST	SEAN S PROPERTIES LLC	OFFICE - APARTMENTS OVER	MIXED USE
82 HOLLISTER ST	EXCEL DEVELOPMENT CO INC	CHARITIES, HOSPITALS & RETIREMENT HOMES	VACANT
117 KINSEY AVE	BAKST, JEFFREY	PARKING GARAGES / LOTS	PARKING
123 KINSEY AVE	BAKST, JEFFREY	VACANT LAND (COMMERCIAL)	VACANT
125 KINSEY AVE	BAKST, JEFFREY	VACANT LAND (RESIDENTIAL)	VACANT
2418 MACAULEY ST	AUBURN LAND HOLDINGS LLC	CHARITIES, HOSPITALS & RETIREMENT HOMES	VACANT
2426 MACAULEY ST	45 WHT LLC	BANKS	VACANT
212 MCCORMICK PL	HAMILTON COUNTY COMMUNITY MENTAL HEALTH BOARD	HAMILTON COUNTY	PARKING
216 MCCORMICK PL	DEERING PROPERTIES IV LLC	VACANT LAND (COMMERCIAL)	VACANT
47 MCMILLAN AVE	45 WHT LLC	BANKS	COMMERCIAL
49 MCMILLAN AVE	AUBURN LAND HOLDINGS LLC	VACANT LAND (COMMERCIAL)	VACANT
55 MCMILLAN AVE	AUBURN LAND HOLDINGS LLC	VACANT LAND (COMMERCIAL)	VACANT
106 WELLINGTON PL	106 WELLINGTON PLACE AN OHIO PTNSHP	DWELLING USED AS OFFICE	DWELLING USED AS OFFICE
114 WELLINGTON PL	114 WELLINGTON PLACE	DWELLING USED AS OFFICE	DWELLING USED AS OFFICE
126 WELLINGTON PL	114 WELLINGTON PLACE LLC	OTHER STRUCTURES (COMMERCIAL)	DWELLING USED AS OFFICE
130 WELLINGTON PL	LAURENS PROPERTY MANAGEMENT LLC	DWELLING USED AS OFFICE	DWELLING USED AS OFFICE

106 WELLINGTON PLACE, AN OHIO PTNSHP 106 WELLINGTON PL CINCINNATI, OH 45219	114 WELLINGTON PLACE 114 WELLINGTON PL CINCINNATI, OH 45219	114 WELLINGTON PLACE LLC 114 WELLINGTON PL CINCINNATI, OH 45219
2200 AUBURN AVENUE LLC 2200 AUBURN AVE CINCINNATI, OH 45219	45 WHT LLC 2718 VINE ST CINCINNATI, OH 45219	APRIL 08 PROPERTIES LLC 2718 VINE ST CINCINNATI, OH 45219
ARCHBISHOP OF CINCINNATI TR 2422 AUBURN AVE CINCINNATI, OH 45219	THE AUBURN COMPANY 2300 AUBURN AVE, #115 CINCINNATI, OH 45219	AUBURN LAND HOLDINGS LLC 2718 VINE ST CINCINNATI, OH 45219
BAKST, JEFFREY SCOTT 2406 AUBURN AVE CINCINNATI, OH 45219	BAKST, JEFFREY SCOTT TR 900 ADAMS CROSSING, #1200 CINCINNATI, OH 45202	BARRISTER BUILDING LLC 2355 AUBURN AVE CINCINNATI, OH 45219
THE CHRIST HOSPITAL 2139 AUBURN AVE CINCINNATI, OH 45219	THE CHURCH OF OUR SAVIOR 65 HOLLISTER ST CINCINNATI, OH 45219	CILO PROPERTIES LLC 2031 AUBURN AVE CINCINNATI, OH 45219
CLIFTON INVESTMENT CO LTD 669 OHIO PIKE CINCINNATI, OH 45245	DEERING PROPERTIES IV LLC 3427 MANOR HILL DR CINCINNATI, OH 45220	DIADEM REALTY INC 48 E HOLLISTER ST CINCINNATI, OH 45219-1704
DORNA HOLLY D TR 2404 AUBURN AVE CINCINNATI, OH 45219	EMC AUBURN HOLDINGS LLC 2314 AUBURN AVE CINCINNATI, OH 45219-2882	EXCEL DEVELOPMENT CO INC 2403 AUBURN AVE CINCINNATI, OH 45219
GREENHUB PROPERTIES LLC 3430 STETTINIUS AVE CINCINNATI, OH 45208	GREINER, A LEE TR 2411 AUBURN AVE CINCINNATI, OH 45219	GUGGER, GREGORY & CYNTHIA 2240 FLOMAR CT CINCINNATI, OH 45233
HALL, JOANNE C/O APARTMENT FINDERS 2300 AUBURN AVE, #115 CINCINNATI, OH 45219	HALLAM PROPERTIES LLC 126 WELLINGTON PL CINCINNATI, OH 45219	HAMILTON COUNTY BOARD OF COMMISSIONERS 138 E COURT ST, ROOM 603 CINCINNATI, OH 45202
HAMILTON COUNTY COMMUNITY MENTAL HEALTH BOARD 2350 AUBURN AVE CINCINNATI, OH 45219	HARDY, CHRISTOPHER J TR 5829 WINDSONG CT CINCINNATI, OH 45243	HOLLISTER REALTY ASSOC LLC 58 E HOLLISTER ST CINCINNATI, OH 45219

HUNT, MARSHALL
66 EAST HOLLISTER ST
CINCINNATI, OH 45219

IONIC REAL ESTATE LLC
36 HOLLISTER ST
CINCINNATI, OH 45219

ISAAC GRAVESON LIMITED
786 OLD LUDLOW AVE
CINCINNATI, OH 45220

LAURENS PROPERTY
MANAGEMENT LLC
4240 HUNT RD
CINCINNATI, OH 45242

LIFE FORWARD
AUBURN CENTER LLC
2415 AUBURN AVE
CINCINNATI, OH 45219

MEDULLA OBLONGATA
PROPERTY HOLDINGS LLC
2021 AUBURN AVE
CINCINNATI, OH 45219

MERK HOLDINGS OH 1 LLC
914 CANTERBURY TRAIL
RICHMOND, IN 47374

MOLLY KATZ MD LLC
71 E HOLLISTER ST
CINCINNATI, OH 45219

NEW LIFE PROPERTIES INC
401 E MCMILLAN ST
CINCINNATI, OH 45206

NOVAK VENTURES LLC
26 EAST HOLLISTER STREET
CINCINNATI, OH 45219

SEAN S PROPERTIES LLC
5 CAMRAGO CANYON
CINCINNATI, OH 45243

SHABBAT SHALOM LLC
24 E UNIVERSITY AVE
CINCINNATI, OH 45219

T GERSHANOVICH TR
50 E HOLLISTER ST
CINCINNATI, OH 45219

UC OZ LLC
2200 W 5TH AVE, SUITE 120
COLUMBUS, OH 43215

UNITED STATES DEPT OF THE INTERIOR,
NATIONAL PARK SERVICE
2038 AUBURN AVE
CINCINNATI, OH 45219

VENUS-1 PROPERTY LLC
42 EAST HOLLISTER ST
CINCINNATI, OH 45219

VINA HEIGHT LLC
P O BOX 32183
CINCINNATI, OH 45232

WDC LLC
P O BOX 1573
NEWPORT, KY 41072-1573

EMAIL

Mt. Auburn Community Council

mtauburncincinnati@gmail.com



202000945

Christopher E. C. Smitherman
Cincinnati Vice Mayor

July 28, 2020

MOTION

The Property Tax Working Group (PTWG) was created by motion on September 5, 2018 to study trends related to property taxes. Especially important were, rising property taxes in areas experiencing significant levels of development, helping senior citizens remain in their homes and communities, and reporting on best practices of other cities and states. (Please see the attach motion and vote by Cincinnati City Council).

The Property Tax Working Group had its final meeting on Thursday, July 23, 2020. This group was Chaired by Carol Gibbs, President/CEO Mt. Auburn Community Development Corporation (MACDC) and Vice Mayor Christopher Smitherman. The idea for the PTWG was the brainchild of Mrs. Carol Gibbs.

Residential Tax Abatement Policy Recommendations

Section I: Immediate Recommendation

Recommendation 1 – Residential buildings with up to and including four units should be eligible for residential tax abatements

Section IV - Long-Term Recommendation

This section includes recommendations that will require a more long-term approach.

Long-Term Recommendation 1 – Explore a tiered approach to residential tax abatements based on extensive study.

- If a tiered approach is implemented, then increase staff to meet need for long-term monitoring.

Long-Term Recommendation 2 – Consider a stipulation that would prohibit properties that receive residential tax abatements from being able to register on the City's Short-term Rental Registry as anything other than "hosted." [joint recommendation – Property Tax Relief for Seniors and People Living with Disabilities/Special Needs – Tax Fairness Recommendation]

COMMITTEES



Christopher E. C. Smitherman
Cincinnati Vice Mayor

Long-Term Recommendation 3 – Explore possible incentives for local renter co-ops.

WE MOVE that the above PTWG recommendations be adopted by Cincinnati City Council.

Vice Mayor Christopher Smitherman

City of Cincinnati



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Christopher E. C. Smitherman
Cincinnati Vice Mayor

201801401

September 5, 2018

MOTION

WE MOVE that the lobbyist for the City of Cincinnati provide a procedural framework for City Council and the Property Tax Project working group to amend Ohio state laws governing property taxes to ensure that property owners, specifically legacy residents and senior citizens on fixed incomes, who reside in developing neighborhoods and whose property taxes are increasing as a result have a greater opportunity to remain in their homes.

WE FURTHER MOVE that a working group be created to study trends related to property taxes, especially the issue of rising property taxes in areas experiencing significant levels of development; to make recommendations to City Council aimed at helping to keep senior citizens in their homes and communities; and to report on best practices in other cities and states facing similar challenges.

WE FURTHER MOVE that the working group include members from: the African-American Chamber of Commerce; the Board of Realtors; the Cincinnati Neighborhood Business Districts United; the Community Action Agency; the Community Development Corporations Association of Greater Cincinnati; the Council on Aging; the Baptist Ministers Conference; the Hamilton County Auditor/representative; the Homebuilders Association; Invest in Neighborhoods; representatives of Allied Construction Industries; the United Way; the University of Cincinnati's Real Estate Program and the DAAP School of Planning; and the Urban League.

WE FURTHER MOVE that the working group review the City's Tax Abatement Program.

WE FURTHER MOVE that the Planning Department lead this working group.

Vice Mayor Christopher Smitherman

TAMAYA DENARDO

{00267017-1}

COMMITTEES

Chair: Law & Public Safety • Committees: Budget & Finance • Economic Growth & Zoning • Neighborhoods



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Item #: 201801401 [Get Documents](#)

Calendar Date: 10/03/2018

Sponsors: BUDGET AND FINANCE COMMITTEE

Status/Recommendation: ADOPT

Description: MOTION, submitted by Vice Mayor Smitherman and Councilmembers Mann, Dennard and Young WE MOVE that the lobbyist for the City of Cincinnati provide a procedural framework for City Council and the Property Tax Project working group to amend Ohio state laws governing property taxes to ensure that property owners, specifically legacy residents and senior citizens on fixed incomes, who reside in developing neighborhoods and whose property taxes are increasing as a result have a greater opportunity to remain in their homes. WE FURTHER MOVE that a working group be created to study trends related to property taxes, especially the issue of rising property taxes in areas experiencing significant levels of development; to make recommendations to City Council aimed at helping to keep senior citizens in their homes and communities; and to report on best practices in other cities and states facing similar challenges. WE FURTHER MOVE that the working group include members from: the African-American Chamber of Commerce; the Board of Realtors; the Cincinnati Neighborhood Business Districts United; the Community Action Agency; the Community Development Corporations Association of Greater Cincinnati; the Council on Aging; the Baptist Ministers Conference; the Hamilton County Auditor/representative; the Homebuilders Association; Invest in Neighborhoods; representatives of Allied Construction Industries; the United Way; the University of Cincinnati's Real Estate Program and the DAAAP School of Planning; and the Urban League. WE FURTHER MOVE that the working group review the City's Tax Abatement Program. WE FURTHER MOVE that the Planning Department lead this working group.

Final Disposition: ADOPTED

Votes:

	<u>Final</u>
MR. SMITHERMAN	A
MR. YOUNG	Y
MS. DENNARD	Y
MR. LANDSMAN	Y
MR. MANN	Y
MS. MURRAY	Y
MR. PASTOR	Y
MR. SEELBACH	Y
MR. SITTENFELD	Y
10/03/2018	

Referral: CLOSED - Law Department
 Meeting Date: 09/10/2018 Due: 09/17/2018 Closed: 10/26/2018

Return To: BUDGET AND FINANCE COMMITTEE
 Manager's Direction: PREPARE REPORT

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Christopher E. C. Smitherman
Cincinnati Vice Mayor

201900467

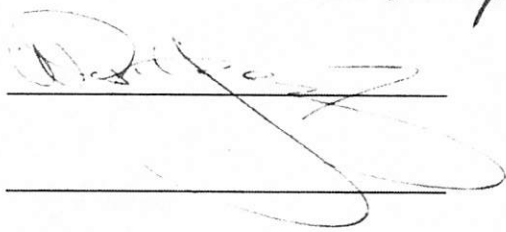
March 15, 2019

MOTION

WE MOVE that the Property Tax Project working group also include members from: Cincinnati Public Schools; Greater Cincinnati Chinese Chamber of Commerce; Hamilton County Treasurer; Hispanic Chamber Cincinnati USA; Homeownership Center of Greater Cincinnati; Housing Opportunities Made Equal (HOME); Indian American Chamber of Commerce; Legal Aid Society; Local Initiatives Support Corporation (LISC); and The Port.



Vice Mayor Christopher Smitherman



STATEMENT

This motion is an addendum to Motion #201801401 dated October 3, 2018, in order to add additional members to the Property Tax Project working group.

COMMITTEES

Chair: Law & Public Safety • Committees: Budget & Finance • Economic Growth & Zoning • Neighborhoods



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Item #:	201900467	Get Documents
Calendar Date:	04/03/2019	
Sponsors:	BUDGET AND FINANCE COMMITTEE	
Status/Recommendation:	ADOPT	
Description:	MOTION, submitted by Vice Mayor Smitherman and Councilmember Young, WE MOVE that the Property Tax Project working group also include members from: Cincinnati Public Schools; Greater Cincinnati Chinese Chamber of Commerce; Hamilton County Treasurer; Hispanic Chamber Cincinnati USA; Homeownership Center of Greater Cincinnati; Housing Opportunities Made Equal (HOME); Indian American Chamber of Commerce; Legal Aid Society; Local Initiatives Support Corporation (LISC); and The Port. (STATEMENT ATTACHED)	
Final Disposition:	ADOPTED	
Votes:		<u>Final</u>
	MR. MANN	Y
	MS. MURRAY	Y
	MR. PASTOR	Y
	MR. SEELBACH	Y
	MR. SITTENFELD	Y
	MR. SMITHERMAN	Y
	MR. YOUNG	Y
	MS. DENNARD	Y
	MR. LANDSMAN	Y
		04/03/2019
After Action:	CLOSED - City Planning	
	Type: Status Report to Administration	
	Description: MOVE that the Property Tax Project working group also include members from: Cincinnati Public Schools; Greater Cincinnati Chinese Chamber of Commerce; Hamilton County Treasurer; Hispanic Chamber Cincinnati	
	Assigned: 04/03/2019	Due: 05/03/2019 Completed: 07/31/2019
Record 1 of 1		Return to Result Set
First Previous Next Last		



20200951

Christopher E. C. Smitherman
Cincinnati Vice Mayor

July 28, 2020

MOTION

The Property Tax Working Group (PTWG) was created by motion on September 5, 2018 to study trends related to property taxes. Especially important were, rising property taxes in areas experiencing significant levels of development, helping senior citizens remain in their homes and communities, and reporting on best practices of other cities and states. (Please see the attach motion and vote by Cincinnati City Council).

The Property Tax Working Group had its final meeting on Thursday, July 23, 2020. This group was Chaired by Carol Gibbs, President/CEO Mt. Auburn Community Development Corporation (MACDC) and Vice Mayor Christopher Smitherman. The idea for the PTWG was the brainchild of Mrs. Carol Gibbs.

Property Tax Policy Recommendations for Seniors/People Living with Disabilities/Special Needs

Structure of Recommendations

- Section I Tax Relief – Discount and Deferral**
Qualifications | Discount | Deferral | Considerations
- Section II Tax Fairness**
- Section III Other Measures**

Section I: Tax Relief – Discount and Deferral Recommendations

Qualifications

- a. Own and Occupy Property
- b. 65+
- c. Owner or dependent (resident) certified by a licensed physician or psychologist, or a state or federal agency as permanently disabled as of January 1 of the year for which applying
- d. Surviving spouse of a person who was receiving the previous homestead exemption at the time of death
- e. Low-income surviving house member - qualification requirement being that the house member must have designated that property as primary residence for at



Christopher E. C. Smitherman
Cincinnati Vice Mayor

least 10 years (or 10 year equivalent if a re-entering citizen – calculated by adding primary residence with time incarcerated totaling the previous 10 years).

Note: % of discount reassessed after senior/person with a disability no longer identifies property as primary residence

Discount Recommendations

Based on income, increase in amount of taxes paid is capped.

- a. Applies to home + 1 acre of property
- b. Applies only to the assessed increase in value after purchase date
- c. Cap/ceiling changes based on income (deducting medical expenses) (using HUD guidelines)
- d. The cap/ceiling on taxes paid:
 - i. If income is above 120% AMI - no ceiling/cap
 - ii. Ceiling of 100% rate of increase above original tax bill if income is 80% - 120% AMI
 - iii. Ceiling of 50% rate of increase if low income (50% - 80% AMI)
 - iv. Ceiling of 20% rate of increase if very low income (30% - 50% AMI)
 - v. Ceiling of 5% rate of increase if extremely low income (0-30% AMI)

Deferral Recommendations

- a. This deferral is automatically available to everyone who is eligible for discount (residential properties owned and occupied by owner) and anyone who has been a resident owner of identified property for 10-15 years or more (how many of these properties exist - study this before determining 10 or 15 years)
- b. Applies to portion of property tax increases that were not discounted.
- c. Lasts until
 - i. Death of original recipient, or dependent with a disability
 - ii. When the original recipient, or dependent with a disability moves, or and there isn't a spouse or a surviving income and time qualified householder
 - iii. Property is sold
- d. Due upon deferral's end: All back unpaid deferral plus average (mean) rate of inflation from start of deferral until end of deferral
 - i. Deferral is considered a lien on the property and must be paid in advance of the sale.
 - ii. If deferral amount is more than the sale then the lien remains on the property through continued sales until the deferral is paid.



Christopher E. C. Smitherman
Cincinnati Vice Mayor

Section II: Tax Fairness

Recommendation 1 – If a property receives any of these tax benefits/assistance measures, it is not permitted to be registered on the City’s Short-term Rental Registry as anything other than “hosted”. [joint recommendation – Residential Tax Abatement Long-Term Recommendation 2]

Section III: Other Measures

Recommendation 1 – Change the Zoning Code to permit accessory dwellings/granny flats with stipulations that:

- a. Either the larger or smaller residence must be occupied as the primary residence by the owner more than 75% of year
- b. Require landlord training on fair housing, sample rental contracts, landlord best practices and more.

Recommendation 2 – Streamline approvals and waive fees for building permits related to accessibility, such as widening doorways and hallways, curb less showers, step-free entries, cabinetry modifications for wheel-in space. Extra sound insulation can be considered as well.

Recommendation 3 – Increase funding, including grants and loans, for programs that assist the elderly and people with disabilities and families with dependents that have a disability in maintaining and modifying their residences for accessibility. A sliding scale for eligibility.

Recommendation 4 – Education and information for homeowners and small contractors

- a. Create an online portal with programs and resources for residents, both homeowners and renters, and contractors [joint recommendation – Resources for Low/Limited Income Residents Recommendation 1]
- b. Use this information to create fliers that can be included in tax bill mailings and set out at the permit offices and other points of contact



Christopher E. C. Smitherman
Cincinnati Vice Mayor

- c. Expand the pool and build the capacity of small contractors. Use the compiled info on all programs and resources to educate them so they can use the info as a marketing tool to find new customers.

Have fliers about these educational/marketing opportunities at stores serving contractors (hardware, plumbing supply, electrical supply, etc.).

Recommendation 5 – Avoid housing harassment by fining entities having more than one unsolicited contact with a property owner.

Find out if it is possible to track on-line property maintenance complaints if a complainant is submitting complaints on multiple properties. If possible, these complainants will receive a warning. If they continue, it should be considered harassment and they would receive a fine.

Recommendation 6 – Provide education to landlords about the importance of allowing tenants who are seniors or persons with a disability to modify properties without requiring these individuals to return the property to its original condition upon move out. Educate landlords on the importance of this.

Recommendation 7 – Make housing a priority by creating a position like the Chief Advocacy Officer role that would lead housing efforts for the City. [joint recommendation – Resources for Low/Limited Income Residents Recommendation 3]

WE MOVE that the above PTWG recommendations be adopted by Cincinnati City Council.

Vice Mayor Christopher Smitherman

City of Cincinnati



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Christopher E. C. Smitherman
Cincinnati Vice Mayor

201801401

September 5, 2018

MOTION

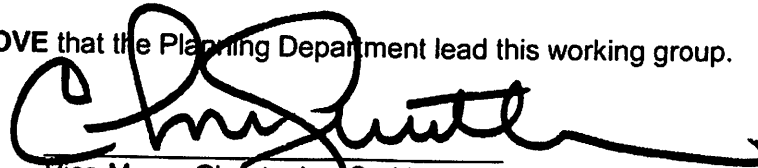
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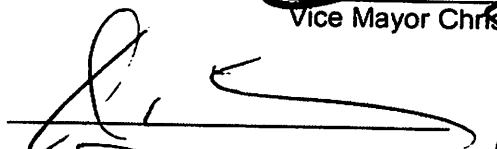
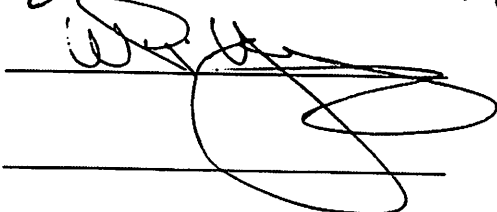
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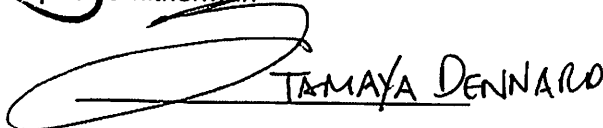
WE FURTHER MOVE that the working group include members from: the African-American Chamber of Commerce; the Board of Realtors; the Cincinnati Neighborhood Business Districts United; the Community Action Agency; the Community Development Corporations Association of Greater Cincinnati; the Council on Aging; the Baptist Ministers Conference; the Hamilton County Auditor/representative; the Homebuilders Association; Invest in Neighborhoods; representatives of Allied Construction Industries; the United Way; the University of Cincinnati's Real Estate Program and the DAAP School of Planning; and the Urban League.

WE FURTHER MOVE that the working group review the City's Tax Abatement Program.

WE FURTHER MOVE that the Planning Department lead this working group.


Vice Mayor Christopher Smitherman


TAMAYA DENNARO

{00267017-1}

COMMITTEES

Chair: Law & Public Safety • Committees: Budget & Finance • Economic Growth & Zoning • Neighborhoods



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Item #: 201801401

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Calendar Date: 10/03/2018

Sponsors: BUDGET AND FINANCE COMMITTEE

Status/Recommendation: ADOPT

Description:

MOTION, submitted by Vice Mayor Smitherman and Councilmembers Mann, Dennard and Young WE MOVE that the lobbyist for the City of Cincinnati provide a procedural framework for City Council and the Property Tax Project working group to amend Ohio state laws governing property taxes to ensure that property owners, specifically legacy residents and senior citizens on fixed incomes, who reside in developing neighborhoods and whose property taxes are increasing as a result have a greater opportunity to remain in their homes. WE FURTHER MOVE that a working group be created to study trends related to property taxes, especially the issue of rising property taxes in areas experiencing significant levels of development; to make recommendations to City Council aimed at helping to keep senior citizens in their homes and communities; and to report on best practices in other cities and states facing similar challenges. WE FURTHER MOVE that the working group include members from: the African-American Chamber of Commerce; the Board of Realtors; the Cincinnati Neighborhood Business Districts United; the Community Action Agency; the Community Development Corporations Association of Greater Cincinnati; the Council on Aging; the Baptist Ministers Conference; the Hamilton County Auditor/representative; the Homebuilders Association; Invest in Neighborhoods; representatives of Allied Construction Industries; the United Way; the University of Cincinnati's Real Estate Program and the DAAAP School of Planning; and the Urban League. WE FURTHER MOVE that the working group review the City's Tax Abatement Program. WE FURTHER MOVE that the Planning Department lead this working group.

Final Disposition: ADOPTED

Votes:

	<u>Final</u>
MR. SMITHERMAN	A
MR. YOUNG	Y
MS. DENNARD	Y
MR. LANDSMAN	Y
MR. MANN	Y
MS. MURRAY	Y
MR. PASTOR	Y
MR. SEELBACH	Y
MR. SITTENFELD	Y
	10/03/2018

Referral: CLOSED - Law Department

Meeting Date: 09/10/2018 Due: 09/17/2018 Closed: 10/26/2018

Return To: BUDGET AND FINANCE COMMITTEE
 Manager's Direction: PREPARE REPORT

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City of Cincinnati



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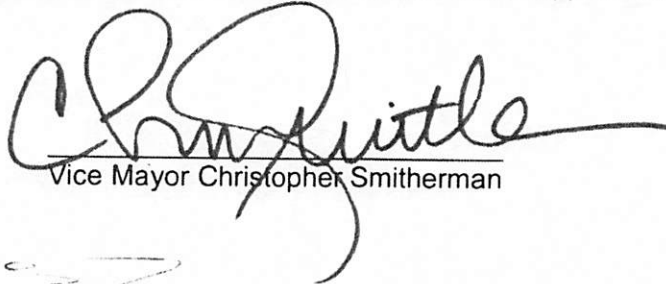
Christopher E. C. Smitherman
Cincinnati Vice Mayor

201900467

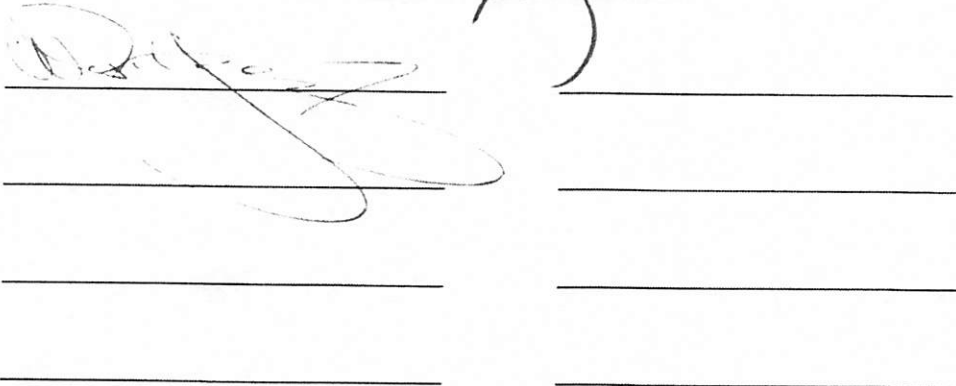
March 15, 2019

MOTION

WE MOVE that the Property Tax Project working group also include members from: Cincinnati Public Schools; Greater Cincinnati Chinese Chamber of Commerce; Hamilton County Treasurer; Hispanic Chamber Cincinnati USA; Homeownership Center of Greater Cincinnati; Housing Opportunities Made Equal (HOME); Indian American Chamber of Commerce; Legal Aid Society; Local Initiatives Support Corporation (LISC); and The Port.



Vice Mayor Christopher Smitherman



STATEMENT

This motion is an addendum to Motion #201801401 dated October 3, 2018, in order to add additional members to the Property Tax Project working group.

COMMITTEES

Chair: Law & Public Safety • Committees: Budget & Finance • Economic Growth & Zoning • Neighborhoods



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Item #:	201900467	Get Documents
Calendar Date:	04/03/2019	
Sponsors:	BUDGET AND FINANCE COMMITTEE	
Status/Recommendation:	ADOPT	
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Final Disposition:	ADOPTED	
Votes:		<u>Final</u>
	MR. MANN	Y
	MS. MURRAY	Y
	MR. PASTOR	Y
	MR. SEELBACH	Y
	MR. SITTENFELD	Y
	MR. SMITHERMAN	Y
	MR. YOUNG	Y
	MS. DENNARD	Y
	MR. LANDSMAN	Y
		04/03/2019
After Action:	CLOSED - City Planning	
	Type: Status Report to Administration	
	Description: MOVE that the Property Tax Project working group also include members from: Cincinnati Public Schools; Greater Cincinnati Chinese Chamber of Commerce; Hamilton County Treasurer; Hispanic Chamber Cincinnati	
	Assigned: 04/03/2019	Due: 05/03/2019 Completed: 07/31/2019
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202000954

Christopher E. C. Smitherman
Cincinnati Vice Mayor

July 28, 2020

MOTION

The Property Tax Working Group (PTWG) was created by motion on September 5, 2018 to study trends related to property taxes. Especially important were, rising property taxes in areas experiencing significant levels of development, helping senior citizens remain in their homes and communities, and reporting on best practices of other cities and states. (Please see the attach motion and vote by Cincinnati City Council).

The Property Tax Working Group had its final meeting on Thursday, July 23, 2020. This group was Chaired by Carol Gibbs, President/CEO Mt. Auburn Community Development Corporation (MACDC) and Vice Mayor Christopher Smitherman. The idea for the PTWG was the brainchild of Mrs. Carol Gibbs.

Recommendations for low and limited-income individuals to stay in their homes

Recommendation 1 – Create an online portal with programs and resources for residents, both homeowners and renters.

This portal would be like the open data portal managed by the Office of Performance and Data Analytics (OPDA). The portal should be user-friendly but include deep connections in its logic. For example, users would enter age, veteran status, etc. and the portal would respond with the programs that are available to them. Helps with goal to proactively identify homeowners who need help with repairs, so the burden does not only fall to the homeowner.

Recommendation 2 – Create a housing court with a dedicated support staff who are housing experts and can connect residents to resources.

Convert a Common Pleas seat into a housing court seat. Community members can advocate for this by lobbying the Common Pleas judges directly, as well ask their City representatives to support the creation of a housing court. Cleveland is a good reference for this recommendation.

Recommendation 3 – Make housing a priority by creating a position like the Chief Advocacy Officer role that would lead housing efforts for the City.

COMMITTEES



Christopher E. C. Smitherman
Cincinnati Vice Mayor

This position would act as a Connector/Czar. This position would connect with the City Manager, City Council, Mayor, City departments, and residents, and is guided by an advisory board. This position has the responsibility to manage the portal.

Recommendation 4 – When a code complaint is filed in a geographic area with high development activity, require a social worker to accompany the building inspector to provide information on funds to help with repairs and directions to the portal.

Helps with goal to proactively identify homeowners who need help with repairs, so the burden does not only fall to the homeowner.

Recommendation 5 – Create a lending program for minority and women-owned contractors who work fairly with seniors and low-income households.

This lending program would have a revolving line of credit with favorable rates with the aim to restore the small contractors who lost their businesses in the 2008 recession. This would also support and grow minority-owned businesses in Cincinnati. Information on these licensed contractors would be housed on the portal.

Recommendation 6 – Provide funding for organizations that work with homeowners to help them stay in their homes.

Information on these organizations would be on the portal.

Recommendation 7 – Look to other cities on how they are addressing recommendations 1-7.

Recommendation 8 – Lobby the state to make changes that benefit home retention for individuals with low or limited-income, disabilities, seniors.

City of Cincinnati

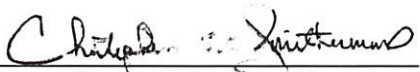


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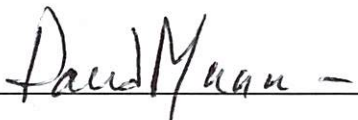
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Web www.cincinnati-oh.gov

Christopher E. C. Smitherman
Cincinnati Vice Mayor

WE MOVE that the above PTWG recommendations be adopted by Cincinnati City Council.



Vice Mayor Christopher Smitherman



COMMITTEES

Chair: Law & Public Safety • **Committees:** Economic Growth & Zoning • Neighborhoods

City of Cincinnati



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Christopher E. C. Smitherman
Cincinnati Vice Mayor

201801401

September 5, 2018

MOTION

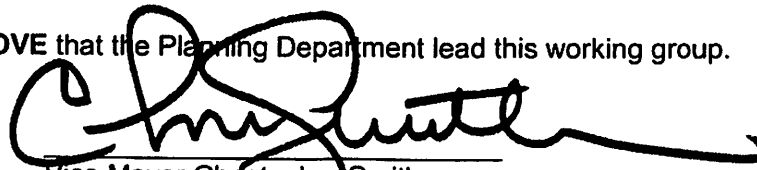
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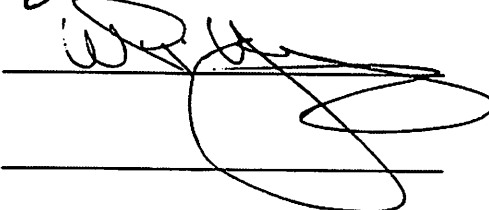
WE FURTHER MOVE that a working group be created to study trends related to property taxes, especially the issue of rising property taxes in areas experiencing significant levels of development; to make recommendations to City Council aimed at helping to keep senior citizens in their homes and communities; and to report on best practices in other cities and states facing similar challenges.


WE FURTHER MOVE that the working group include members from: the African-American Chamber of Commerce; the Board of Realtors; the Cincinnati Neighborhood Business Districts United; the Community Action Agency; the Community Development Corporations Association of Greater Cincinnati; the Council on Aging; the Baptist Ministers Conference; the Hamilton County Auditor/representative; the Homebuilders Association; Invest in Neighborhoods; representatives of Allied Construction Industries; the United Way; the University of Cincinnati's Real Estate Program and the DAAP School of Planning; and the Urban League.

WE FURTHER MOVE that the working group review the City's Tax Abatement Program.

WE FURTHER MOVE that the Planning Department lead this working group.


Vice Mayor Christopher Smitherman


TAMAYA DENARDO

{00267017-1}

COMMITTEES

Chair: Law & Public Safety • Committees: Budget & Finance • Economic Growth & Zoning • Neighborhoods



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Item #: 201801401 [Get Documents](#)

Calendar Date: 10/03/2018

Sponsors: BUDGET AND FINANCE COMMITTEE

Status/Recommendation: ADOPT

Description: MOTION, submitted by Vice Mayor Smitherman and Councilmembers Mann, Dennard and Young WE MOVE that the lobbyist for the City of Cincinnati provide a procedural framework for City Council and the Property Tax Project working group to amend Ohio state laws governing property taxes to ensure that property owners, specifically legacy residents and senior citizens on fixed incomes, who reside in developing neighborhoods and whose property taxes are increasing as a result have a greater opportunity to remain in their homes. WE FURTHER MOVE that a working group be created to study trends related to property taxes, especially the issue of rising property taxes in areas experiencing significant levels of development; to make recommendations to City Council aimed at helping to keep senior citizens in their homes and communities; and to report on best practices in other cities and states facing similar challenges. WE FURTHER MOVE that the working group include members from: the African-American Chamber of Commerce; the Board of Realtors; the Cincinnati Neighborhood Business Districts United; the Community Action Agency; the Community Development Corporations Association of Greater Cincinnati; the Council on Aging; the Baptist Ministers Conference; the Hamilton County Auditor/representative; the Homebuilders Association; Invest in Neighborhoods; representatives of Allied Construction Industries; the United Way; the University of Cincinnati's Real Estate Program and the DAAAP School of Planning; and the Urban League. WE FURTHER MOVE that the working group review the City's Tax Abatement Program. WE FURTHER MOVE that the Planning Department lead this working group.

Final Disposition: ADOPTED

Votes:	<u>Final</u>
MR. SMITHERMAN	A
MR. YOUNG	Y
MS. DENNARD	Y
MR. LANDSMAN	Y
MR. MANN	Y
MS. MURRAY	Y
MR. PASTOR	Y
MR. SEELBACH	Y
MR. SITTENFELD	Y
	10/03/2018

Referral: CLOSED - Law Department
 Meeting Date: 09/10/2018 Due: 09/17/2018 Closed: 10/26/2018

Return To: BUDGET AND FINANCE COMMITTEE
 Manager's Direction: PREPARE REPORT

Record 1 of 1
[First](#) [Previous](#) [Next](#) [Last](#)

[Return to Result Set](#)

City of Cincinnati



801 Plum Street, Suite 350
Cincinnati, Ohio 45202

Phone: 513-352-3464
Email: christopher.smitherman@
cincinnati-oh.gov
Web: www.cincinnati-oh.gov

Christopher E. C. Smitherman
Cincinnati Vice Mayor

201900467

March 15, 2019

MOTION

WE MOVE that the Property Tax Project working group also include members from: Cincinnati Public Schools; Greater Cincinnati Chinese Chamber of Commerce; Hamilton County Treasurer; Hispanic Chamber Cincinnati USA; Homeownership Center of Greater Cincinnati; Housing Opportunities Made Equal (HOME); Indian American Chamber of Commerce; Legal Aid Society; Local Initiatives Support Corporation (LISC); and The Port.

Vice Mayor Christopher Smitherman

STATEMENT

This motion is an addendum to Motion #201801401 dated October 3, 2018, in order to add additional members to the Property Tax Project working group.

COMMITTEES

Chair: Law & Public Safety • Committees: Budget & Finance • Economic Growth & Zoning • Neighborhoods



Record 1 of 1		Return to Result Set
First Previous Next Last		
Item #:	201900467	Get Documents
Calendar Date:	04/03/2019	
Sponsors:	BUDGET AND FINANCE COMMITTEE	
Status/Recommendation:	ADOPT	
Description:	MOTION, submitted by Vice Mayor Smitherman and Councilmember Young, WE MOVE that the Property Tax Project working group also include members from: Cincinnati Public Schools; Greater Cincinnati Chinese Chamber of Commerce; Hamilton County Treasurer; Hispanic Chamber Cincinnati USA; Homeownership Center of Greater Cincinnati; Housing Opportunities Made Equal (HOME); Indian American Chamber of Commerce; Legal Aid Society; Local Initiatives Support Corporation (LISC); and The Port. (STATEMENT ATTACHED)	
Final Disposition:	ADOPTED	
Votes:		<u>Final</u>
	MR. MANN	Y
	MS. MURRAY	Y
	MR. PASTOR	Y
	MR. SEELBACH	Y
	MR. SITTFELD	Y
	MR. SMITHERMAN	Y
	MR. YOUNG	Y
	MS. DENNARD	Y
	MR. LANDSMAN	Y
		04/03/2019
After Action:	CLOSED - City Planning	
	Type: Status Report to Administration	
	Description: MOVE that the Property Tax Project working group also include members from: Cincinnati Public Schools; Greater Cincinnati Chinese Chamber of Commerce; Hamilton County Treasurer; Hispanic Chamber Cincinnati	
	Assigned: 04/03/2019	Due: 05/03/2019 Completed: 07/31/2019
Record 1 of 1		Return to Result Set
First Previous Next Last		



202000990

Christopher E. C. Smitherman
Cincinnati Vice Mayor

July 31, 2020

MOTION

The Property Tax Working Group (PTWG) was created by motion on September 5, 2018 to study trends related to property taxes. Especially important were, rising property taxes in areas experiencing significant levels of development, helping senior citizens remain in their homes and communities, and reporting on best practices of other cities and states. (Please see the attach motion and vote by Cincinnati City Council).

The Property Tax Working Group had its final meeting on Thursday, July 23, 2020. This group was Chaired by Carol Gibbs, President/CEO Mt. Auburn Community Development Corporation (MACDC) and Vice Mayor Christopher Smitherman. The idea for the PTWG was the brainchild of Mrs. Carol Gibbs.

Recommendation		
NEW CONSTRUCTION Criteria	Cap	Term
New Construction	\$200,000	10 yr
New Construction - LEED Silver	\$300,000	12 yr
New Construction - LEED Gold	\$400,000	12 yr
New Construction - LEED Platinum	\$500,000	15 yr
REMODEL Criteria	Cap	Term
Remodel	\$275,000	10 yr
Remodel – HERS	\$300,000	12 yr
Remodel - LEED Silver	\$400,000	12 yr
Remodel - LEED Gold	\$500,000	15 yr
Remodel - LEED Platinum	\$650,000	15 yr
Historic Restoration (pre-1920 building)	\$750,000	15 yr
BONUS Criteria (for New Construction and Remodel)	Add't Cap	Add't Term
Visitability	\$100,000	0 yr

COMMITTEES

City of Cincinnati



801 Plum Street, Suite 356
Cincinnati, Ohio 45202

Phone (513) 352-3464
Email christopher.smitherman@
cincinnati-oh.gov
Web www.cincinnati-oh.gov

Christopher E. C. Smitherman
Cincinnati Vice Mayor

WE MOVE that the above Tax Abatement Caps be approved by Cincinnati City Council. A previous Cincinnati City Council removed all caps for tax abatements when the national, regional, and local economy was very different than today.

Vice Mayor Christopher Smitherman

COMMITTEES

Chair: Law & Public Safety • **Committees:** Economic Growth & Zoning • Neighborhoods

City of Cincinnati



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Cincinnati, Ohio 45202

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cincinnati-oh.gov
Web: www.cincinnati-oh.gov

Christopher E. C. Smitherman
Cincinnati Vice Mayor

201801401

September 5, 2018

MOTION

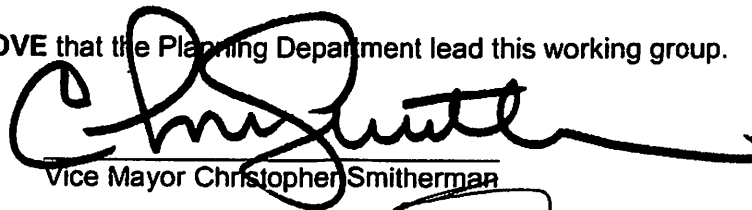
WE MOVE that the lobbyist for the City of Cincinnati provide a procedural framework for City Council and the Property Tax Project working group to amend Ohio state laws governing property taxes to ensure that property owners, specifically legacy residents and senior citizens on fixed incomes, who reside in developing neighborhoods and whose property taxes are increasing as a result have a greater opportunity to remain in their homes.

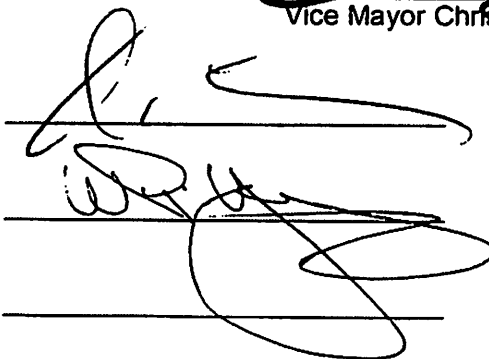
WE FURTHER MOVE that a working group be created to study trends related to property taxes, especially the issue of rising property taxes in areas experiencing significant levels of development; to make recommendations to City Council aimed at helping to keep senior citizens in their homes and communities; and to report on best practices in other cities and states facing similar challenges.

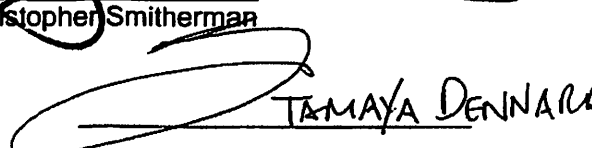
WE FURTHER MOVE that the working group include members from: the African-American Chamber of Commerce; the Board of Realtors; the Cincinnati Neighborhood Business Districts United; the Community Action Agency; the Community Development Corporations Association of Greater Cincinnati; the Council on Aging; the Baptist Ministers Conference; the Hamilton County Auditor/representative; the Homebuilders Association; Invest in Neighborhoods; representatives of Allied Construction Industries; the United Way; the University of Cincinnati's Real Estate Program and the DAAP School of Planning; and the Urban League.

WE FURTHER MOVE that the working group review the City's Tax Abatement Program.

WE FURTHER MOVE that the Planning Department lead this working group.


Vice Mayor Christopher Smitherman




TAMAYA DENNARD

{00267017-1}

COMMITTEES

Chair: Law & Public Safety • Committees: Budget & Finance • Economic Growth & Zoning • Neighborhoods



Record 1 of 1		Return to Result Set																						
First Previous Next Last																								
Item #:	201801401	Get Documents																						
Calendar Date:	10/03/2018																							
Sponsors:	BUDGET AND FINANCE COMMITTEE																							
Status/Recommendation:	ADOPT																							
Description:	<p>MOTION, submitted by Vice Mayor Smitherman and Councilmembers Mann, Dennard and Young WE MOVE that the lobbyist for the City of Cincinnati provide a procedural framework for City Council and the Property Tax Project working group to amend Ohio state laws governing property taxes to ensure that property owners, specifically legacy residents and senior citizens on fixed incomes, who reside in developing neighborhoods and whose property taxes are increasing as a result have a greater opportunity to remain in their homes. WE FURTHER MOVE that a working group be created to study trends related to property taxes, especially the issue of rising property taxes in areas experiencing significant levels of development; to make recommendations to City Council aimed at helping to keep senior citizens in their homes and communities; and to report on best practices in other cities and states facing similar challenges. WE FURTHER MOVE that the working group include members from: the African-American Chamber of Commerce; the Board of Realtors; the Cincinnati Neighborhood Business Districts United; the Community Action Agency; the Community Development Corporations Association of Greater Cincinnati; the Council on Aging; the Baptist Ministers Conference; the Hamilton County Auditor/representative; the Homebuilders Association; Invest in Neighborhoods; representatives of Allied Construction Industries; the United Way; the University of Cincinnati's Real Estate Program and the DAAAP School of Planning; and the Urban League. WE FURTHER MOVE that the working group review the City's Tax Abatement Program. WE FURTHER MOVE that the Planning Department lead this working group.</p>																							
Final Disposition:	ADOPTED																							
Votes:	<table border="0"> <tr><td></td><td align="center"><u>Final</u></td></tr> <tr><td>MR. SMITHERMAN</td><td align="center">A</td></tr> <tr><td>MR. YOUNG</td><td align="center">Y</td></tr> <tr><td>MS. DENNARD</td><td align="center">Y</td></tr> <tr><td>MR. LANDSMAN</td><td align="center">Y</td></tr> <tr><td>MR. MANN</td><td align="center">Y</td></tr> <tr><td>MS. MURRAY</td><td align="center">Y</td></tr> <tr><td>MR. PASTOR</td><td align="center">Y</td></tr> <tr><td>MR. SEELBACH</td><td align="center">Y</td></tr> <tr><td>MR. SITTFELD</td><td align="center">Y</td></tr> <tr><td></td><td align="center">10/03/2018</td></tr> </table>		<u>Final</u>	MR. SMITHERMAN	A	MR. YOUNG	Y	MS. DENNARD	Y	MR. LANDSMAN	Y	MR. MANN	Y	MS. MURRAY	Y	MR. PASTOR	Y	MR. SEELBACH	Y	MR. SITTFELD	Y		10/03/2018	
	<u>Final</u>																							
MR. SMITHERMAN	A																							
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MS. DENNARD	Y																							
MR. LANDSMAN	Y																							
MR. MANN	Y																							
MS. MURRAY	Y																							
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	Meeting Date: 09/10/2018	Due: 09/17/2018 Closed: 10/26/2018																						
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Record 1 of 1		Return to Result Set																						
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City of Cincinnati



500 Plum Street, Suite 350
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cincinnati.oh.gov
Web: www.cincinnati.oh.gov

Christopher E. C. Smitherman
Cincinnati Vice Mayor

201900467

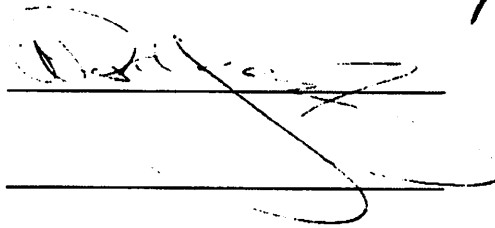
March 15, 2019

MOTION

WE MOVE that the Property Tax Project working group also include members from: Cincinnati Public Schools; Greater Cincinnati Chinese Chamber of Commerce; Hamilton County Treasurer; Hispanic Chamber Cincinnati USA; Homeownership Center of Greater Cincinnati; Housing Opportunities Made Equal (HOME); Indian American Chamber of Commerce; Legal Aid Society; Local Initiatives Support Corporation (LISC); and The Port.



Vice Mayor Christopher Smitherman



STATEMENT

This motion is an addendum to Motion #201801401 dated October 3, 2018, in order to add additional members to the Property Tax Project working group.

COMMITTEES

Chair: Law & Public Safety • Committees: Budget & Finance • Economic Growth & Zoning • Neighborhoods



Record 1 of 1		Return to Result Set
First Previous Next Last		
Item #:	201900467	Get Documents
Calendar Date:	04/03/2019	
Sponsors:	BUDGET AND FINANCE COMMITTEE	
Status/Recommendation:	ADOPT	
Description:	MOTION, submitted by Vice Mayor Smitherman and Councilmember Young, WE MOVE that the Property Tax Project working group also include members from: Cincinnati Public Schools; Greater Cincinnati Chinese Chamber of Commerce; Hamilton County Treasurer; Hispanic Chamber Cincinnati USA; Homeownership Center of Greater Cincinnati; Housing Opportunities Made Equal (HOME); Indian American Chamber of Commerce; Legal Aid Society; Local Initiatives Support Corporation (LISC); and The Port. (STATEMENT ATTACHED)	
Final Disposition:	ADOPTED	
Votes:		<u>Final</u>
	MR. MANN	Y
	MS. MURRAY	Y
	MR. PASTOR	Y
	MR. SEELBACH	Y
	MR. SITTENFELD	Y
	MR. SMITHERMAN	Y
	MR. YOUNG	Y
	MS. DENNARD	Y
	MR. LANDSMAN	Y
		04/03/2019
After Action:	CLOSED - City Planning	
	Type: Status Report to Administration	
	Description: MOVE that the Property Tax Project working group also include members from: Cincinnati Public Schools; Greater Cincinnati Chinese Chamber of Commerce; Hamilton County Treasurer; Hispanic Chamber Cincinnati	
	Assigned: 04/03/2019	Due: 05/03/2019 Completed: 07/31/2019
Record 1 of 1		Return to Result Set
First Previous Next Last		

August 4, 2020

TO: Mayor and Members of City Council
FROM: Paula Boggs Muething, Interim City Manager
SUBJECT: Presentation – Zone Change at 644-664 Crown Street in Walnut Hills

Attached is the presentation for the August 4, 2020, Economic Growth and Zoning Committee for a proposed zone change at 644-664 Crown Street in Walnut Hills.

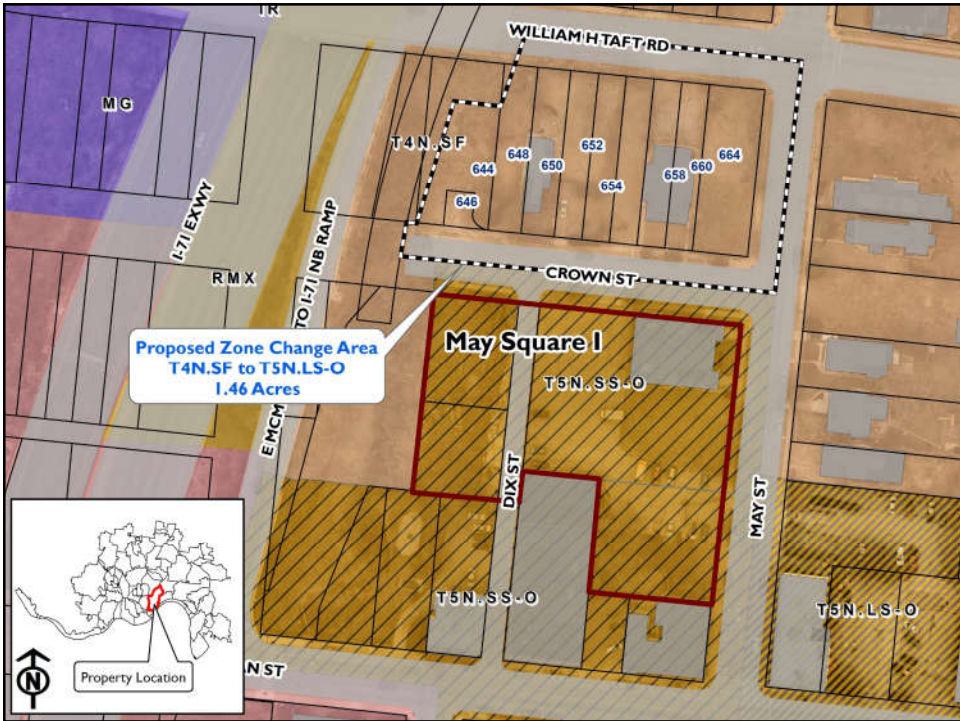
CC: Katherine Keough-Jurs, AICP, Director
Department of City Planning



Proposed Zone Change at 644-664 Crown Street in Walnut Hills

Economic Growth & Zoning Committee
August 4, 2020

1



2



3



4

Zoning Districts

5

CURRENT

T4
Neighborhood
Small Footprint
(T4N.SF)



Uses: Primarily residential

Height: Up to 2.5 stories

PROPOSED

T5
Neighborhood
Large Setback-
Open
(T5N.LS-O)



Uses: Primarily Residential;
service and retail permitted

Height: Up to 4 stories



5

Public Comment

6

- **Notices** sent to property owners within a 400-foot radius and Walnut Hills Area Council
- **Staff Conference** held on June 4, 2020
 - 4 community members and applicant
 - 3 adjacent property owners
 - Concerns about “O” Sub-Zone permitting retail use
- **Letters of Support** from Walnut Hills Area Council and Walnut Hills Area Council Business Group



6

Community Engagement

7

- Ongoing community engagement (Phase I and 2)
 - 26+ meetings (WHAC, WHAC boards, community input sessions, meetings with the WHRF, community design input sessions, meetings with neighborhoods)
- Project has evolved based on community engagement
 - Concern: No commercial - *Commercial removed in plan*
 - Concern: Building height (5-6 stories) - *Only 4-stories*
 - Concern: # of residents (175 units) - *135 units*
 - Concern: Affordability – *30% workforce (initially 20%)*



7

Coordinated Site Review

8

February 2020: Preliminary Design Review

- Applicant requested T5N.SS-O zoning, City Planning staff suggested T5N.LS-O or Planned Development
- No concerns about the proposed zone change
- Development Design Review in future



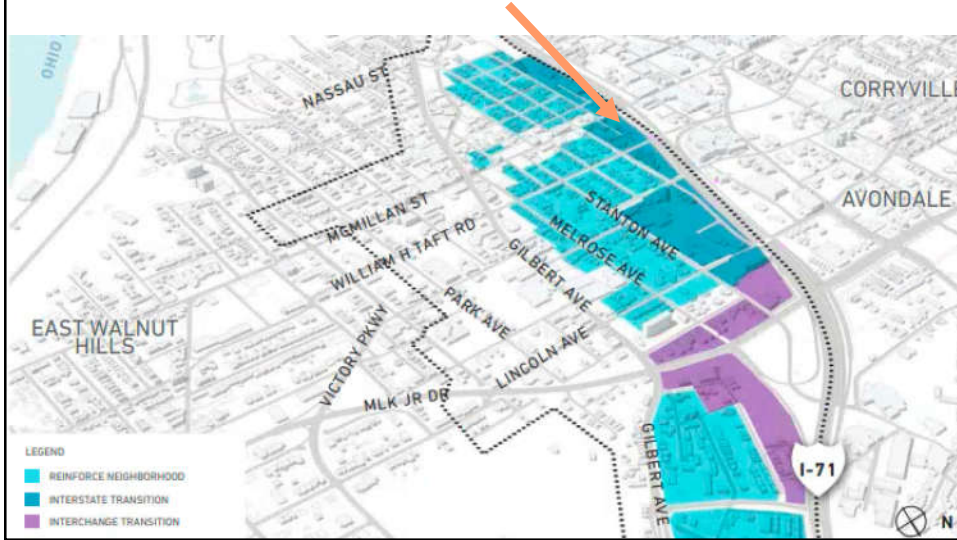
8

Consistency with Walnut Hills Reinvestment Plan (2019)

9

Action Item #1 “Invest in People, Homes, and Places”

- Identifies area as “Interstate Transition” area

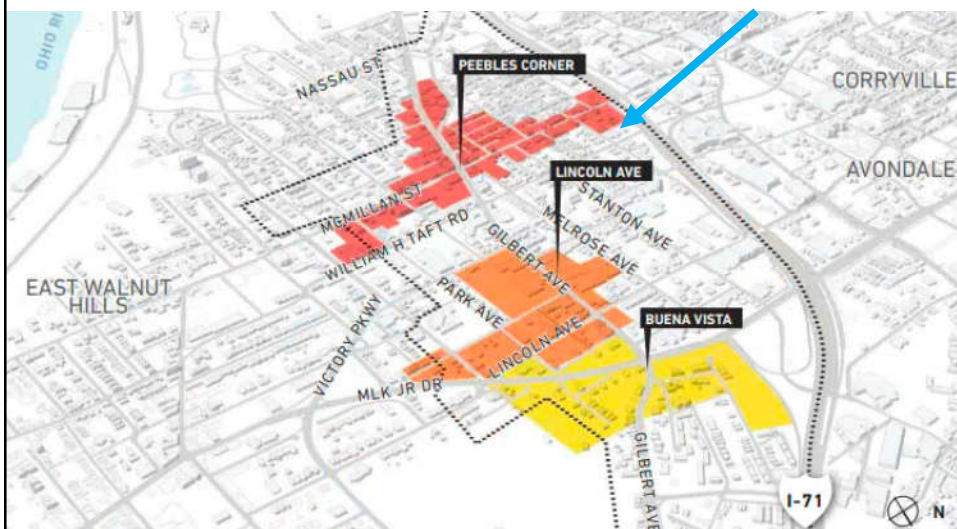


9

Consistency with Walnut Hills Reinvestment Plan (2019)

10

Action Item #4 Focus development resources in three places (Peebles Corner target area)



10

Live Initiative Area

Goal 3 “Provide a full spectrum of housing options, and improve housing quality and affordability”

Strategy “Offer housing options of varied sizes and types for residents at all stages of life”

11

Conclusion

The proposed zone is consistent with:

1. The existing surrounding built environment with regards to allowable uses, building scale, massing, and adjacent zoning districts.
2. The *Walnut Hills Reinvestment Plan* (2017) which identifies the area as an “Interstate Transition” area and the plan’s aim to target investment in the Peebles Corner area.
3. *Plan Cincinnati* (2012) within the Live Initiative Area, specifically the goal to, “Provide a full spectrum of housing options, and improve housing quality and affordability.”

12

The City Planning Commission recommends that the City Council take the following action:

APPROVE the proposed zone change from T4N.SF (Transect Zone 4 Neighborhood Small Footprint) to T5N.LS-O (Transect Zone 5 Neighborhood Large Setback, Open Sub-Zone) located at 644-664 Crown Street in Walnut Hills.

August 4, 2020

TO: Mayor and Members of City Council

FROM: Paula Boggs Muething, Interim City Manager

SUBJECT: Presentation – Emergency Ordinance - Extending IDC No. 86, “Auburn Avenue in Mt. Auburn”

Attached is the presentation for the extension of IDC 86, Auburn Avenue in Mt. Auburn.

cc: Katherine Keough-Jurs, AICP, Director
Department of City Planning



Six-month extension of IDC #86
Auburn Avenue in Mt. Auburn


Economic Growth & Zoning Committee
August 4, 2020

1

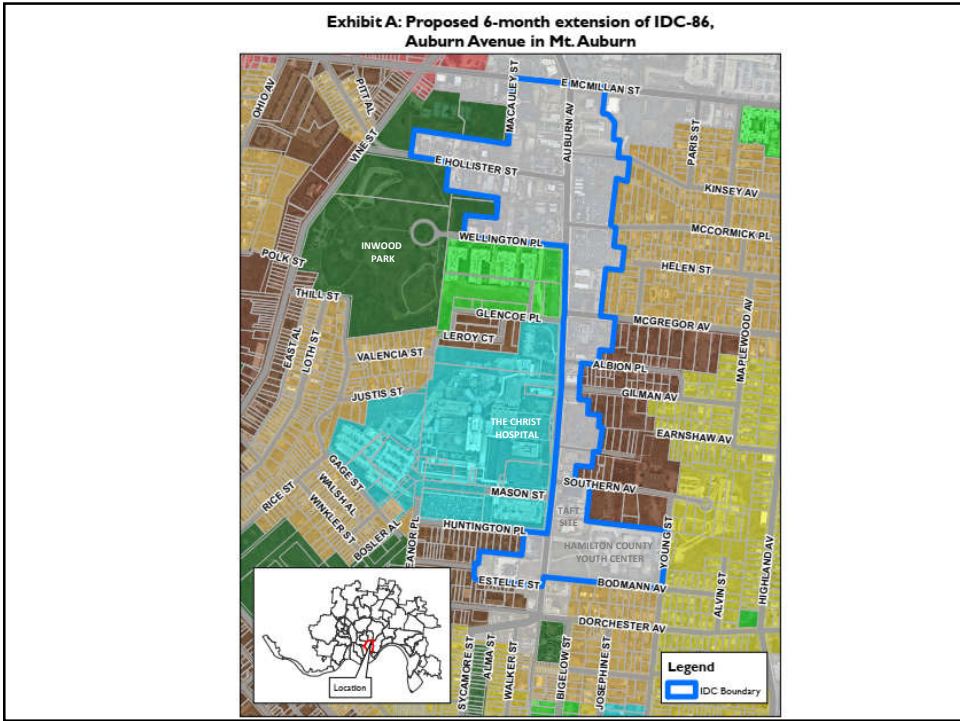
Background

2

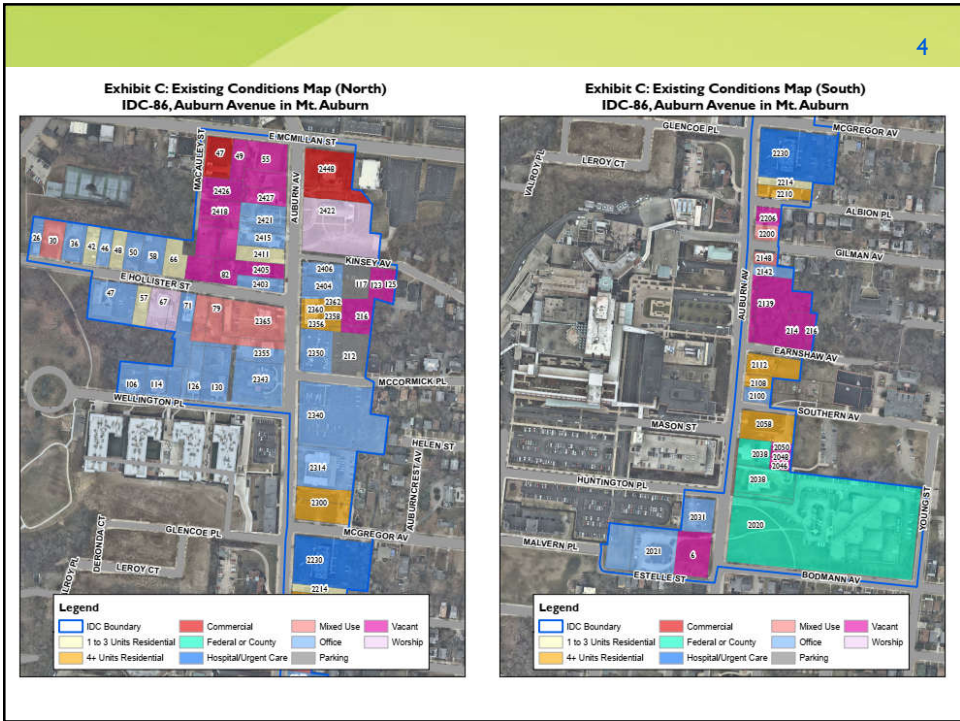
- June 26, 2019 – City Manager directed City Planning to establish an IDC Overlay District and move forward with a zoning study
- August 7, 2019 – IDC #86 established for 3-months by emergency ordinance
- October 15, 2019 – City Council approved a 9-month extension of the IDC
- The IDC will expire on August 7, 2020 if not extended



2



3



4

§ 1431-13, Extension of IDC Overlay Districts

City Council may extend the duration of an IDC Overlay District by an additional six months, provided that an IDC Overlay District may not remain in effect for more than two years from the date it was first established if notice has been given and a public hearing finding that:

- a) Complex Study
- b) Study Incomplete
- c) Inconsistent Uses

- The following permits will be reviewed, in accordance with §1431-15 of the Cincinnati Zoning Code:
 - Building permits for applications resulting in a change of use or occupancy under the Ohio Building Code or Cincinnati Municipal Code.

Analysis

7

- The IDC is set to expire on August 7, 2020 if not extended
- The proposed extension of the IDC would leave the IDC in place until March 7, 2021 and would give the Department of City Planning time to implement any recommendations that come from the study
 - Zoning Map amendments are typically a 3-6-month process due to notification requirements and meeting schedules
- The IDC would offer some immediate protection to the neighborhood while the recommendations are implemented

7

Public Comment

8

- Notice of the proposed extension was sent to all property owners within the IDC boundary in addition to the Mt. Auburn Community Council and the Mt. Auburn Community Development Corporation
- To date, staff has not received any correspondence

8

Consistency with Plans

9

- *Auburn Avenue Corridor Strategic Development Plan (2017)*
 - Transform the corridor into a neighborhood serving business district
 - Identify opportunities that support a Neighborhood Business District
 - Address pedestrian enhancements along Auburn Avenue
 - Explore opportunities to expand connectivity and strengthen gateways
- *Plan Cincinnati (2012)*
 - Live Initiative Area: Strategies to “become more walkable” and “support and stabilize our neighborhoods”



9

Recommendation

10

The City Planning Commission recommends that City Council take the following actions:

1. **ADOPT** the Department of City Planning’s staff findings that the proposed IDC Overlay District is in compliance with Cincinnati Zoning Code Section 1431-13, Extension of IDC Overlay Districts, as discussed on pages 2 – 3 of this report; and,
2. **RECOMMEND** that City Council extend Interim Development Control (IDC) Overlay District No. 86 Auburn Avenue in Mt. Auburn, for a period of six months, finding it to be in the interest of the general public’s health, safety, and welfare during the course of the Department of City Planning’s study.



10

August 4, 2020

TO: Mayor and Members of City Council

FROM: Paula Boggs Muething, Interim City Manager

SUBJECT: Presentation – Emergency Ordinance - Extending IDC No. 87, “Summit Road in Roselawn”

Attached is the presentation for the extension of IDC 87, Summit Road in Roselawn.

cc: Katherine Keough-Jurs, AICP, Director
Department of City Planning



city of
CINCINNATI

Six-month extension of IDC #87 Summit Road in Roselawn


Economic Growth & Zoning Committee
August 4, 2020

1

Background

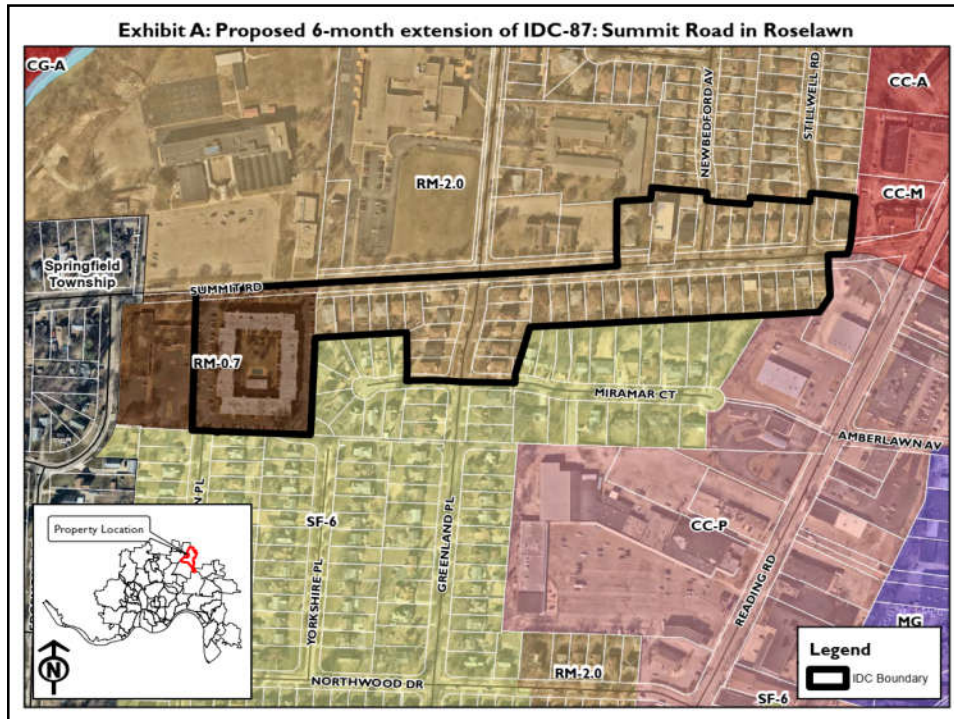
2

- July 3, 2019 – City Manager Patrick A. Duhaney directed City Planning to establish an IDC Overlay District and move forward with a zoning study
- August 2, 2019 – The City Planning Commission recommended a three-month emergency IDC to City Council
- August 7, 2019 – City Council approved the emergency IDC for three months and directed the Department of City Planning to undertake a zoning study in this area
- September 20, 2019 – The City Planning Commission recommended a nine-month extension of IDC to City Council
- October 15, 2019 – City Council approved a nine-month extension of the IDC
- The IDC will expire on August 7, 2020 if not extended



city of
CINCINNATI
CITY PLANNING

2

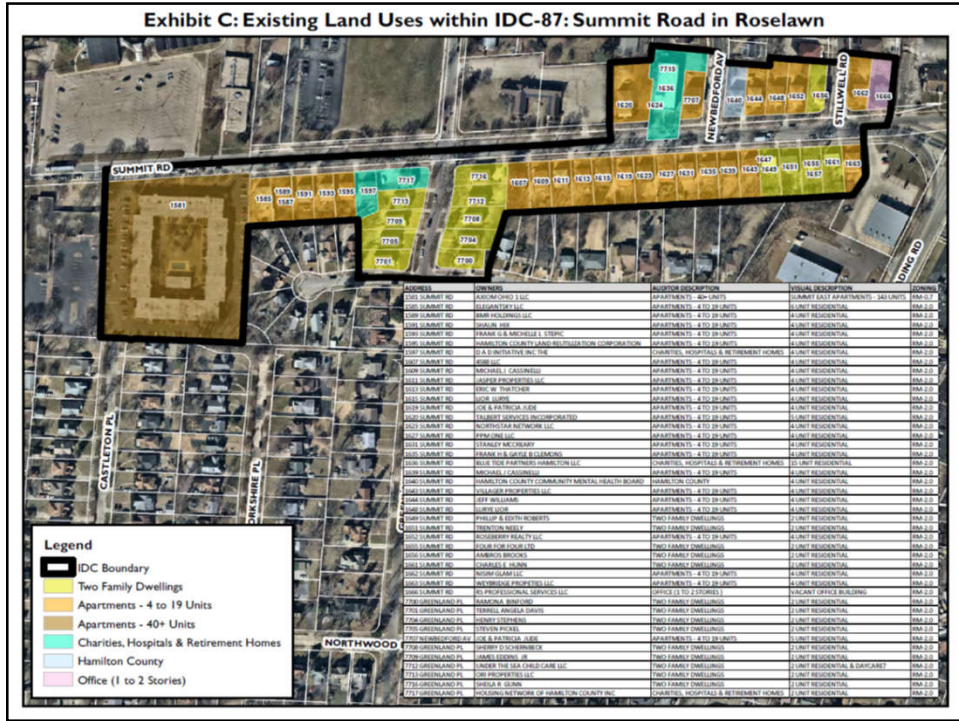


3

Background 4

- **RM-0.7 zoning district:**
 - One property containing a 143-unit structure (Summit East Apartments)
- **RM-2.0 zoning district:**
 - 15 two-family structures
 - 23 four-family structures (two classified as “Charities, Hospitals, & Retirement Homes”, one owned by the Hamilton County Mental Health Board)
 - Two five-unit structures
 - One six-unit structure
 - One 15-unit structure (the former Chabad House, classified as “Charities, Hospitals, & Retirement Homes”)
 - One office building which is a legal non-conforming use in the district

4



5

Criteria 6

§ 1431-13, Extension of IDC Overlay Districts
 City Council may extend the duration of an IDC Overlay District by an additional six months, provided that an IDC Overlay District may not remain in effect for more than two years from the date it was first established if notice has been given and a public hearing finding that:

- a) Complex Study
- b) Study Incomplete
- c) Inconsistent Uses

6

Permits to be Reviewed

7

- The following permits will be reviewed, in accordance with §1431-15 of the Cincinnati Zoning Code:
 - Building permits for:
 - New construction
 - Demolition of existing structures
 - Exterior or interior alterations
 - Additions to existing structures
 - Changes in use



7

Analysis

8

- The IDC is set to expire on August 7, 2020 if not extended
- The proposed extension of the IDC would leave the IDC in place until March 7, 2021 and would give the Department of City Planning time to implement any recommendations that come from the study
 - Zoning Map/Text amendments are typically a 3-6 month process due to notification requirements and meeting schedules
- The IDC would offer some immediate protection to the neighborhood while the recommendations are implemented



8

Consistency with Plan Cincinnati

9

- *Plan Cincinnati* (2012)
 - Live Initiative Area: Strategy to “support and stabilize our neighborhoods” (page 160)



9

Recommendation

10

The City Planning Commission recommends that the City Council take the following actions:

1. **ADOPT** the Department of City Planning’s staff findings that the proposed IDC Overlay District is in compliance with Cincinnati Zoning Code Section 1431-13, Extension of IDC Overlay Districts, as discussed on pages 2 – 3 of this report; and,
2. **RECOMMEND** that City Council extend Interim Development Control (IDC) Overlay District No. 87 Summit Road in Roselawn, for a period of six months, finding it to be in the interest of the general public’s health, safety, and welfare during the course of the Department of City Planning’s study.



10

August 4, 2020

TO: Mayor and Members of City Council
FROM: Paula Boggs Muething, Interim City Manager
SUBJECT: Presentation – Major Amendment to the Concept Plan for PD-69 in Corryville

Attached is the presentation for the August 4, 2020, Economic Growth and Zoning Committee for a proposed zone change and major amendment to the Concept Plan for PD-69 in Corryville.

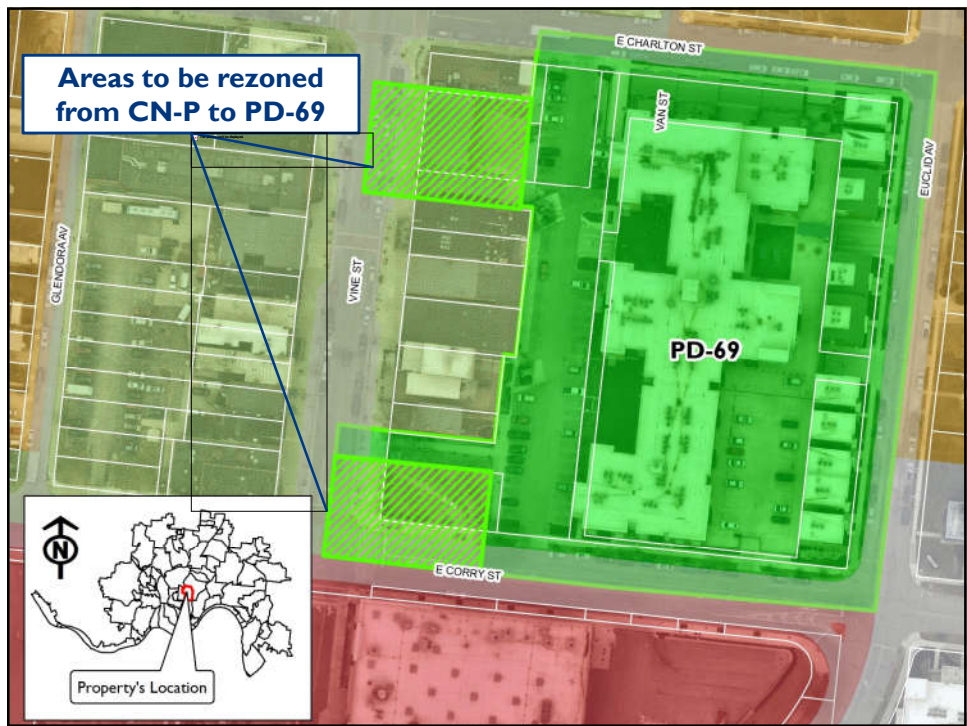
CC: Katherine Keough-Jurs, AICP, Director
Department of City Planning



Proposed Zone Change and Major Amendment to the Concept Plan for PD-69 in Corryville

Economic Growth & Zoning Committee
August 4, 2020

1



2

Existing Planned Development & Approved Concept Plan 3

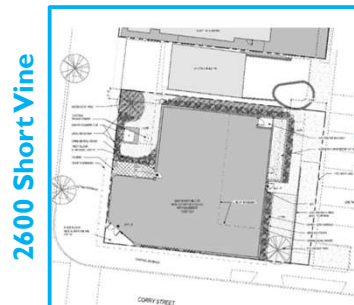


- 149 units (in townhouses and multi-family building)
- Parking garage
- City-owned parking lot

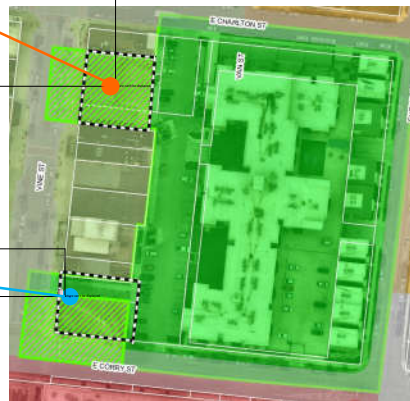


3

Proposed Major Amendment to Concept Plan 4



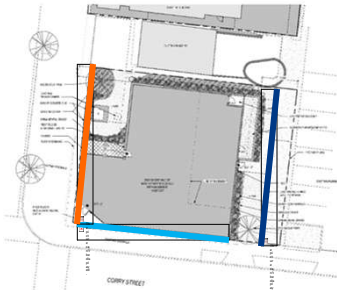
- 19-unit multi-family building at 2630 Short Vine
- 8-unit mixed-use building with 2,241 sq. ft. of retail at 2600 Short Vine



4

2600 Short Vine

5



Short Vine Street



Corry Street



Rear

5

2630 Short Vine

6



Short Vine Street



Rear

6

Coordinated Site Review

7

- March 2020 - **Preliminary Design Review** of 2600 Short Vine Street
- March 2020 - **Preliminary Design Review** of 2630 Short Vine Street
- June 2020 - **Technical Design Review** of proposed Major Amendment and Final Development Plan



7

Public Comment

8

- Notices sent to property owners within 400' and Corryville Community Council
- Proposal posted on the website
- Staff Conference held on June 23, 2020
 - Applicant team in attendance
 - No community members attended
- Letters of support submitted by Corryville Community Council and Short Vine Association



8

Consistency with *Plan Cincinnati* (2012)

9

Compete Initiative Area

- Strategy: “Target investment to geographic areas where there is already economic activity.”

Live Initiative Area

- Goal: “Provide a full spectrum of housing options and improve housing quality and affordability.”
- Strategy: “Support and stabilize our neighborhoods.”



9

Consistency with Plans

10

***University Impact Area Solutions Study* (2016)**

- Housing and Neighborhood Conditions Initiative Goal I: “Develop and maintain quality housing.”

***University Village Urban Renewal Plan* (2005)**

- Vision Plan Statement: “Continue to promote private reinvestment into the neighborhood housing stock as a means to increase the economic diversity with the primary trade area population.”
- Future Housing Goal: “Future housing should provide higher density to complement the commercial district and provide a transition in scale to the single-family and attached housing.”



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Analysis

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- Reactivates a currently vacant lot and blighted lot in the Short Vine Street
- Increases walkability and housing options within the NBD
- Supports the NBD and surrounding employment center area and University of Cincinnati
- Aligns with goals of neighborhood organizations and plans
- Consistent with §1437-09 *Development Standards in UD Overlay Districts*



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Findings

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It is the opinion of staff of the Department of City Planning that the Major Amendment to the Concept Plan and Development Program Statement is in compliance with the requirements of §1429-12 *Amendments to a Planned Development Concept Plan* of the Cincinnati Zoning Code.

The proposal is consistent with the purpose of the Planned Development District Regulations.



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The City Planning Commission recommends that the City Council take the following actions:

1. **APPROVE** the proposed change in zoning at 2600, 2622, and 2624-2632 Short Vine Street from CN-P (Commercial Neighborhood-Pedestrian) to PD-69 (Planned Development #69);
2. **APPROVE** the Major Amendment to the Concept Plan and Development Program Statement for Planned Development #69, VP3, as specified on pages 2-3 of this report; and
3. **ADOPT** the Department of City Planning Findings as detailed on page 5 of this report.



August 4, 2020

TO: Mayor and Members of City Council
FROM: Paula Boggs Muething, Interim City Manager
SUBJECT: Presentation – Ordinance – Zone Change at 2980 Disney Street in Oakley

Attached is the presentation for a proposed zone change at 2980 Disney Street in Oakley.

cc: Katherine Keough-Jurs, AICP, Director
Department of City Planning



Proposed Zone Change and Concept Plan for 2980 Disney Street in Oakley

Economic Growth and Zoning Committee
August 4, 2020

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Background 4

- Local Oakley LLC owns entire 28-acre Oakley Mills Subdivision (approved by City Planning Commission on June 7, 2019)
- Oakley Mills Subdivision consists of 8 total parcels
- Proposed Zone Change and Concept Plan for 4 parcels (approximately 8 acres excluding street rights-of-way)
- Hills Properties (petitioner) has an option to purchase the subject site to develop and maintain 316 residential units within 5 buildings

The logo for the City of Cincinnati City Planning department, featuring the text 'city of CINCINNATI CITY PLANNING' and a stylized 'C' icon.

4

Requirements for Planned Development

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§1429-05: Basic Requirements

- ✓ Minimum Area
- ✓ Ownership
- ✓ Multiple Buildings on a Lot
- ✓ Historic Landmark District
- ✓ Hillside Overlay District
- ✓ Urban Design Overlay District

§1429-09: Concept Plan

- ✓ Plan Elements
- ✓ Ownership
- ✓ Schedule
- ✓ Preliminary Reviews
- ✓ Density and Open Space



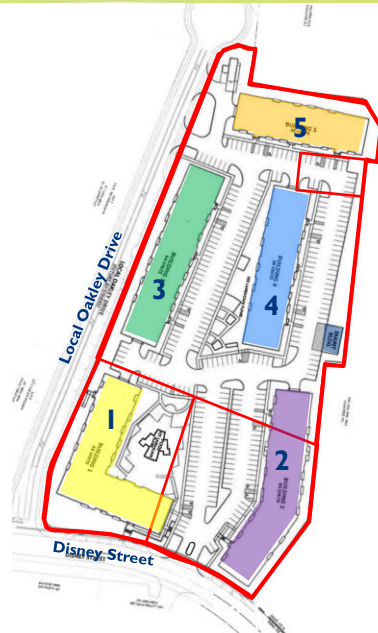
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Basic Requirements for Planned Development

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§1429-05: Basic Requirements

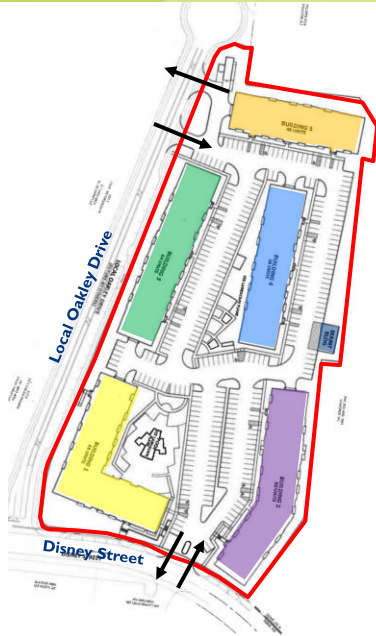
- ✓ **Minimum Area - 9.1317 acres (8 acres excluding rights-of-way)**
- ✓ **Ownership - 4 parcels under control with option to purchase**
- ✓ **Multiple Buildings on a Lot**
- ✓ Historic Landmark District
- ✓ Hillside Overlay District
- ✓ Urban Design Overlay District



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Concept Plan – Plan Elements and Open Space

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Buildings 316 units

Building 1 68 units

Building 2 80 units

Building 3 64 units

Building 4 56 units

Building 5 48 units

Parking 565 total

First Floor Parking Spaces 262 spaces

Surface Parking Spaces 303 spaces

On-Street Parking Spaces 31 spaces

Amenities/Open Space 35.7%

Pool, Deck, Clubhouse, Open Space

Rights-of-Way and Circulation

Local Oakley Drive Public

Disney Street (Existing) Dedication

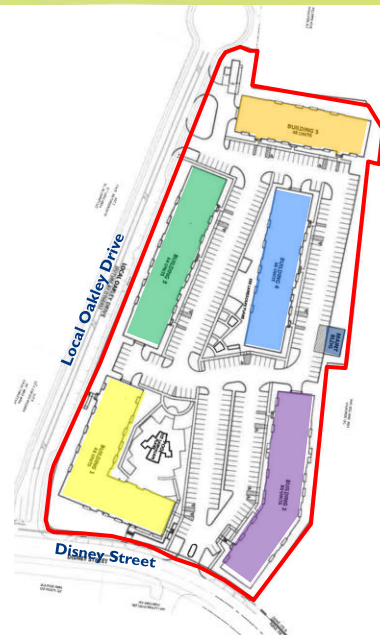
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Requirements for Concept Plan

8

§1429-09: Concept Plan

- ✓ Plan Elements
- ✓ Density and Open Space
- ✓ **Ownership**
 - Hills Properties – Single Owner**
- ✓ **Schedule***
 - One Phase
 - Fall 2020 – Begin Construction**
 - Late 2021/Early 2022 - Move-In**
 - *Pending COVID-19 Pandemic
- ✓ **Preliminary Reviews**
 - City's Coordinated Site Review**



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Preliminary Site Renderings

9



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CITY PLANNING

9

Coordinated Site Review

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Advisory Team Meeting

May 17, 2019

Oakley Mills – Development Plan and Subdivision Improvement Plan

Advisory Team Meeting

June 19, 2020

Client Meeting

June 23, 2020

All City Departments are comfortable with the Zone Change and Concept Plan

- Comments from DOTE regarding overall Oakley Mills subdivision
- Comments outlined in CPRE200048 Letter (Exhibit J)

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Review and Public Comment

11

Oakley Community Council February 2, 2020

- General Summary of Planned Developments by City Staff
- Development Plan Proposal Presentation by Hills Properties

Oakley Community Council March 3, 2020

- Community Council Unanimous Vote of Support

Public Staff Conference June 25, 2020

- Attendees – Agent for the applicant and development team

Mailing Notification for CPC July 2, 2020



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Consistency with *Plan Cincinnati* (2012)

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Live Initiative Area

Goal: Create a more livable community (page 156)

Goal: Provide a full spectrum of housing options, and improve housing quality and affordability (page 164)

Strategy: Support and stabilize our neighborhoods (page 160)

Strategy: Offer housing options of varied sizes and types for residents at all stages of life (page 165)

Strategy: Improve the quality and number of moderate to high-income rental and homeowner units (page 165)



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Consistency with Oakley Master Plan (2019)

13

Managing our Future Growth Focus Area

Goal #1: Assure that future growth is guided by zoning and planning that will preserve Oakley as a thriving, unique, and pedestrian-scaled urban neighborhood (page 80)

Strategy #1: Evaluate the appropriateness of the existing zoning map for vacant and underutilized properties

Strategy #2: Identify neighborhood development goals for the Robertson Avenue, Forrer Street, and Disney Avenue sites.



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City Planning Commission Action (§1429-11)

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- ✓ 1. The PD Concept Plan and Development Program Statement are consistent with applicable plans and policies and is compatible with surrounding development;
- ✓ 2. The PD Concept Plan and Development Program Statement enhance the potential for superior urban design in comparison with the development under the base district regulations and would apply if the plan were not approved;
- ✓ 3. Deviations from the base district regulations applicable to the property at the time of the PD application are justified by compensating benefits of the PD Concept Plan and Development Program Statement;
- ✓ 4. The PD Concept Plan and Development Program Statement includes adequate provisions for utility services, refuse collection, open space, landscaping, pedestrian and traffic circulation, building design and location.



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Analysis and Findings

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- Planned Development (PD) is appropriate zoning for site and proposed development
- Will not negatively impact the existing character of the surrounding area
- Will reactivate and remediate a mostly vacant and underutilized site into a residential multi-family development

It is the opinion of staff of the Department of City Planning that the Concept Plan and Development Program Statement is in compliance with the requirements of a PD District §1429-05 and §1429-11(a) *City Planning Commission Action*.

The proposal is consistent with the purpose of the Planned Development District Regulations.



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Recommendation

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The City Planning Commission recommends that City Council take the following actions:

ACCEPT the Concept Plan and Development Statement as submitted and;

ADOPT the Department of City Planning Findings (detailed on page 8 of the staff report) and;

APPROVE the proposed change in zoning from CG-A (Commercial General Auto-Oriented) to PD (Planned Development) including the Concept Plan and Development Program Statement for 2980 Disney Street in Oakley, with the following conditions:

- a. The subject development must follow the additional requirements listed in the Coordinated Site Review Committee letter (Exhibit J) to ensure the Planned Development (PD) meets the requirements of all departments as they apply for all permits.



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