

March 5, 2021

**Honorable City Planning Commission
Cincinnati, Ohio**

SUBJECT: A report and recommendation on a proposed Notwithstanding Ordinance permitting the renovation of three existing structures at 127-129, 131, and 141 Goethe Street into permanent supportive housing and the new construction of a transitional housing facility at 211-219 Goethe Street in Mt. Auburn.

GENERAL INFORMATION:

Location: 127-129, 131, 141, and 211-219 Goethe Street
Cincinnati OH 45202

Petitioner: City Gospel Mission
1805 Dalton Avenue
Cincinnati, OH 45214

Owner: CURE Properties LLC and HTCTC Properties LLC
1805 Dalton Avenue
Cincinnati, OH 45214

EXHIBITS:

Provided in addition to this report are the following exhibits:

- Exhibit A Location Map
- Exhibit B Application
- Exhibit C 127-129 Goethe Street Plans
- Exhibit D 131 Goethe Street Plans
- Exhibit E 141 Goethe Street Plans
- Exhibit F 211-219 Goethe Street Plans
- Exhibit G 211-219 Goethe Street Potential Designs
- Exhibit H 211-219 Goethe Street Hillside Documentation Letter
- Exhibit I 211-219 Goethe Street Geotechnical Report
- Exhibit J Zoning Analysis Memorandum
- Exhibit K Project Overview
- Exhibit L Key Issues and Engagement Presentation
- Exhibit M Engagement Overview
- Exhibit N Memorandum of Understanding
- Exhibit O Project Funding Explanation
- Exhibit P Pre-2004 Zoning Map and Property/Density Maps
- Exhibit Q Location Selection Explanation
- Exhibit R Public Comment
- Exhibit S Coordinated Site Review Letter

BACKGROUND:

On January 15, 2021, the City Planning Commission heard a report and recommendation on a proposed Notwithstanding Ordinance for 127-129, 131, 141, and 211-219 Goethe Street. At that time, the City Planning Commission voted to hold the item to permit further community engagement. Following

additional engagement, including two community meetings (see *Public Comment and Notification* for more information), the applicant, City Gospel Mission, submitted an updated Notwithstanding Ordinance application (Exhibit B). This report provides an overview of the updated application and indicates where changes to the original were made.

The applicant requests a Notwithstanding Ordinance to permit the renovation of three existing structures at 127-129, 131, and 141 Goethe Street into permanent supportive housing and the new construction of a transitional housing facility at 211-219 Goethe Street in Mt. Auburn. The four subject properties are located along Goethe Street. Goethe Street is located just less than 0.25 miles north of Liberty Street; it commences at Sycamore Street and extends west, terminating in a dead-end. 211-219 Goethe Street is adjacent to the Main Street steps which connect Goethe Street to Mulberry Street to the south and Dorchester Street to the north. 127-129, 131, and 141 Goethe Street are zoned RMX (Residential Mixed) and 211-219 Goethe Street is zoned SF-2 (Single-family). The surrounding land use is primarily single-family residential. The subject properties are within a Hillside Overlay District.

City Gospel Mission operates an all-women recovery network, called Having the Courage to Change, in existing buildings at 127-129, 131, and 141 Goethe Street. The current buildings house 35 residents in six units. City Gospel Mission has operated on these properties for over 20 years. They are proposing to transfer and expand their existing operations to a new building to be constructed at 211-219 Goethe Street. They will then renovate the existing buildings into permanent supportive housing for participants in the later phases of the Having the Courage to Change program or program graduates. The existing and proposed uses are considered transitional housing 5 and/or 6 according to the Sec. 1401-01-T of Cincinnati Zoning Code because they serve residential occupants who are recuperating from the effects of drugs or alcohol and/or readjusting to society while housed under criminal justice supervision.

The applicant requests a Notwithstanding Ordinance because the proposed new construction and renovation are part of a coordinated effort and require relief from the Cincinnati Zoning Code.

PROPOSED NOTWITHSTANDING ORDINANCE:

City Gospel Mission requests a Notwithstanding Ordinance to permit the construction of a transitional housing facility and the renovation of three existing buildings into permanent supportive housing. The Department of Buildings and Inspections conducted a zoning analysis of the proposal (Exhibit J). This section summarizes the proposed Notwithstanding Ordinance and the provided zoning analysis.

Renovation of 127-129, 131, and 141 Goethe Street

There are three existing buildings at 127-129, 131, and 141 Goethe Street. City Gospel Mission operates transitional housing in these buildings and is proposing to renovate them into supportive housing for participants in and graduates of their Having the Courage to Change program. The existing transitional housing operations are proposed to be relocated to the new structure at 211-219 Goethe Street (see *New Construction at 211-219 Goethe Street* for more information). The proposed renovations will not alter the height or footprint of the structure nor the site grading; however, the proposed unit and bed count differs from the existing counts. There is a proposed total increase of six units and a decrease of 16 beds in the existing buildings. The following chart summarizes the existing and proposed unit counts and the height and size of buildings. Each structure will also include communal gathering space and laundry facilities. The plans are included as Exhibits C, D, and E. No changes were made to the proposed renovations between the original and updated submissions.

	127-129 Goethe St.	131 Goethe St.	141 Goethe St.
Height/Square Footage	3-stories/5,000 sq. ft.	4-stories/4,000 sq. ft.	3-stories/2,500 sq. ft.
Existing Units/Beds	4 units/12 beds	1 unit/16 beds	1 unit/7 beds
Proposed Units/Beds	6 units/7 beds	5 units/5 beds	1 unit/7 beds
Unit/Bed Difference	Increase of 2 units Decrease of 5 beds	Increase of 4 units Decrease of 11 beds	No change

The proposed renovations will permit City Gospel Mission to house 19 residents, 18 women and one child, in permanent supportive housing, as 127-129 Goethe Street will have one two-bedroom unit which they plan to reserve for a woman and her child.

The proposed renovations meet the Hillside Base Development Regulations (Sec. 1433-19 of the Cincinnati Zoning Code). However, the applicant is requesting relief through the Notwithstanding Ordinance for the following:

Use (Sec. 1405-05)

The proposed permanent supportive housing is considered a transitional housing use. Transitional housing is not permitted as a principal use in the RMX zoning district per Sec. 1405-05 of the Cincinnati Zoning Code. The proposed Notwithstanding Ordinance would formalize the permission for the existing transitional housing.

Dwelling Units (Sec. 1405-05)

The RMX zoning district permits up to three dwelling units per building according to Sec. 1405-05 of the Cincinnati Zoning Code. The applicant is proposing six units at 127-129 Goethe Street and five units at 131 Goethe Street. While the proposal increases the number of units, the number of beds would decrease (see table above).

Parking (Sec. 1425-19-A)

Per Sec. 1425-19-A of the Cincinnati Zoning Code, each site requires two parking spaces. The applicant is proposing zero off-street parking spaces. The proposed Notwithstanding Ordinance would formalize an existing condition. Due to the existing structures and nature of the subject properties, no off-street parking can be provided.

New Construction at 211-219 Goethe Street

The subject property at 211-219 Goethe Street is 0.147 acres in size and currently vacant. A photograph on Google Street View from 2007 shows that a three-story structure, similar in scale to the proposed structure, once existed on the site, but it has been vacant for approximately 10-15 years (Exhibit G). The applicant proposes a three-story, 14,000 square foot structure with a walk-out basement to a deck in the rear. The proposed structure would have 36 beds within 18 bedrooms in addition to seven bathrooms, a kitchen and dining area, meeting rooms, a lounge, a library, a gym, and offices. The plans are included as Exhibit F.

The applicant is requesting relief through the Notwithstanding Ordinance for the following:

Use (Sec. 1403-05)

The proposed transitional housing use is not permitted within the SF-2 zoning district per Sec. 1403-05 of the Cincinnati Zoning Code.

Parking (Sec. 1425-19-A)

According to Sec. 1425-19 of the Cincinnati Zoning Code, five parking spaces are required. Zero parking spaces are proposed by the applicant.

Rear Yard Setback (Sec. 1422-17-A)

The proposed new construction includes a deck in the rear of the building that situated five feet from the rear property line. A rear yard setback variance of approximately 15 feet is required.

Height (Sec. 1433-17-D and Sec. 1433-17-E)

The proposed height conforms to the height limit at the street but exceeds the limit at the mid-point of the roof by approximately three feet.

Cut/Excavation (Sec. 1433-19-G)

A cut/excavation variance of approximately seven feet is requested to allow for a 15-foot cut from the existing grade at the front façade to the bottom of the footer.

The rear yard setback, height, and cut/excavation relief identified is approximate. The submitted plans are schematic and the final foundation and retaining wall designs will be developed in accordance with the recommendations from the geotechnical report (Exhibit H). A hillside review will be required before the exact relief can be determined. The Department of Buildings and Inspections found that the proposed design is “reasonable and substantially compatible with the hillside overlay goals given the size limits of the parcel and the topography.” Per the recommendation of the Department of Buildings and Inspections, two conditions were added should the City Planning Commission recommend approval to ensure a final review of the construction drawings and geotechnical report and to confirm that the structure conforms with Sec. 1433-23, Hillside Development Standards, of the Cincinnati Zoning Code and the recommendations of the geotechnical report (see *Recommendation* number 3 and 4).

The proposal for 211-219 Goethe Street was updated following the City Planning Commission meeting on January 15, 2021, and subsequent community meetings. The proposed building footprint, height, and setbacks did not change; however, the applicant reduced the proposed occupancy of the building by 25% (from 48 residents to 36 residents) to address density concerns from community members. To address additional community members’ concerns regarding the design and future use of the building, the applicant commits to design the building exterior to resemble three single-family townhomes (potential examples are included as Exhibit G) and construct the building so that it could be renovated and sold as three separate single-family townhomes. Additionally, the applicant commits to convening a community review committee to work on the exterior façade design and materials. More information on these commitments can be found in *Public Comment and Notification*.

PUBLIC COMMENT AND NOTIFICATION:***Pre-January 15, 2021 City Planning Commission Public Comment***

Prior to the City Planning Commission meeting on January 15, 2021, the applicant engaged the community through meetings with the Mt. Auburn Community Council, mailed letters to surrounding residents, and focus groups with staff, volunteers, and nearby residents. They also participated in two meetings with community members in early January with approximately 20 individuals in attendance at both meetings. Mt. Auburn Community Council submitted a letter of support. The Mt. Auburn Community Development Corporation also expressed support.

26 letters of concern were received prior to the January 15, 2021 City Planning Commission meeting from 24 individuals, primarily from nearby residents/ property owners, but also from builders/developers and neighborhood residents. 19 letters of support from 22 individuals were received from nearby residents/property owners and project supporters, such as social service organizations and members of the recovery community. These letters were in the staff report dated January 15, 2021, and in the “Additional Attachments.”

The letters of support stated the desire to continue supporting City Gospel Mission’s work and their history of being a good neighbor. The concerns outlined in the letters were related to the proposed new construction, including lack of parking, inconsistency with surrounding neighborhood character due to density, scale, and design, lack of parking, long-term use, effect on property values and future development, and lack of community engagement.

Community Meetings and Public Comment Received After January 15, 2021

The City Planning Commission voted to hold the proposed Notwithstanding Ordinance during their January 15, 2021 meeting to permit further community engagement. Two community meetings were held, on January 28 and February 11. The applicant also engaged with nearby residents/property owners outside of these two community meetings as outlined in Exhibit M. City Staff, Mt. Auburn community leadership, and the applicants coordinated to provide notice to community members regarding the two community meetings (see *Notice* below for more details).

11 community members, including the Mt. Auburn Community Council president and Mt. Auburn CDC CEO, in addition to the applicant team and City staff, attended the meetings on January 28th and February 11th. The first community meeting was intended to be a listening session in which the applicant team could report what they had heard from community members thus far and solicit additional feedback. The second meeting provided the applicant team the opportunity to respond to the feedback through project modifications or other commitments. Exhibit L outlines the concerns and feedback they received. Below is a summary of the concerns/feedback received and how City Gospel Mission addressed the feedback:

Density

Concern: The original proposal of 48 residents in the new construction is too dense for the area.

Response: The applicant reduced the proposed occupancy in the new construction by 25% from 48 residents to 36 residents. If the City Planning Commission approves the proposed Notwithstanding Ordinance, one of the recommended conditions is that the new building cannot house more than 36 residents.

Parking

Concern: The applicant is proposing zero off-street parking spaces. Many residents expressed that off-street parking is already limited and that additional residents on the street would increase parking demand.

Response: The applicant is proposing a parking plan that would limit parking for the residents in the renovated buildings and not permit residents in the new construction to have

vehicles. Only six residents in the renovated buildings would be permitted to park on Goethe Street. This plan is outlined in a Memorandum of Understanding (MOU) between City Gospel Mission and the community.

Consistency with Surrounding Neighborhood Character

Concerns: The scale and the design of the new construction is out of character with the surrounding neighborhood. Some community members suggested an alternate site for the new construction and provided potential site and floor plans Exhibit R).

Response: The applicant proposes to redesign the exterior of the new construction to resemble three single-family townhomes and solicit the input from community review on façade design and materials. This is outlined in the MOU. The applicant did visit an alternate site and determined that property at 211-2119 Goethe Street was more appropriate for the transitional housing facility because it facilitates a sense of community, connection, and inspiration. The applicant elaborated on the location selection in Exhibit Q.

Future Use of 211-219 Goethe Street

Concern: Some community members had questions about City Gospel Mission's plan for the property long-term and what would happen if they decided to sell the property.

Response: The applicant proposes to construct the new building in a manner that would permit the building to be separated into three single-family townhomes should City Gospel Mission cease operations on the site. City Gospel Mission also commits to covering the cost to separate the buildings and parcels. This is outlined in the MOU.

During the community meetings, some community members expressed support for the proposed development, modifications, and commitments. Nearby residents/property owners spoke about their positive experience with City Gospel Mission as neighbors, as well as the desire to be a diverse neighborhood. A couple of nearby residents/property owners, as well as a developer with property on Goethe Street, still expressed concern about the scale and density of the project in its current location.

The aforementioned MOU is included as Exhibit N for reference. This agreement is between the Mt. Auburn Community Council, Mt. Auburn Community Development Corporation, City Gospel Mission, and two real estate companies owned by City Gospel Mission, CURE and HTCTC.

As of February 23, 2021, staff has received seven letters of support from six individuals and three letters with concerns, one of which elaborates on an alternate site. The letters were from nearby and adjacent residents/property owners. The sentiments outlined in the letters align with those expressed during the community meetings (Exhibit R).

Notice

Notice of the two community meetings was emailed to individuals who submitted public comment or signed-up to participate in the January 15, 2021 City Planning Commission meeting. In addition, the applicant team worked with the Mt. Auburn Community Council and Mt. Auburn Community Development Corporation to distribute the meeting notice to their boards and members, as well as four community

Facebook pages/groups.

Mailed notice on the March 5, 2021 City Planning Commission was sent to property owners within 400 feet of subject properties, the Mt. Auburn Community Council, and the Over-the-Rhine Community Council on February 19, 2021. The City Planning Commission notice was also sent via email to any individual who submitted public comment or attended the January 15, 2021 City Planning Commission meeting or one or both of the community meetings.

ANALYSIS:

The Department of City Planning has consistently taken a position to not support any Notwithstanding Ordinances because they do not comply with the Cincinnati Zoning Code that the department is charged with developing and enforcing. However, Cincinnati Municipal Code Section 111-5 establishes a list of factors by which a City Council committee may consider a notwithstanding ordinance application. As such, the City Planning Commission shall consider the following when making a recommendation on notwithstanding ordinances to City Council:

- 1) Whether the proposed application will not have an adverse effect on the character of the area or the public health, safety and welfare;

The proposed development was reviewed by the Department of Buildings and Inspections and found to be substantially compliant with applicable hillside regulations. A complete hillside review will be required prior to permitting to ensure compliance with the regulations and the recommendations of the geotechnical report. While the proposed new construction will increase density on the street, the vacant parcels were formerly the site of a three-story building, similar in scale, to the proposed building. Some community members expressed concern about the impact of the new construction on the character of the neighborhood. Additionally, some community members expressed quality of life concerns related to the proposed increased density in the residential neighborhood. To address these concerns, the applicant reduced the occupancy in the proposed new construction and outlined a plan in the MOU to limit the impact on parking pressures.

- 2) Whether the proposed application is consistent with the purposes of this code and the zoning district where the subject property is located including but not limited to:

- (a) Providing a guide for the physical development of the city.

The proposed Notwithstanding Ordinance would permit the renovation of existing structures on the street while making use of a currently vacant parcel that was previously the site of a three-story building. The proposed new construction would transform the vacant site, adjacent to the Main Street steps, creating stronger connection to the rest of the street and activating an underutilized space.

- (b) Preserving the character and quality of residential neighborhoods.

The proposed Notwithstanding Ordinance would permit the introduction of additional quality transitional housing for residents and the renovation of existing transitional housing. While the proposed new construction is larger in scale than surrounding single-family structures, it will sit on the site of a three-story building,

similar in scale to the proposed building that was demolished approximately a decade ago. Some community members expressed concern about the scale of the new construction and its consistency with the surrounding residential neighborhood. To address these concerns, the applicant submitted additional potential exterior design options and pledged to work with a community review community to refine the final exterior design as outlined in the MOU. The applicant intends for the exterior design to resemble three single-family townhomes.

- (c) Fostering convenient, harmonious and workable relationships among land uses.

The predominant land use surrounding the subject properties is single-family residential. The existing and proposed transitional housing is compatible with the residential nature of the area. While the proposed new construction will include offices, a gym, lounge, and eating area for residents, it will operate in a residential manner, rather than a mixed-use building.

- (d) Achieving the arrangement of land uses described in the comprehensive plan for the development of the city as may have been adopted by council.

The proposed Notwithstanding Ordinance is consistent with the Mt. Auburn Community Plan (1992) and Plan Cincinnati (2012) (see "Consistency with Plans" for further analysis).

- (e) Promoting the economic stability of existing land uses and protecting them from intrusions by inharmonious or harmful land uses.

City Gospel Mission has operated on Goethe Street for over 20 years. The proposed Notwithstanding Ordinance will permit them to expand their operations in a building designed to meet the needs of their residents in the early stages of the program, while renovating the existing structures into housing that is appropriate for residents in later stages of the program or graduates. Some community members and developers expressed concerns about the impact of the proposed development on property values of existing residents and future development, including plans for new townhomes on Goethe Street.

- (f) Providing opportunities for economic development and new housing for all segments of the community.

The proposed Notwithstanding Ordinance would permit a new development on a currently vacant lot, allowing City Gospel Mission to expand their existing residential and social services. By constructing a new building for the first three phases of the transitional housing program, which is currently operating in the three existing buildings, they will be able to renovate the existing structures into permanent supportive housing for graduates and residents in the later phases of the program, providing an additional type of housing for women in need.

- (g) Creating pedestrian-friendly environments to reduce reliance on the automobile for travel.

The subject properties are located within 0.25 miles walking distance of Liberty Street and within 0.5 miles of the Over-the-Rhine Main Street Business District. It is

also just over 0.5 miles from Findlay Market and nearby bus lines/stops. The subject properties are easily accessed on foot via the Main Street steps connecting Goethe Street with Dorchester Street to the north and Mulberry Street to the south.

- (h) Preventing excessive population densities and overcrowding of land or buildings.

The proposed Notwithstanding Ordinance would permit a total of 55 residents to live throughout four buildings. City Gospel Mission currently provides housing and services for 35 women in three buildings. The proposed renovations and new construction would permit housing for an additional 20 residents. This increases density on the street; however, the proposed new construction will house 36 residents in a three-story, 14,000 square foot building, similar in size to building that was on the property historically. There is vacant property to the north and the west of the proposed new construction.

- (i) Ensuring the provision of adequate open space for light, air and fire safety.

The proposed Notwithstanding Ordinance does not provide a variance from any other laws of the City of Cincinnati. The owner would need to abide by the building code and fire regulations outlined in the Cincinnati Municipal Code. Some community members expressed concern about emergency vehicle access on the dead-end street considering the proposed increased density. The proposed development was reviewed by the Fire Department during the Coordinated Site Review process and there were no concerns regarding access on the street (Exhibit S).

- (j) Ensuring that development is compatible with the environment, particularly on the hillsides and along the riverfront.

The subject properties are located within a Hillside Overlay District. 127-129, 131, and 141 Goethe Street are in compliance with Sec. 1433-19, Hillside Base Development Regulations, of the Cincinnati Zoning Code. The Department of Buildings and Inspections found that the proposed schematic plans for the new construction at 211-219 Goethe Street are compatible with the Sec. 1433-19 and a full hillside review would be conducted to ensure compliance with Sec. 1433-23, Hillside Development Standards, prior to permitting.

- (k) Promoting the conservation, protection, restoration and enhancement of the historic resources of the city.

The subject properties are not located within a historic district. The proposed Notwithstanding Ordinance would permit the renovation of existing buildings, preserving the built character on the street, and the new construction of a building similar in scale to a building that was historically on the property. The applicant notes in Exhibit P that the area was previously zoned R-6, a high-density residential zoning district, prior to the current Zoning Code which was put in place in 2004.

- (l) Lessening congestion in the public streets by providing for off-street parking and loading areas for commercial vehicles.

According to Sec. 1425-19-A of the Cincinnati Zoning Code, a total of 11 parking

spaces are required for the four sites. The proposal does not provide any off-street parking, and thus seeks relief through the Notwithstanding Ordinance. No off-street parking is currently provided at the properties with existing structures. Nearby residents expressed concern about the lack of proposed parking, stating that on-street parking in the neighborhood is already limited. The applicant intends to address this concern through a parking program for residents of the renovated buildings. The parking plan would permit six residents to park on Goethe Street and would not allow the 36 residents in the new construction to have vehicles. The plan is outlined in the MOU (Exhibit N).

- (m) Providing effective signage that is compatible with the surrounding urban environment.

Proposed signage for the renovated structures and new construction was not submitted as part of the application. However, a condition of the proposed Notwithstanding Ordinance is that the property shall remain subject to all other provisions of the Cincinnati Municipal Code, the SF-2, "Single-family," zoning district or RMX, "Residential Mixed," zoning district. This would include any signage regulations. The existing structures do not appear to have any signage beyond an address indicator.

- (n) Setting standards by which a nonconforming use may continue to function and to provide for the adaptive reuse of nonconforming buildings.

One of the recommended conditions, should the City Planning Commission approve the proposed Notwithstanding Ordinance, is that the use of the property at 211-219 Goethe Street should not be considered a nonconforming use. Should City Gospel Mission cease operations in the new construction at 211-219 Goethe Street, they commit to sell the building as three separate buildings and subdivide the parcel, as outlined in the MOU (Exhibit N).

CONCLUSIONS:

The proposed Notwithstanding Ordinance would permit a coordinated development consisting of the renovation of three existing structures for permanent supportive housing and the new construction of a three-story transitional housing facility. The proposed development preserves existing buildings while introducing new housing to the neighborhood for women in need. The requested relief through the Notwithstanding Ordinance has been found to be reasonable considering the size limits of the parcel and the topography. In the case of the proposed renovations, the Notwithstanding Ordinance would formalize the existing uses. The proposed Notwithstanding Ordinance is consistent with portions of the *Mt. Auburn Community Plan* (1992) and *Plan Cincinnati* (2012).

The applicant conducted additional community engagement with neighborhood residents and stakeholders and proposed modifications to their project based on the feedback received, including reducing the density in the proposed new construction and outlining other commitments to address design, parking, and future use in a Memorandum of Understanding.

During the community meetings and in the attached letters, a few nearby residents/property owners as well as local builders/developers still expressed concern about the scale and density of the proposed new

construction in its current location and its effect on the character of the neighborhood. However, other community members, including nearby residents/property owners, have expressed support for the proposed project, as outlined in their letters and during the community meetings.

The Department of City Planning has consistently taken the position to not support any Notwithstanding Ordinances for land use decisions because they do not comply with the zoning laws that the department is charged with developing and enforcing.

RECOMMENDATION:

The staff of the Department of City Planning recommends that the City Planning Commission take the following action:

DENY the Notwithstanding Ordinance permitting the renovation of three existing structures at 127-129, 131, and 141 Goethe Street into permanent supportive housing and the new construction of a transitional housing facility at 211-219 Goethe Street in Mt. Auburn.

- 1) The Department of City Planning cannot support any Notwithstanding Ordinances for land use decisions because the ordinances do not comply with the zoning laws that the Department of City Planning is charged with developing and enforcing.

If the City Planning Commission decides to recommend approval of the Notwithstanding Ordinance, the City Planning Commission should consider the following conditions:

- 1) The new construction must substantially conform to the project specifications outlined in this report, including:
 - a. A three-story structure
 - b. Use as a Program 5 and 6 Transitional Housing facility as outlined in Sec. 1401-01-T in the Cincinnati Zoning Code with no more than 36 residents
- 2) The renovations at 127-129, 131, and 141 Goethe Street must substantially conform to the project specifications outlined in this report, including:
 - a. Six dwelling units at 127-129 Goethe Street with no more than seven residents
 - b. Five dwelling units at 131 Goethe Street with no more than five residents
 - c. Single-family home with no more than seven unrelated residents at 141 Goethe Street
 - d. Use as a Program 5 and 6 Transitional Housing facility as outlined in Sec. 1401-01-T in the Cincinnati Zoning Code or as permanent supportive housing
- 3) The applicant will provide the following items for review in the building permit application:
 - a. A geotechnical report which addresses relative hillside stability and includes recommendations for foundation design.
 - b. A landscaping plan showing plant installation to promote hillside stability.
 - c. Site and grading plan stamped by civil engineer or land surveyor showing existing and proposed grades, the proposed ASL (above sea level) data for the

lowest floor and with ASL data also noted and correlated to the building section design; also information on trash dumpster location.

- 4) The Director of Buildings and Inspections will conduct a final review of the construction documents and geotechnical evaluation to ensure an appropriate factor of safety in the design. This review is intended to confirm that:
 - a. The structural design substantially conforms with the Hillside Development Standards of 1433-23 of the Zoning Code to ensure harmonious relationships with adjacent buildings and the hillside environment.
 - b. The design of the foundation, retaining walls, and grading are consistent with the recommendations of the geotechnical report.
- 5) The Notwithstanding Ordinance does not provide a variance from any other laws of the City of Cincinnati, and the properties shall remain subject to all other provisions of the Cincinnati Municipal Code, the SF-2, "Single-family," zoning district or RMX, "Residential Mixed," zoning district.
- 6) The use of 211-219 Goethe Street should not be considered a nonconforming use.

Respectfully submitted:



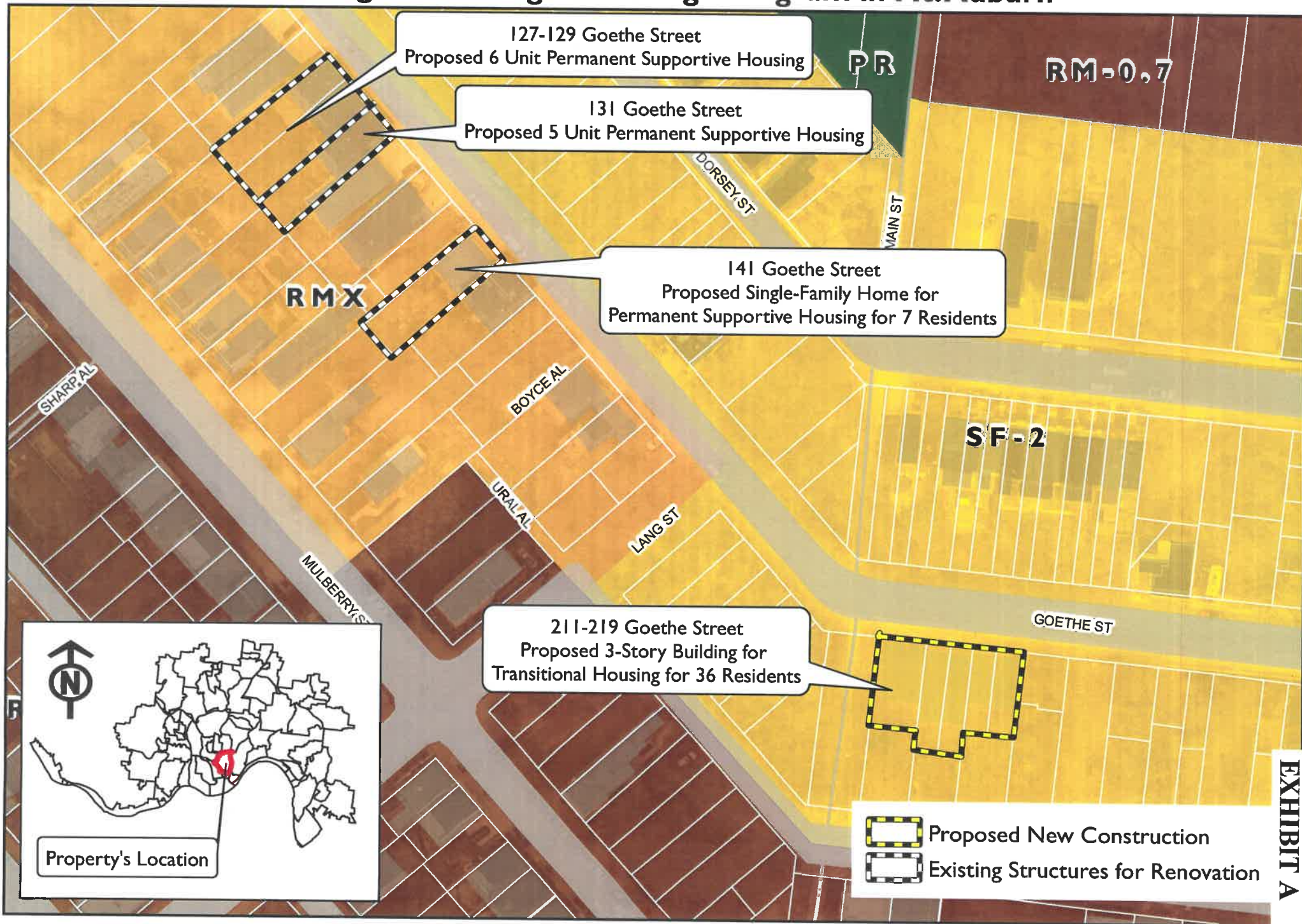
Samantha McLean, City Planner
Department of City Planning

Approved:



Katherine Keough-Jurs, AICP, Director
Department of City Planning

Proposed Notwithstanding Ordinance for City Gospel Mission's Having the Courage to Change Program in Mt. Auburn



**Notwithstanding
Ordinance Application**

INITIALIZED BY

Part A - Identification

Subject Property Address (Please print in blue or black ink only) <u>211-219 and 141 and 131 and 127-129 Goethe St. 45202</u>			
Applicant - Name (Print) <u>City Gospel Mission</u>		Phone No <u>513 345-1023</u>	E-mail Address <u>RHowell@CityGospelMission.org</u>
Street Number & Name <u>1805 Dalton Ave</u>	City / State / Zip Code <u>Cincinnati OH 45214</u>	Phone No / Fax No <u>(513) 345-1023 Fax 513 345-1049</u>	
Relationship of Applicant to Owner: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Lessee <input type="checkbox"/> Attorney			
Property Owner - Name (Print) <u>CURE Properties, LLC + HTCTC Properties, LLC</u>		Phone No	E-mail Address <u>(same as above)</u>
Street Number & Name <u>(same as above)</u>		City / State / Zip Code <u>(same as above)</u>	

Part B - Submission Requirements (Please provide the following for a complete application)

1. A copy of the zoning map showing the subject property. A copy may be obtained through the Zoning Administration by emailing zoninginfo@cincinnati-oh.gov or by calling (513) 352-2430.
2. A written statement outlining all of the practical difficulties created by following existing legislative and administrative procedures.
3. Submit one (1) paper copy and one (1) digital copy of the application to the Director of City Planning at 805 Central Avenue, Suite 720, Cincinnati, Ohio 45202. Payment must be included with the application. (Payable to the City of Cincinnati)

Part C - Authorization

The applicant or agent undersigned does hereby certify that the information and statements given on the application, drawings, and inspections are to the best of their knowledge, true and correct. The undersigned further certifies their authorization to grant consent to the inspection by employees of the City of Cincinnati of the described premises at any time when work on those premises is ongoing and hereby grants their consent.

Applicant's Signature [Signature] Date Dec. 8, 2020

FOR OFFICE USE ONLY

Reviewed By:

Samantha McLean
City Planning Staff

Processing Fee \$1,000 - received

12/11/20
Date Application Complete

PLATTE

architecture + design

1810 CAMPBELL ALLEY | SUITE 300 | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 F: 513.871.1829

18 February 2021

Katherine Keough-Jurs
Director of the Department of City Planning
805 Central Ave.
Suite 720
Cincinnati, Ohio 45202

Ms. Keough-Jurs:

This letter is a revised request to our letter of 7 December 2020, incorporating revisions from recent Planning Commission and facilitated neighborhood meetings.


The three existing properties on Goethe Street, 141, 131 and 127-129, currently house the all-women recovery network of Having the Courage to Change, affiliated with City Gospel Mission. The recovery network has operated out of these buildings for over twenty years, and the time has come to expand to serve more people in our time of need. Goethe street is currently split into two separate zoning districts: RMX and SF-2. The existing properties at 141, 131, and 127-129 Goethe Street, at the west end, currently reside in the RMX district, while a proposed new structure at 211-219 Goethe Street would reside in the SF-2 district on the east end of the street. The proposed expansion of the program would be to move the Transitional 5-6 portion of the program to a new building at 211-219 Goethe Street, and for the existing buildings to become permanent, supportive, affordable housing for participants in the later phases of the program, or for those who have graduated the program.

The three existing buildings would be rehabilitated into permanent supportive housing, as well as one single family home with up to seven unrelated participants. 127-129 Goethe Street would be converted into 6 apartments, with one two-bedroom unit and five one-bedroom units. A laundry room will be included in the building for the tenants. 131 Goethe Street would be converted into 5, one-bedroom permanent supportive housing units with a communal gathering space, as well as on site laundry. 141 Goethe Street would remain a single-family home, that would house seven unrelated people. The current RMX district does not allow more than three dwelling units per building, which will be exceeded by both 127-129 and 131 Goethe Street. The zoning code also indicates that a single-family residence be made up of no more than 5 unrelated people living together, which would be exceeded by 141 Goethe Street. Parking for the residents of the new apartments and the single-family home with 7 unrelated people would be limited to 6 parking spaces. Due to the

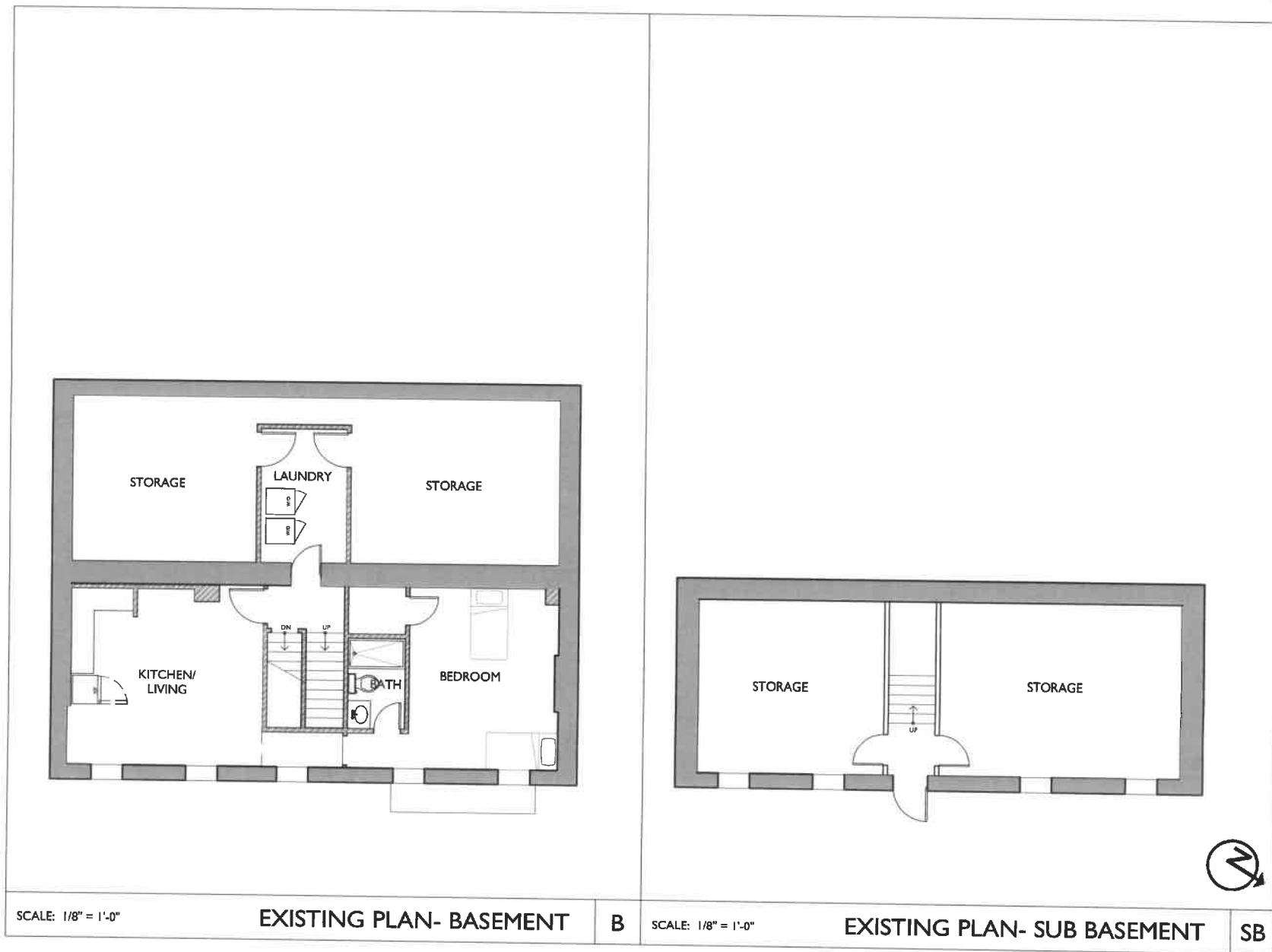
density of the street and the existing nature of the buildings, on street parking is all that can be provided.

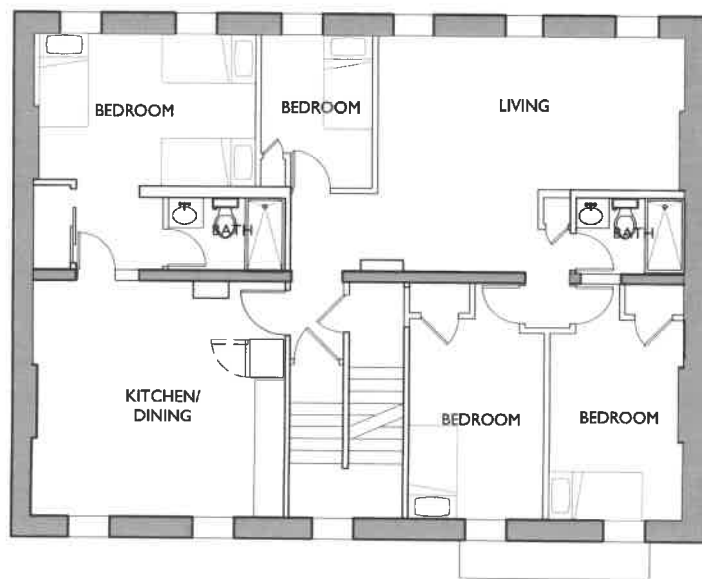
211-219 Goethe Street is proposed to be a 3-story building with walk out basement, that would house the first three phases of the 'Having the Courage to Change's' Women's recovery network. It would include classrooms, offices for staff, a large communal kitchen and dining room, and house up to 36 participants. The facility will be in an SF-2 zoned district, where level 5 and 6 Transitional Housing is not permitted. The proposed property also does not directly abut another zoning district where level 5 and 6 transitional housing is permitted, nor is the property large enough, at .147 acres, to meet the requirements for a PD district. Level 5 and 6 Transitional Housing is only permitted in OG, IR, DD, MG, CC-M, CC-A, and CG-A. To move the new facility into one of these zones would remove the participants from the established Campus and recovery network that is currently provided by the existing established buildings, and the community/support system that the neighbors on Goethe provide. The 36 possible participants, and staff, would also exceed the allowable density limitations of any of the allowable residential, or group residential uses in the area. The participants would not be permitted to have vehicles, but eight staff parking spaces will be required for the new facility, which would only be able to be provided as on street parking due to the Single-Family zone restricting parking lots.

Thank you for your time and consideration of our project, and your help in navigating this process so that City Gospel Mission can work to reach more women in their time of need.



Kurt Platte
Architect + Owner
Platte Architecture + Design

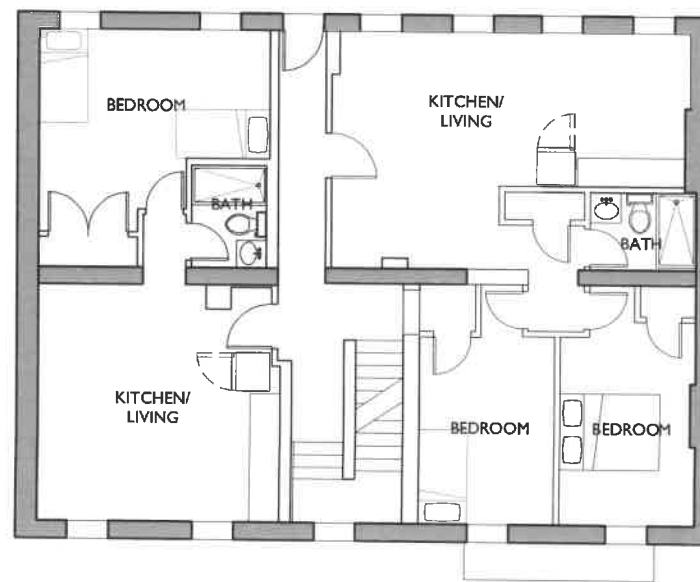




SCALE: 1/8" = 1'-0"

EXISTING - SECOND FLOOR

2



SCALE: 1/8" = 1'-0"

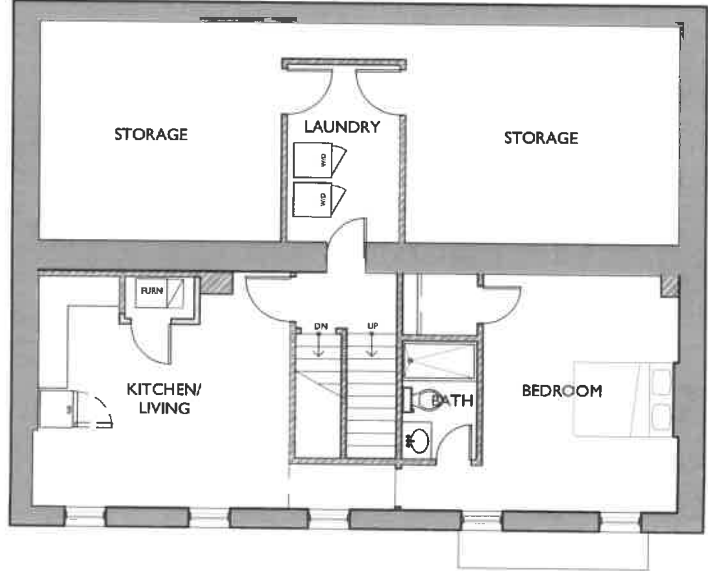
EXISTING - FIRST FLOOR

1

RENOVATIONS FOR:
COURAGE TO CHANGE
127-129 GOETHE
 10.14.2020

PLATTE
 architecture + design

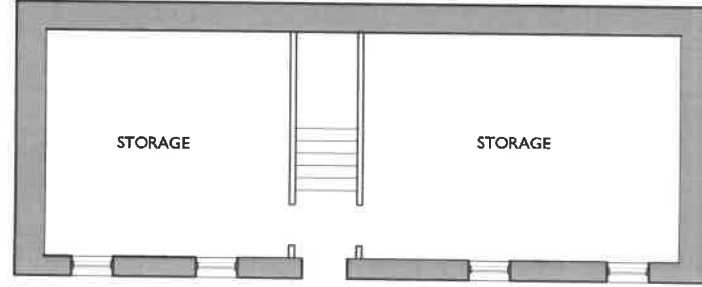
1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
 WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829



SCALE: 1/8" = 1'-0"

PROPOSED BASEMENT FLOOR

B



SCALE: 1/8" = 1'-0"

PROPOSED SUB BASEMENT FLOOR

SB

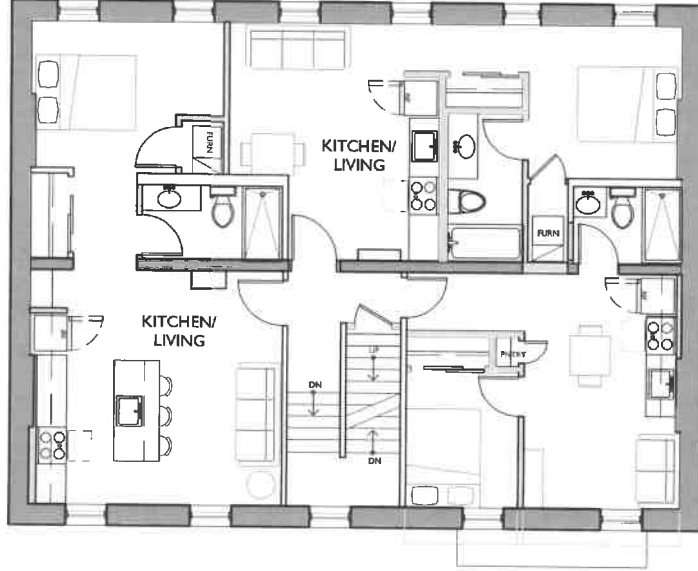


RENOVATIONS FOR:
COURAGE TO CHANGE
127-129 GOETHE
A1.0

10.14.2020

PLATTE
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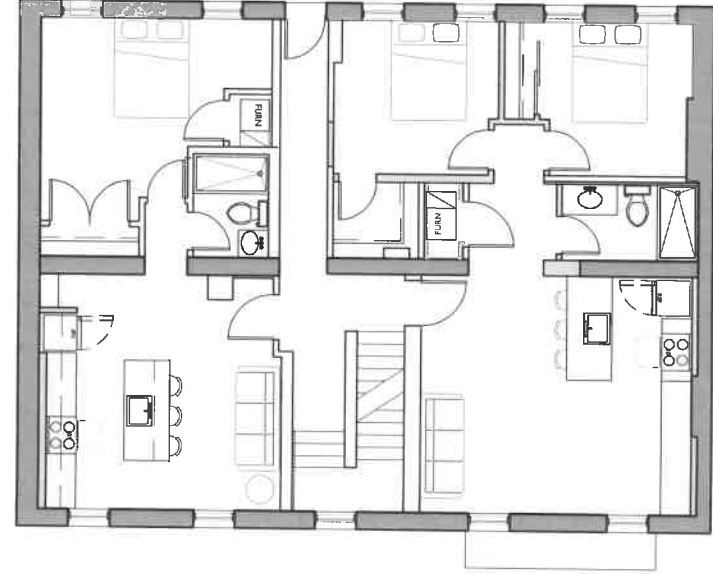
1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
 WWW.PLATTEDESIGN.COM | T: 513.871.1859 | F: 513.871.1829



SCALE: 1/8" = 1'-0"

PROPOSED SECOND FLOOR

2



SCALE: 1/8" = 1'-0"

FIRST FLOOR

1

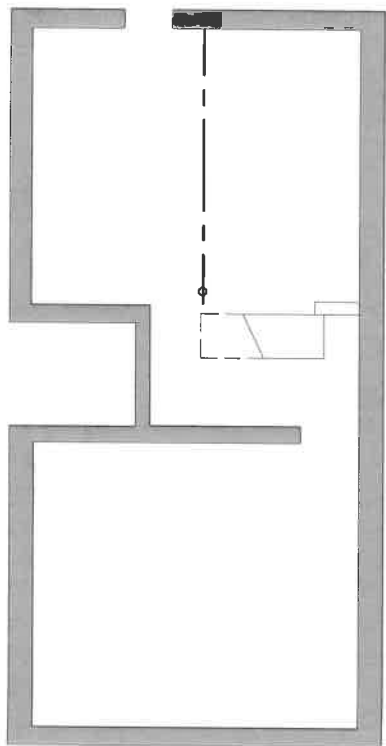


RENOVATIONS FOR:
COURAGE TO CHANGE
127-129 GOETHE
A.I.

10.14.2020

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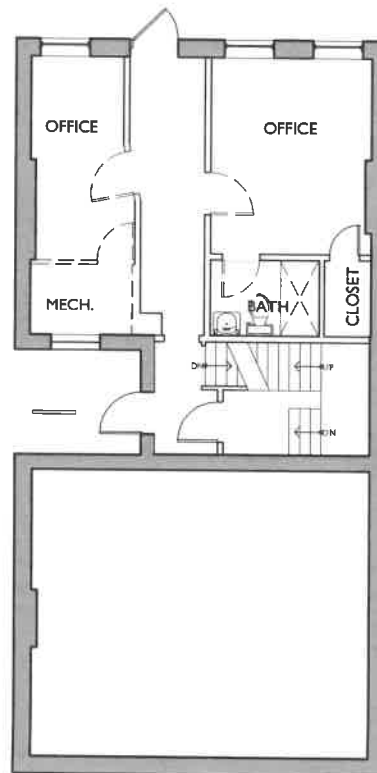
1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
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SCALE: 1/8" = 1'-0"

SUB-BASEMENT

SB



SCALE: 1/8" = 1'-0"

PROPOSED BASEMENT PLAN

B

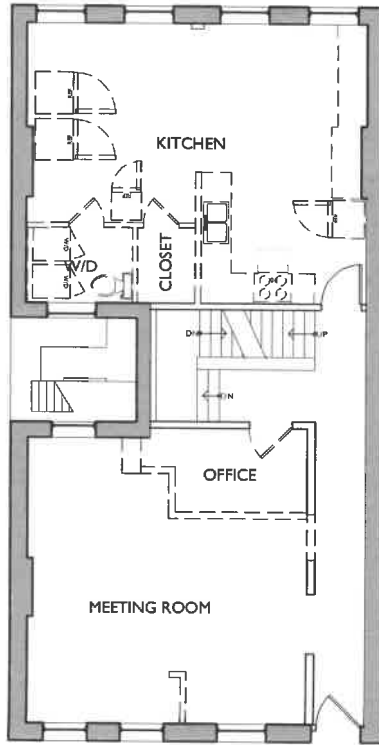


RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
 131 GOETHE ST.

PLATTE
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1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
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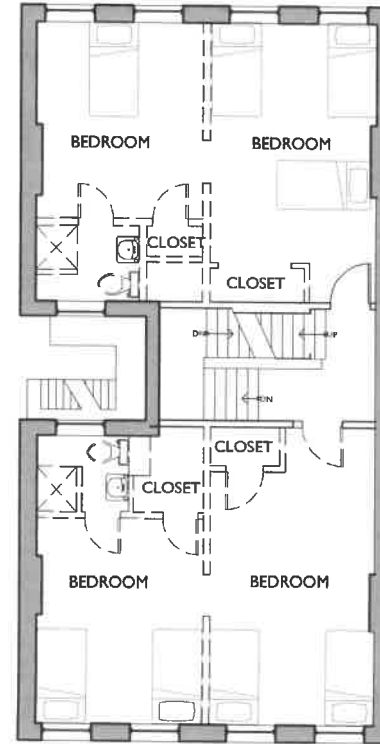
EXHIBIT D



SCALE: 1/8" = 1'-0"

EXISTING FIRST FLOOR

1



SCALE: 1/8" = 1'-0"

EXISTING SECOND FLOOR PLAN

2



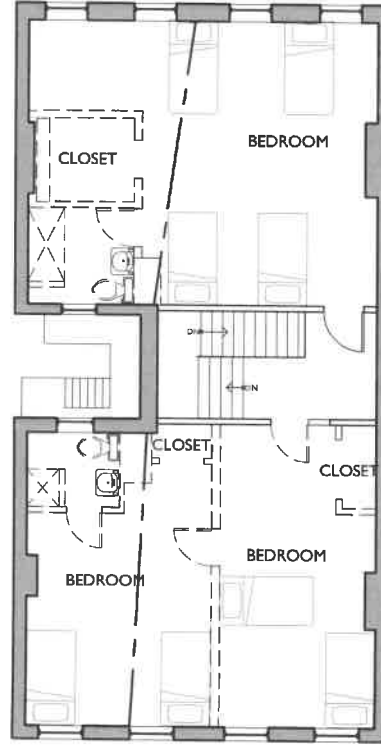
RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
 131 GOETHE ST.
 10.14.2020

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SCALE: 1/8" = 1'-0"

EXISTING THIRD FLOOR PLAN

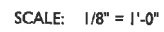


3

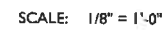
RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
131 GOETHE ST.
10.14.2020
XI.2

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1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
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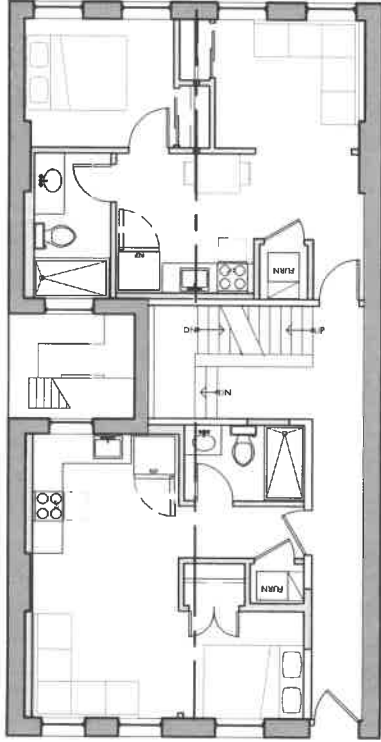
SB



B



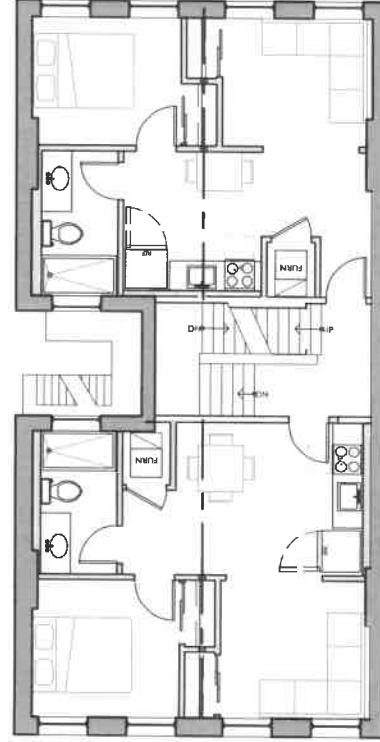
1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
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SCALE: 1/8" = 1'-0"

FIRST FLOOR

1



SCALE: 1/8" = 1'-0"

SECOND FLOOR

2



RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
 131 GOETHE ST.
 10.14.2020
A1.1

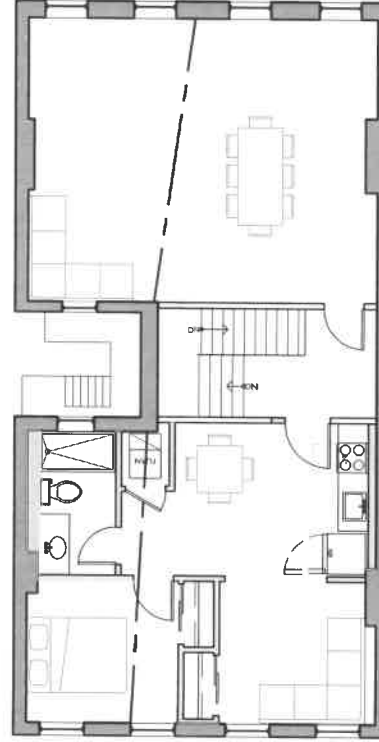
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SCALE: 1/8" = 1'-0"

THIRD FLOOR

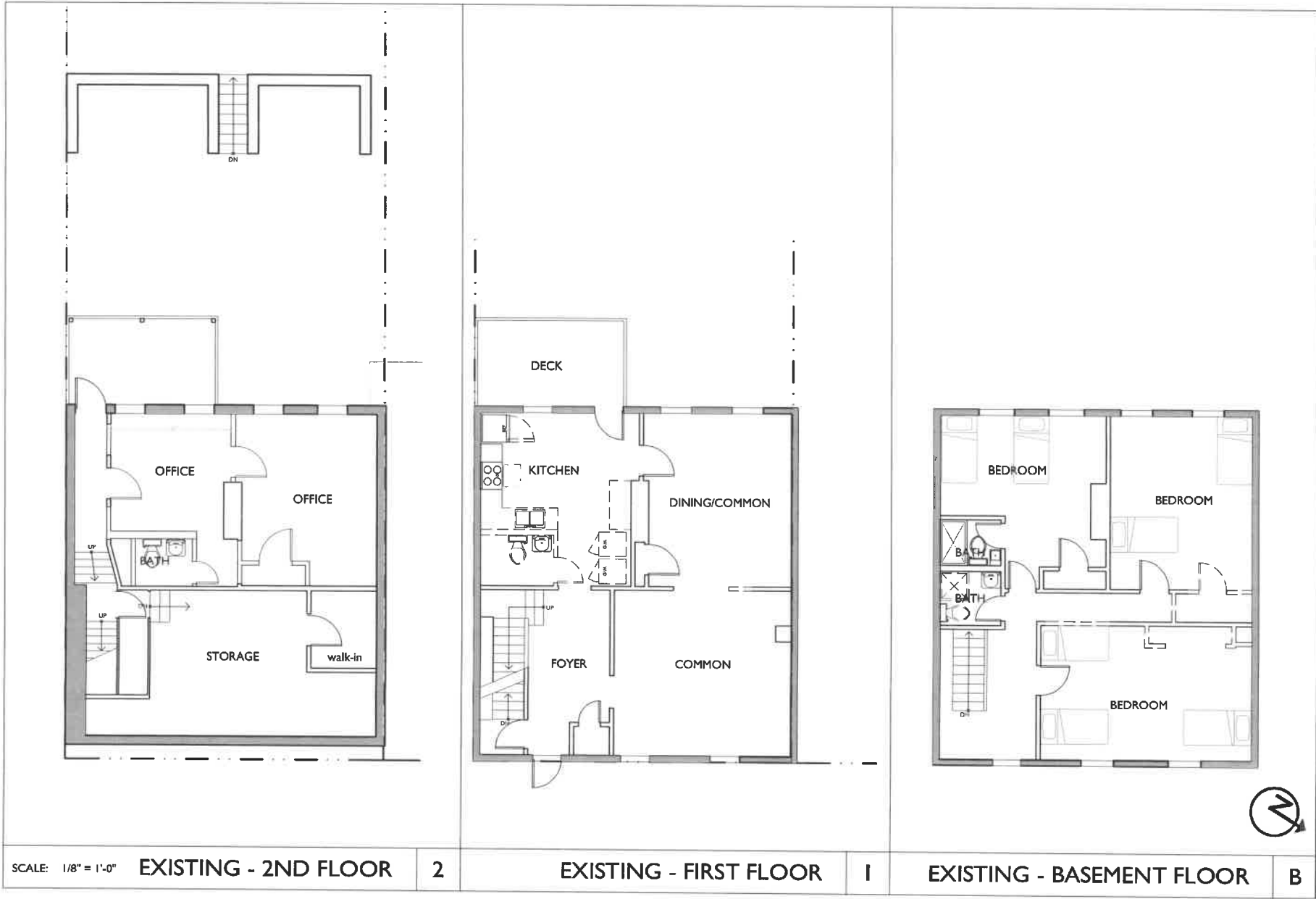
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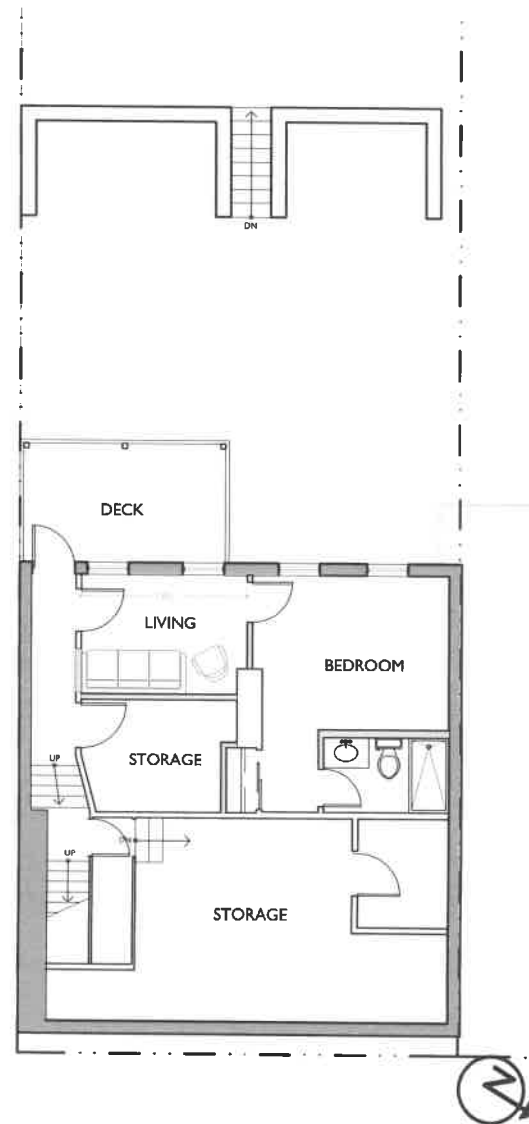
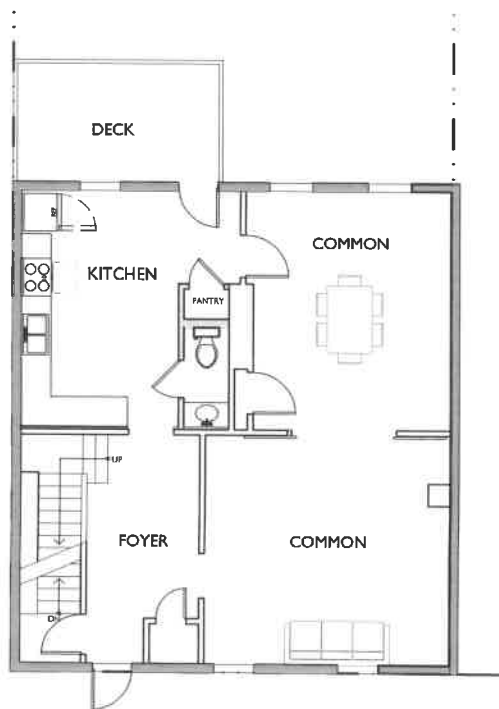
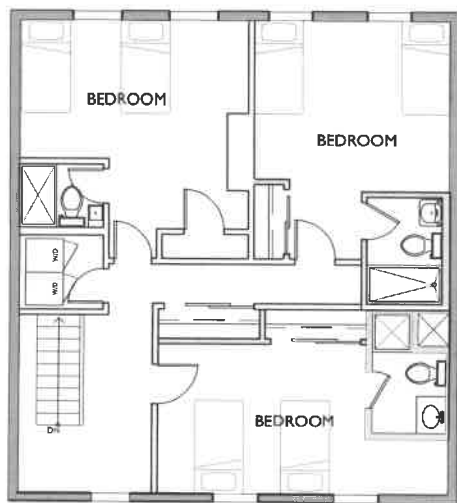


RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
131 GOETHE ST.
10.14.2020
A1.2

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SCALE: 1/8" = 1'-0" PROPOSED - 2ND FLOOR

2

PROPOSED - FIRST FLOOR

1

PROPOSED - BASEMENT FLOOR

B

RENOVATIONS/ADDITIONS/NEW BUILDING FOR:

COURAGE TO CHANGE
141 GOETHE ST.

10.14.2020

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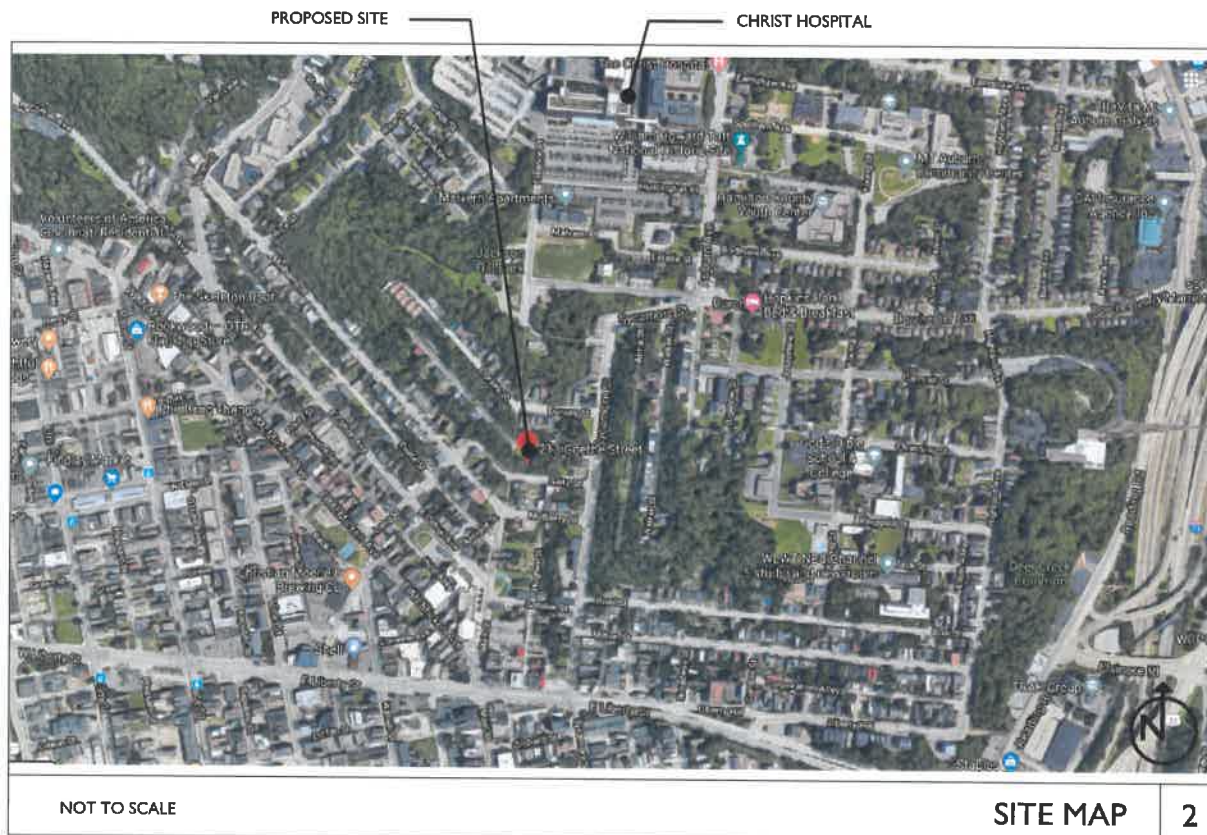
A1.0

ARCHITECT

PLATTE ARCHITECTURE + DESIGN
1810 CAMPBELL ALLEY, SUITE 300
CINCINNATI, OH 45202
(513) 871-1850

HAVING THE COURAGE TO CHANGE
NEW BUILDING

213-219 GOETHE STREET
CINCINNATI, OH 45202



SHEET LIST

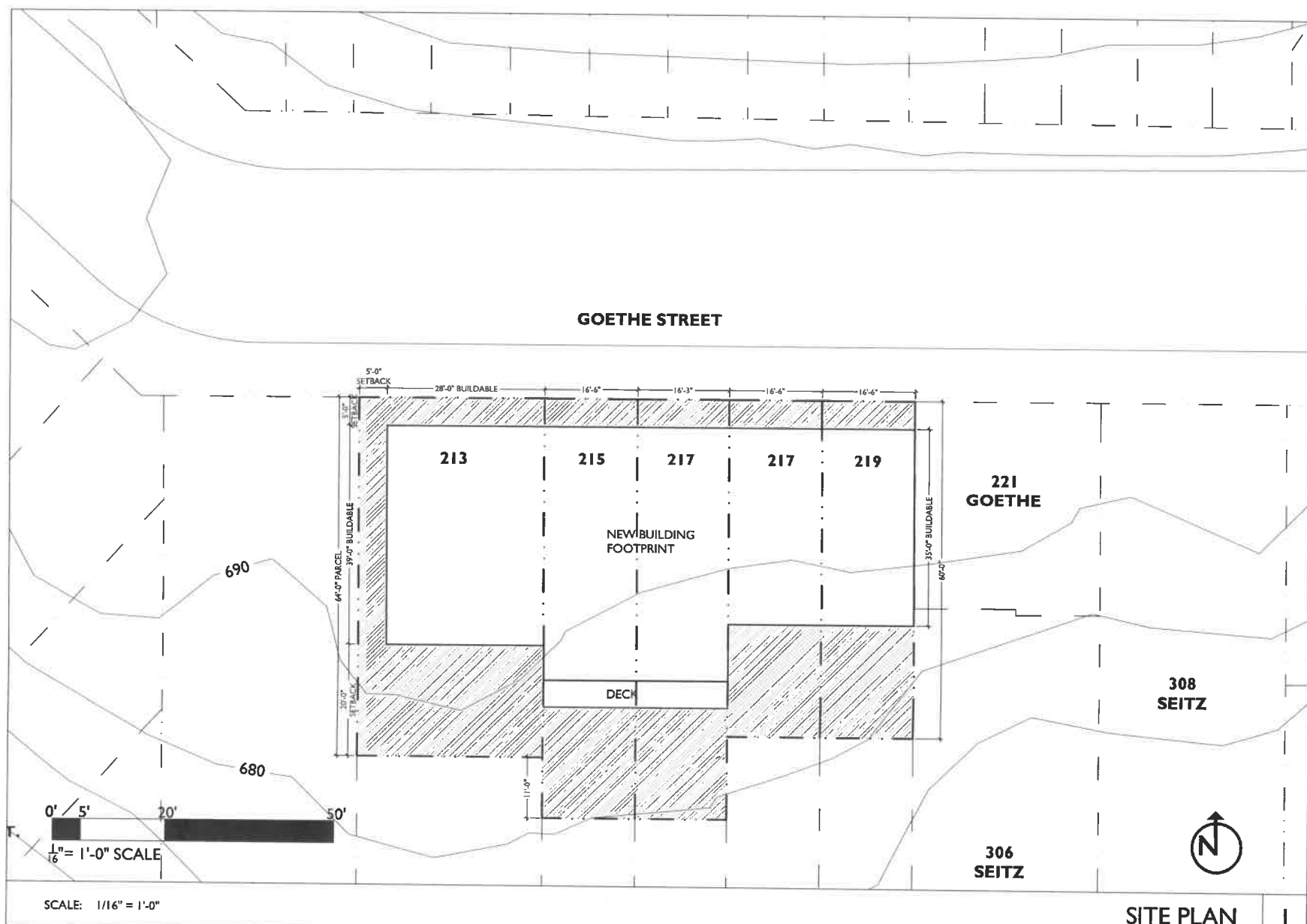
ARCHITECTURAL

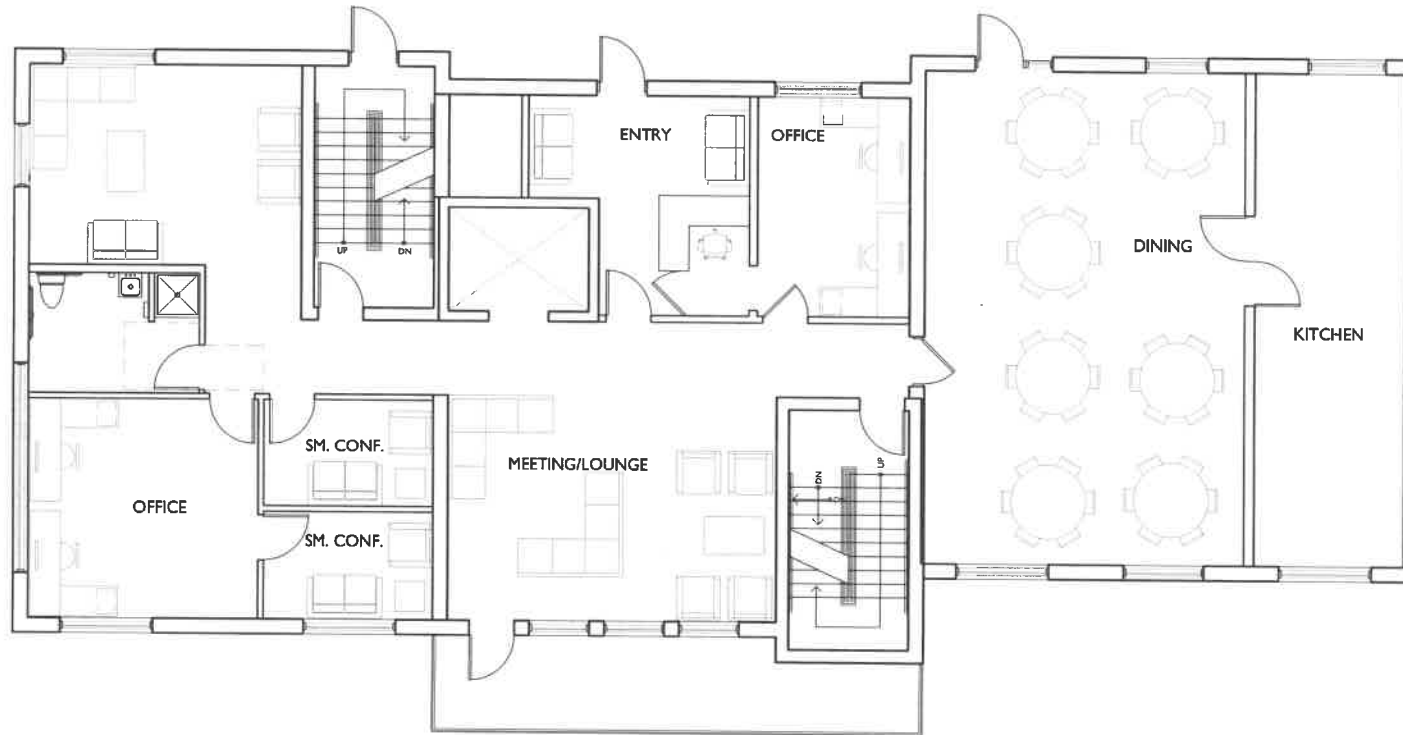
A0.00	COVER SHEET
A0.01	ENLARGED SITE PLAN
A1.0	BASEMENT FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A2.0	NORTH ELEVATION
A2.1	SOUTH ELEVATION

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NEW BUILDING FOR:
HAVING THE COURAGE TO CHANGE
213-219 GOETHE ST.
2.3.2020
A0.00





SCALE: 1/8" = 1'-0"

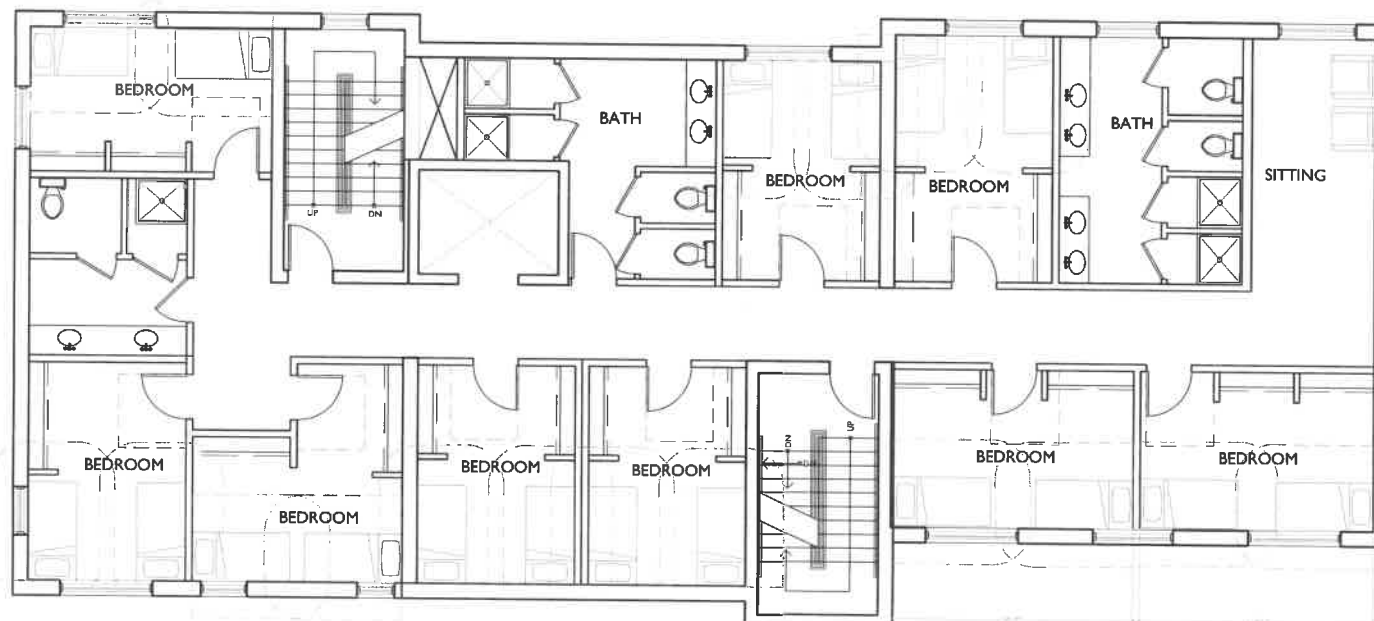
FIRST FLOOR PLAN

1

NEW BUILDING FOR:
Courage to Change
 211-219 GOETHE STREET
 2.18.2021

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SCALE: 1/8" = 1'-0"

SECOND + THIRD FLOOR PLAN

I

NEW BUILDING FOR:
Courage to Change
 211-219 GOETHE STREET
 2.18.2021
A1.12

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Having the Courage to Change

City Gospel Mission
211-219 Goethe Street



211-219 Goethe Street - 2003

Owned and Operated by City Gospel Mission | Demolished after 2003



211-219 Goethe Street - Proposed

New building









PLATTE

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To Whom it may Concern,

The below information is in regard to the proposed building at 211-219 Goethe Street in the Hillside Overlay District. The building would be a new facility for the first three phases of the *Having the Courage to Change*, an all women recovery network affiliated with City Gospel Mission. The proposed building, in an SF-2 zoned district, would be one building, that looks like three townhouses. The building is proposed to house up to 36 participants, as well as offices for staff, classrooms, and a large communal kitchen and dining room.

- Maximum Building Envelope according to 1433-17, and identify any proposed variances from it in the design –
 - *HS Rear Yard Setback.* Average rear yard setback of abutting structures on both sides; or the required rear yard setback of the underlying district if no abutting structure(s) exists. – **There are no adjacent structures. Rear yard setback is to be determined by SF-2. 20'-0"**
 - *The proposed building maintains the 20'-0" minimum rear yard setback. No exceptions are needed.*
 - *HS Side Yard Setback.* Average side yard setback of abutting structures on both sides; or the required least width side yard setback of the underlying district if no abutting structure(s) exists. – **There are no adjacent structures. Side yard setback is to be determined by SF-2. 0'15"**
 - *The proposed building maintains the minimum 0'15' side yard setbacks.*
 - *HS Front Yard Setback.* Average front yard setback of abutting structures on both sides; or the required front yard setback of the underlying district if no abutting structure(s) exists. – **There are no adjacent structures. Front yard setback is to be determined by SF-2. 5'-0"**
 - *The proposed building maintains the 5'-0" minimum front yard setback.*
 - *HS Height of Front.* Maximum height of the front of the structure; either the maximum height of the underlying zoning district or the average height of the front of abutting structures having the same street frontage as measured from the finished grade of the front of each abutting structure, whichever is greater. – **There are no adjacent structures. Maximum height is to be determined by SF-2. 35'-0"**

- *The maximum height of the proposed front of the building will not exceed the 35'-0" Maximum height.*
 - *HS Height of Rear.* Maximum height of the rear of the structure; either the maximum height of the underlying zoning district or the average height of the rear of abutting structures having the same street frontage as measured from the average grade, whichever is greater. – ***There are no adjacent structures. Maximum height is to be determined by SF-2. 35'-0"***
 - *The proposed rear of the building currently exceeds the maximum 35'-0" height limitation by 10'-0" and would require a variance to proceed with the current design.*
 - The maximum building envelope is the solid defined by vertical planes constructed at the HS rear, side and front yard setbacks and the plane between the HS height of front and the HS height of rear. – ***The maximum building envelope is not to exceed 135,957.50 cubic feet.***
 - *The proposed building envelope is 145,372.5 cubic feet and would exceed the maximum 135,957.50' cubic feet building envelope and would require a variance to proceed with the current design.*
- Demonstrate the Cumulative excavation and fill on the site, the existing proposed grades
 - **Excavation would be ~ 738.2 Cubic Feet/ 27.34 Cubic Yards. The excavation would be used to create relatively flat grades at the immediate rear side of the building.**
- Demonstrate and proposed retaining wall heights.
 - **Due to the sloping grade of the site, both from front to back and side to side, the proposed retaining wall heights would range from 1'-0" to 8'-0".**

Thank you for your time and review of the project at 211-219 Goethe Street, Cincinnati, OH 45202.

Kurt Platte
 Architect + Owner
 Platte Architecture + Design

***Alt & Witzig Engineering, Inc.***

6205 Schumacher Park Drive • West Chester, Ohio 45069

Phone: (513) 777-9890 • www.altwitzig.com

January 13, 2021

Platte Architecture + Design
1810 Campbell Alley, Suite 300
Cincinnati, Ohio 45202
Attn: Mr. Kurt Platte

RE: Subsurface Investigation &
Geotechnical Recommendations
Goethe Building
213-219 Goethe Street
Cincinnati, Ohio
Alt & Witzig File: 20CN0370

In compliance with your request, Alt & Witzig Engineering has completed a subsurface investigation for the above referenced project. The purpose of this subsurface investigation was to determine the various soil profile components and soil engineering characteristics for use to offer guidance on the design and construction for the new 3-story structure. The location of the borings are shown in Figure 1 below.

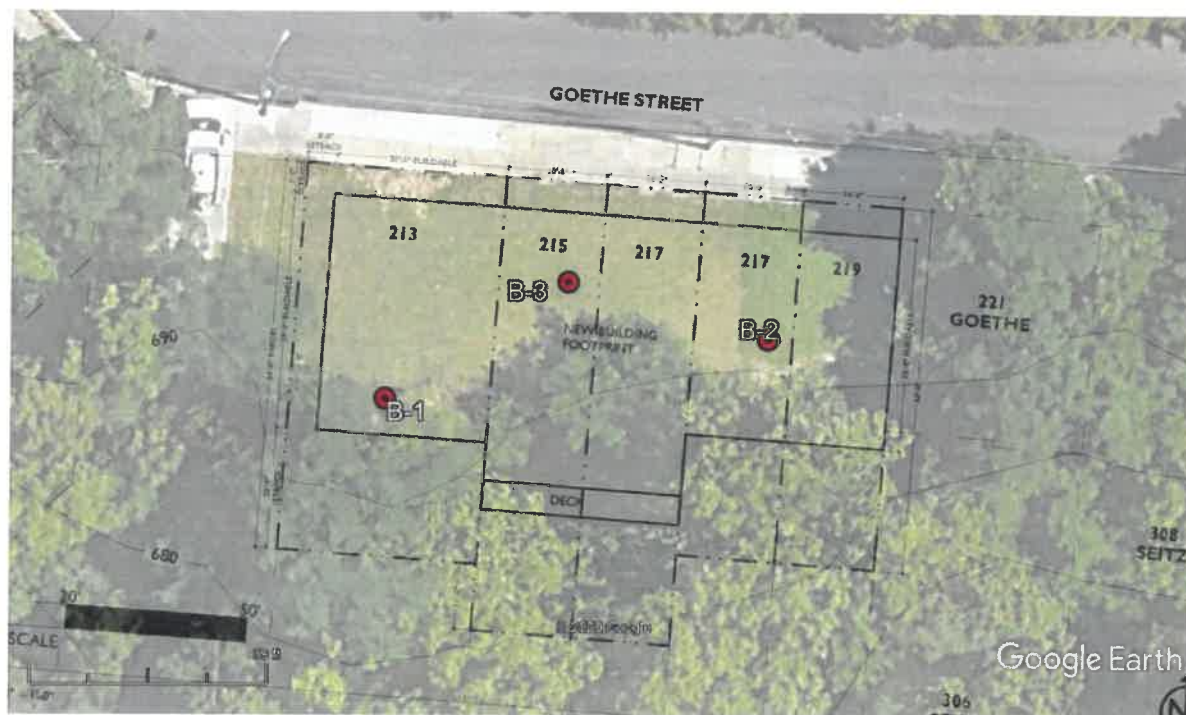


Figure 1: Boring Locations

Site Location/Description

The site is located at 213 through 219 Goethe Street in Cincinnati, Ohio. The approximate location of the site is shown on the enclosed *Site Location Map* presented in the appendix of the report.

The property consists of greenspace and wooded terrain towards the southern end of the property. A former structure occupied the site but was demolished in 2009. The site is relatively flat towards Goethe Street but starts sloping downwards from north to south towards Seitz Street at the rear of the property. The elevations across the proposed building pad vary from approximately 696 to 685 sloping north to south. However, the site continues to slope downward beyond the property towards Seitz Street from approximate elevations 685 to 650. The slope varies in inclination between 2.5 (H:V) and 1.5 (H:V).

The new structure will be 3-stories in height with a walkout basement to the south. However, the finished floor elevation has not been established at this time. Once a grading plan is developed, it should be provided to Alt & Witzig Engineering for review and to confirm the recommendations provided in the report.

General Soil Conditions

The borings encountered 2.0 to 3.0 inches of topsoil. Beneath the surface materials, existing fill soils were encountered. Possible fill soils were encountered in boring B-1 to approximately 1.5 feet and existing fill soils were encountered in borings B-2 and B-3 to approximately 7.5 feet. The existing fill soils encountered in borings B-2 and B-3 consisted of dark brown and brown clay with varying amounts of construction debris (brick, asphalt, concrete). Beneath the possible fill soils in boring B-1, native brown clay with varying amounts of limestone was encountered. Brown/gray weathered shale bedrock was encountered in the borings between 6.0 and 7.5 feet below the existing ground surface. Auger refusal on the shale bedrock was encountered at approximately 16.0 feet in each of the borings.

Site Preparation

At no time should any spoils be placed upon the existing slope without the approval of the soil engineer. All spoils should be removed to reduce the risk of over-loading the slope inducing failure. Any changes in conditions such as cuts in the slope, redirected drainage patterns, and construction activities will have a direct influence on the performance of the slope. It will be necessary to use proper erosion control methods (temporary and permanent). All drainage such as roof drains, road drains, and sump pumps should be channeled to the side property line. Erosion control such as riprap protection at the end of the downspouts and sump pump lines should be considered.

Foundation Recommendations

Due to the sloping nature south of the property, a drilled pier foundation system will be required to support the structure. Drilled piers should have a minimum diameter of 24 inches, a minimum length of 10 feet, and a minimum socket of 5 feet into the brown and gray weathered shale. A net allowable bearing pressure of 15,000 psf can be utilized to design the drilled piers. Piers must be reinforced with full length reinforcement cages to account for the lateral pressures of the slope. Prior to placement of concrete, the material from the bottom of the caisson should be inspected by a representative of Alt & Witzig Engineering. This inspection is to verify that each caisson is being founded on adequate bearing materials and drilled to the proper length. **Lateral pressures can be finalized once further development plans are generated. A slope stability analysis of the proposed conditions will be required to finalize the geotechnical recommendations and lateral design parameters.**

Seismic Parameters

An evaluation of the seismic site class has been performed for this site. The Ohio Building Code indicates that the seismic site class is determined by averaging soil conditions within the top 100 feet with respect to the shear wave velocity. This evaluation is based on data obtained on soil to termination of the borings and knowledge of soils in the area. Based on the field and laboratory tests performed on the encountered subsurface materials to boring termination, this site should be considered a Site Class B in accordance with the current Ohio Building Code. Seismic acceleration parameters of $S_s=0.145g$ and $S_1=0.077g$ can be utilized for design, assuming the building has risk category of 1, 2, or 3.

Lateral Earth Pressures on Basement Walls

The new structure will include below grade walls for the walkout basement. The basement walls must be designed to resist the lateral earth pressures applied by the soils on the exterior of the residence. The sidewalls of the home can be designed as a pinned connection at the top and bottom of the wall. However, the northern basement wall (front) should be designed being pinned at the base and not pinned at the top. This is due to the lack of reaction force (backfill) on the southern end of the residence due to the walkout basement.

Eighteen (18) inches or more of a well graded granular fill between natural soils and the walls. The backfill material should be clean sand and gravel containing less than 12 percent fines by weight. To minimize the potential of precipitation entering into this system, it is recommended that a cohesive clay cap be constructed from the surface to 18 inches below final grade.

Assuming the unit weight of the backfill is 120 pcf, a $k_o = 0.50$ would correspond to an equivalent fluid pressure of 60 pcf per foot of wall height. This equivalent fluid pressure would increase linearly from 0 psf at ground surface to a maximum at the bottom of the basement. The above pressures are applicable during a fully drained condition.

If loads such as parking, floor slab or footing loads are placed adjacent to the walls, then the structural design of the walls must include these surcharge loads in addition to the lateral earth pressure.

A permanent subsurface drainage system should be installed around the perimeter of the basement. The perimeter drainage system should consist of a 4-inch perforated drain tile placed adjacent to the footings for the basements. Twelve (12) inches of clean gravel must be placed around the drain tile. The fill material placed adjacent to the basement walls should be a free draining granular fill material. Gravity drainage is the most cost-efficient method of removing groundwater, however, if the perimeter drain system cannot have a gravity outlet, a sump pit should be installed to capture and remove water collected with the drain. All basement areas should be waterproofed to minimize potential seepage of groundwater into the basement area.

The recommendations provided herein were based on our understanding of the project and the results of field and laboratory testing. If we can give further service in these matters, please contact us at your convenience.

Respectfully Submitted,
ALT & WITZIG ENGINEERING, INC.

Kyle Spoelker

Kyle Spoelker, P.E.
Project Engineer

Dustin Horn

Dustin M. Horn, P.E.
Principal Engineer



APPENDIX

RECOMMENDED SPECIFICATIONS FOR COMPACTED FILLS AND BACKFILLS

All fill shall be formed from material free of vegetable matter, rubbish, large rock, and other deleterious material. Prior to placement of fill, a sample of the proposed fill material should be submitted to the soil engineer for his approval. The fill material should be placed in layers not to exceed eight (8) inches in loose thickness and should be sprinkled with water as required to secure specified compactions. Each layer should be uniformly compacted by means of suitable equipment of the type required by the materials composing the fill. Under no circumstances should a bulldozer or similar tracked vehicles be used as compacting equipment. Material containing an excess of water so the specified compaction limits cannot be attained should be spread and dried to a moisture content that will permit proper compaction. All structural fill should be compacted to 98% of the maximum density obtained in accordance with ASTM density Test D-698. Should the results of the in-place density tests indicate that the specified compaction limits are not obtained, the areas represented by such tests should be reworked and retested as required until the specified limits are reached.

SITE LOCATION MAP



PROJECT: 213-219 Goethe Building
LOCATION: Cincinnati, Ohio
CLIENT: Platte Architecture + Design
Alt & Witzig Engineering File No.: 20CN0370

AW Alt & Witzig Engineering, Inc.
6205 Schumacher Park Drive
Cincinnati, OH 45069
TEL (513) 777-9890 • FAX (513) 777-9070
www.altwitzig.com

BORING LOCATION MAP



PROJECT: 213-219 Goethe Building
LOCATION: Cincinnati, Ohio
CLIENT: Platte Architecture + Design
Alt & Witzig Engineering File No.: 20CN0370

Alt & Witzig Engineering, Inc.
6205 Schumacher Park Drive
Cincinnati, OH 45069
TEL (513) 777-9890 · FAX (513) 777-9070
www.altwitzig.com



BORING LOG

Alt & Witzig Engineering, Inc.

CLIENT **Platte Architecture + Design**

BORING # **B-1**

PROJECT NAME **Goethe Building**

ALT & WITZIG FILE # **20CN0370**

PROJECT LOCATION **Cincinnati, Ohio**

DRILLING and SAMPLING INFORMATION

Date Started **1/7/21** Hammer Wt. **140** lbs.

Date Completed **1/7/21** Hammer Drop **30** in.

Boring Method **HSA** Spoon Sampler OD **2** in.

Driller **J. Roark** Rig Type **D-50 Track ATV**

TEST DATA

STRATA ELEV.	SOIL CLASSIFICATION	Strata Depth	Depth Scale	Sample No.	Sample Type	Sampler Graphics Recovery Graphics	Ground Water	Standard Penetration Test, N - blows/foot	Qu-1sf Unconfined Compressive Strength	PP-1sf Pocket Penetrometer	Moisture Content % Dry Unit Weight (pcf)	Remarks
	TOPSOIL 3.0"	0.3										
	Brown Silty CLAY with Organics (Possible Fill)	1.5										
	Brown CLAY with Limestone Cobble			1	SS			50/3		4.5	9.3	
			5	2	SS			50/4				
		6.0										
	Brown Weathered Shale with Limestone Cobble			3	SS			77		4.5	14.9	
		10.0	10	4	SS			63		4.5	13.3	
	Brown/Gray Weathered Shale with Limestone Cobble											
		14.5		5	SS			50/5		4.5		
	Gray Weathered Shale		15									
	Auger Refusal @ 16.0' End of Boring at 16 feet	16.0										

Sample Type

SS - Driven Split Spoon
ST - Pressed Shelby Tube
CA - Continuous Flight Auger
RC - Rock Core
CU - Cuttings
CT - Continuous Tube

Groundwater

○ During Drilling Dry ft.
▽ At Completion Dry ft.

Boring Method

HSA - Hollow Stem Augers
CFA - Continuous Flight Augers
DC - Driving Casing
MD - Mud Drilling



BORING LOG

Alt & Witzig Engineering, Inc.

CLIENT **Platte Architecture + Design**

BORING # **B-2**

PROJECT NAME **Goethe Building**

ALT & WITZIG FILE # **20CN0370**

PROJECT LOCATION **Cincinnati, Ohio**

DRILLING and SAMPLING INFORMATION

Date Started **1/7/21** Hammer Wt. **140** lbs.

Date Completed **1/7/21** Hammer Drop **30** in.

Boring Method **HSA** Spoon Sampler OD **2** in.

Driller **J. Roark** Rig Type **D-50 Track ATV**

TEST DATA

STRATA ELEV.	SOIL CLASSIFICATION	Strata Depth	Depth Scale	Sample No.	Sample Type	Sampler Graphics Recovery Graphics	Ground Water	Standard Penetration Test, N - blows/foot	Qu-tsif Unconfined Compressive Strength	PP-tsif Pocket Penetrometer	Moisture Content % Dry Unit Weight (pcf)	Remarks
	TOPSOIL 2.0"	0.2										
	Dark Brown CLAY with Organics, Brick, Concrete (FILL)			1	SS			18		2.0	24.2	
			5	2	SS			12				
		7.5		3	SS			29		4.5	9.8	
	Brown Weathered Shale with Limestone Cobble		10	4	SS			83		4.5	9.8	
		13.5										
	Brown/Gray Weathered Shale		15	5	SS			50/4				
	Auger Refusal @ 16.0' End of Boring at 16 feet	16.0										

Sample Type

SS - Driven Split Spoon
 ST - Pressed Shelby Tube
 CA - Continuous Flight Auger
 RC - Rock Core
 CU - Cuttings
 CT - Continuous Tube

Groundwater

○ During Drilling Dry ft.
 ∇ At Completion Dry ft.

Boring Method

HSA - Hollow Stem Augers
 CFA - Continuous Flight Augers
 DC - Driving Casing
 MD - Mud Drilling



BORING LOG

Alt & Witzig Engineering, Inc.

CLIENT **Platte Architecture + Design**

BORING # **B-3**

PROJECT NAME **Goethe Building**

ALT & WITZIG FILE # **20CN0370**

PROJECT LOCATION **Cincinnati, Ohio**

DRILLING and SAMPLING INFORMATION

Date Started **1/7/21** Hammer Wt. **140** lbs.

Date Completed **1/7/21** Hammer Drop **30** in.

Boring Method **HSA** Spoon Sampler OD **2** in.

Driller **J. Roark** Rig Type **D-50 Track ATV**

TEST DATA

STRATA ELEV.	SOIL CLASSIFICATION SURFACE ELEVATION	Strata Depth	Depth Scale	Sample No.	Sample Type	Sampler Graphics Recovery Graphics	Ground Water	Standard Penetration Test, N - blows/foot	Qu-tsrf Unconfined Compressive Strength	PP-tsrf Pocket Penetrometer	Moisture Content % Dry Unit Weight (pcf)	Remarks
	TOPSOIL 2.0"	0.2										
				1	SS			21				
	Brown CLAY with Limestone Cobble, Concrete, Asphalt, Brick (FILL)		5	2	SS			20				
		7.5		3	SS			35		4.5	12.1	
			10	4	SS			50/5		4.5	12.9	
	Brown Weathered Shale			5	SS			50/3		4.5	11.6	
		15.5	15	6	SS			81		4.5	12.3	
	Brown/Gray Weathered Shale Auger Refusal @ 16.0' End of Boring at 16 feet	16.0										

Sample Type

SS - Driven Split Spoon
ST - Pressed Shelby Tube
CA - Continuous Flight Auger
RC - Rock Core
CU - Cuttings
CT - Continuous Tube

Groundwater

○ During Drilling Dry ft.
▽ At Completion Dry ft.

Boring Method

HSA - Hollow Stem Augers
CFA - Continuous Flight Augers
DC - Driving Casing
MD - Mud Drilling

GENERAL NOTES

SAMPLE IDENTIFICATION

The Unified Soil Classification System is used to identify the soil unless otherwise noted.

SOIL PROPERTY SYMBOLS

- N: Standard "N" penetration: Blows per foot of a 140 pound hammer falling 30 inches on a 2 inch O.D. split-spoon.
- Qu: Unconfined compressive strength, TSF
- Qp: Penetrometer value, unconfined compressive strength, TSF
- Mc: Water content, %
- LL: Liquid limit, %
- PL: Plastic limit, %
- Dd: Natural dry density, PCF
- : Apparent groundwater level at time noted after completion

DRILLING AND SAMPLING SYMBOLS

- SS: Split-spoon - 1 3/8" I.D., 2" O.D., except where noted
- ST: Shelby tube - 3" O.D., except where noted
- AU: Auger sample
- DB: Diamond bit
- CB: Carbide bit
- WS: Washed sample

RELATIVE DENSITY AND CONSISTENCY CLASSIFICATION

<u>TERM (NON-COHESIVE SOILS)</u>	<u>BLOWS PER FOOT</u>
Very loose	0 - 4
Loose	5 - 10
Firm	11 - 30
Dense	31 - 50
Very Dense	Over 50

<u>TERM (COHESIVE SOILS)</u>	<u>Qu (TSF)</u>
Very soft	0 - 0.25
Soft	0.25 - 0.50
Medium	0.50 - 1.00
Stiff	1.00 - 2.00
Very Stiff	2.00 - 4.00
Hard	4.00+

PARTICLE SIZE

Boulders	8 in.(+)	Coarse Sand	5 mm-0.6 mm	Silt	0.075 mm - 0.005 mm
Cobbles	8 in. - 3 in.	Medium Sand	0.6mm-0.2 mm	Clay	0.005mm(-)
Gravel	3 in. - 5 mm	Fine Sand	0.2mm-0.075 mm		

EXHIBIT J



February 22, 2021

To: Katherine Keough-Jurs, Director of City Planning

From: Art Dahlberg, Director of Buildings and Inspections

Subject: Notwithstanding Ordinance Application 127-129, 131, 141, and 211-219
Goethe Street

This memorandum serves as an analysis of the zoning relief required for the proposed renovation and new construction at 127-129, 131, 141, and 211-219 Goethe Street. The proposed work is intended to improve and expand the existing transitional housing recovery network located on Goethe Street, Having Courage to Change, affiliated with City Gospel Mission.

Existing Conditions:

The subject property is comprised of four different sites on Goethe Street. Three of the sites have existing structures that currently contain a total of six units and 35 beds, and one site is a vacant parcel.

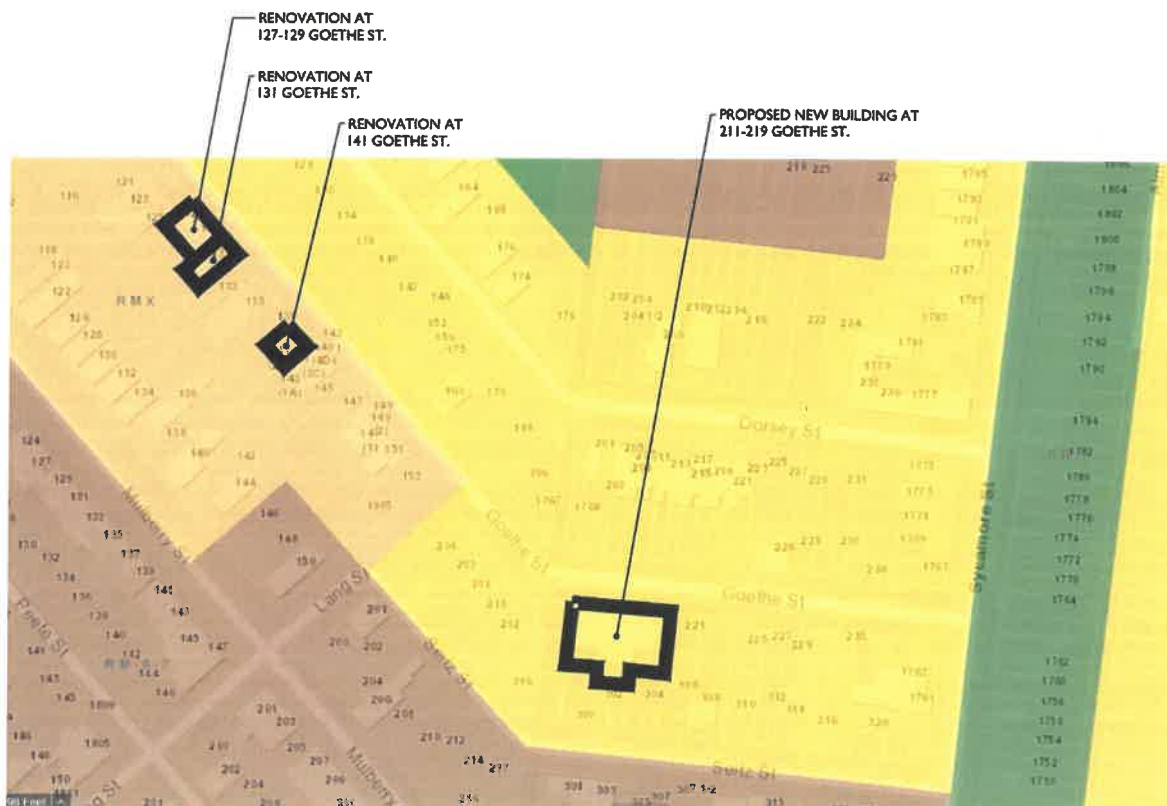
The three existing structures are zoned RMX and in the hillside overlay. The surrounding zoning of these three sites is single family to the north and RMX to the south. The vacant site is zoned SF-2 and is also in the hillside overlay. The surrounding zoning for the vacant site is single family on all four sides.

The surrounding existing land uses along Goethe Street are single family homes with several new single family homes built recently. The topography for all four sites slopes downward from the street towards the rear of each parcel with a slope of approximately 25%.

Please see the following images on the next page with the subject properties highlighted.



Aerial showing subject property outlined in red. Four separate properties on the south side of Goethe Street. Sycamore Street is on the right side of the aerial.



Zoning map showing subject properties outlined in black. Four separate properties on the south side of Goethe Street.

Details of Zoning Relief Required and Analysis for each site

The properties are located within the Hillside Overlay District. For the existing buildings at 127-129, 131, and 141 Goethe Street, the proposed renovations do not expand the existing footprint or height of the building, nor do any grading, and as such the proposed renovations meet the Hillside Base Development Requirements of 1433-19. For the proposed new construction at 211-219 Goethe Street, a geotechnical evaluation was prepared by Alt & Witzig Engineering Inc. and is provided in the application materials. The technical review of the Hillside Standards will occur during the building permit review, once foundation and retaining wall designs have been finalized. The Hillside analysis included in this memorandum is approximate and based on the available information.

The provided plans are schematic in nature, and elements such as refuse storage and fencing are not illustrated and no analysis could be completed to determine if they meet the Zoning Code or will require relief.

127 – 129 Goethe – Existing structure - Zoned RMX and Hillside Overlay

Section 1405-05 - Use variance from the RMX zoning district's permitted land uses to allow a transitional housing use (T 5 and/or T 6) in the RMX zone as a principal use. Transitional housing is permitted as an accessory use to a public or semi-public use, but the RMX zoning district prohibits transitional housing as a principal use. Currently, the parcel is a four unit structure with 12 beds within a three story 5,000 SF building. RMX zoning only permits up to three dwelling units per building, and six units of transitional housing with seven beds are proposed.

The proposal formalizes the permission for the existing transitional housing use as a principal use and permits the proposed renovation of the structure into a six unit structure with seven beds. This is an increase of two additional units, but a decrease in beds. The reconfigured units customize the space into a more useful configuration which aligns with the applicant's mission.

Section 1425-19 part A - Parking variance of two spaces based on the one space per facility plus one space per eight beds. Based on the proposed seven beds, a total of two spaces would be required and zero spaces are provided. The parking variance formalizes the existing situation of using on-street parking for residents.

The subject property contains two separate addresses and two separate parcels. Consolidation of two existing parcels into one parcel so the structure does not straddle a parcel line, or another approved means which satisfies building code requirements, will be required so one of the parcels does not get sold independently of the other parcel.



Street view of 127- 129 Goethe Street, the red brick building.

131 Goethe – Existing structure - Zoned RMX and Hillside Overlay

Section 1405-05 - Use variance from the RMX zoning district's permitted land uses to allow a transitional housing use (T 5 and/or T 6) in the RMX zone as a principal use. Transitional housing is permitted as an accessory use to a public or semi-public use, but the RMX zoning district prohibits transitional housing as a principal use. Currently, the parcel is a one unit structure with 16 beds within a four story 4,000 SF building. RMX zoning only permits up to three dwelling units per building, and five units with five beds are proposed.

The proposal formalizes the permission for the existing transitional housing use as the principal use, and permits the proposed renovation of the structure into five units and five beds. This is an increase of four additional units but a decrease in beds. The reconfigured units customize the space into a more useful configuration which aligns with the applicant's mission.

Section 1425-19 part A - Parking variance of two spaces based on the one space per facility plus one space per eight beds. Based on the five beds, a total of two spaces would be required and zero spaces are provided. The parking variance formalizes the existing situation of using on-street parking for residents.



Street view of 131 Goethe Street, the yellow brick building.

141 Goethe – Existing structure - Zoned RMX and Hillside Overlay

Section 1405-05 - Use variance from the RMX zoning district's permitted land uses to allow a transitional housing use (T 5 and/or T 6) in the RMX zone as a principal use. Transitional housing is permitted as an accessory use to a public or semi-public use, but the RMX zoning district prohibits transitional housing as a principal use. Currently, the parcel is a one unit structure with seven beds within a three story 2,500 SF building.

The proposal formalizes the permission for the existing transitional housing use as a principal use and permits the proposed renovation of the structure as one unit and seven beds. This does not increase the number of units or beds. The current parcel is one parcel totaling 29' x 100' = 2,900 SF and conforms to the RMX lot size requirement to have one unit on the parcel.

Section 1425-19 part A - Parking variance of two spaces based on the one space per facility plus one space per eight beds. Based on the seven beds, a total of two spaces would be required and zero spaces are provided. The parking variance formalizes the existing situation of using on-street parking for residents.



Street view of 141 Goethe Street.

211- 219 Goethe - Vacant parcel - Zoned SF-2 and Hillside Overlay

Section 1403-05 – Use variance from the SF-2 zoning district's permitted land uses to allow a transitional housing use (T 5 and/or T 6) in the SF-2 single family zone. Single family zoning districts prohibit transitional housing. The proposed transitional housing facility has 36 beds within 18 bedrooms, 7 bathrooms, a kitchen and dining area, meeting rooms, lounge area, library, gym and offices.

Section 1425-19 part A – Parking variance of five spaces based on the one space per facility plus one space per eight beds. Based on the 36 beds, a total of five spaces would be required and zero spaces are provided.

Hillside Review is required for the following items:

Section 1433-17 part A – Rear Setback Variance of approximately 15' to allow a rear setback of approximately five feet to a deck that extends out from the building façade at the first floor.

Section 1433-17 part D and E – Height Variance of approximately 3' at the mid-point of the roof. Height is measured from the existing grade at the front façade (696 ASL) and rear façade (685 ASL) and has a 35' limit at those two points with a line struck between those two points that is the top of the building envelope. Based on the existing grades noted, the top of the building envelope slopes between approximately 720 ASL at the rear

façade up to approximately 731 ASL at the front facade. The roof at the rear façade is at approximately 726 ASL and at the front is approximately 731 ASL with the mid-point of the roof being approximately 728 ASL. The difference between the top of the envelope and the mid-point of the sloped roof is approximately three feet (top of envelope at mid-point location is approximately 725 ASL). The height at the front façade appears conforming to the 35' height limit.

Section 1433-19 part G – Cut/Excavation Variance of approximately 7' to allow a 15' cut from the existing grade of approximately 696 ASL at the front façade to the bottom of the footer at approximately 683 ASL. This is at the front façade location which is the largest amount of cut. Overall, the cut ranges from about two or three feet at the rear façade to the 15' cut at the front façade. The rear of the footprint does not need any fill.

Please note, the drawings provided are schematic and a geotechnical analysis was prepared in January. Final foundation designs and retaining walls will be developed in accordance with the recommendations of the geotechnical report. The relief identified above is approximate, and may vary with the final foundation and retaining wall design.

Hillside Review Analysis

Section 1433-19 Base Hillside Development Requirements and 1433-23 Hillside Development Standards.

Consideration of the following standards is required to ensure harmonious relationships with adjacent buildings and the hillside environment as noted in the hillside overlay code. The following analysis is regarding the proposed new 14,000 SF four story structure at 211-219 Goethe Street.

- (a) Avoid cuts in the hillside if they would leave cliff-like vertical slopes and excessively high retaining walls.

Any redevelopment on the site would most likely require a cut/fill variance due to the 25% slopes, which is a steep slope. The design minimizes the cut needed to provide a basement level which is by default a part of the foundation. This is an appropriate design to stabilize the hill.

- (b) Design buildings to fit into the hillside rather than altering the hillside to fit the buildings.

The proposed location of the structure is below the brow of the hill and built into the hillside and up against the existing street. The 25% slope requires that any structure proposed on this lot would require a cut/fill variance. There is a slight stepping effect as far as height of the structure with the sloped roof and with the deck on the rear.

- (c) Hillside development should be designed to minimize excavation required for foundations, parking and access drives.

The proposed building's schematic design minimizes the fills/cuts at any one location and is an appropriate design to stabilize the street and hill by having the building abut the street right of way and the sidewalk along Goethe Street.

Foundation and retaining wall designs are still being developed. There is no parking on the site and thus no impact on the hillside due to parking.

- (d) Maintain a clear sense of the hillside brow by locating buildings back from the brow of the hill.

This standard is met by the location of the proposed structure abutting the Goethe Street right of way and the proposed setbacks.

The proposed building conforms to the building height/building envelope at the street, but exceeds the building envelope's height limit at the mid-point of the roof by approximately three feet. The three foot height variance is a result of a design without a full stepping of the mass of the building, but the roof does have a stepping effect due to the downward slope of the roof. The roof does in effect step slightly with the slope of the top of the building envelope. The approximately three foot variance is a reasonable request given the relatively shallow lot depth of approximately 65 feet. The shallow lot depth limits the depth of the building and thus limits the opportunity to fully step the building's massing. As a result of this, the upper floors match the footprint of the lowest level. The building's design has a central hallway parallel to the street on each floor with bedrooms or other rooms on both sides of the hallway, which is a very efficient design and maximizes the space available given the footprint. The 35' building depth is the least amount of dimension that would reasonably allow for this efficient design for all four floors.

The proposed building conforms to the building envelope on the front and both sides, but needs a rear setback variance of approximately 15 feet to allow a 5' rear setback to the deck. A cut variance of approximately seven feet at the front façade is proposed.

No retaining walls are shown on the drawings submitted, other than small landscaping walls around the patio. It is anticipated that any necessary retaining wall design will occur after the geotechnical report is developed, and this may increase the amount of excavation and fill required. The applicant has stated that retaining wall heights are not anticipated to exceed the permitted height of 8 ft.

The hillside overlay requires landscaping to promote hillside stability. A landscaping plan has not been submitted.

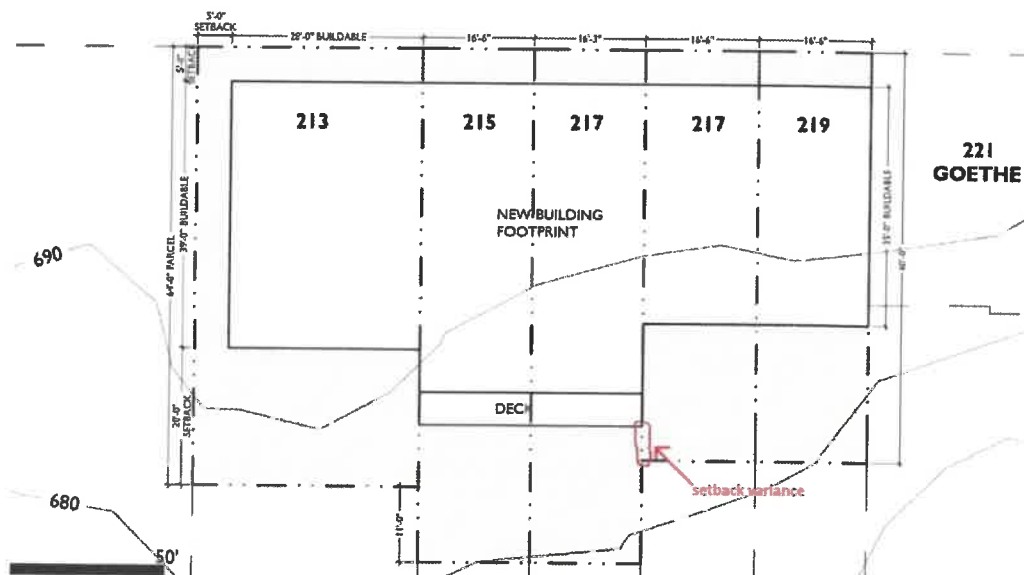
A geotechnical report was prepared by Alt & Witzig Engineering Inc. and is provided in the application materials. It should be noted that there was a building on this site until about 15 years ago, so the excavation for the proposed basement would most likely be removing fill soil that filled in the previous building's basement.

Overall, the proposed design is reasonable and substantially compatible with the hillside overlay goals given the size limits of the parcel and the topography.

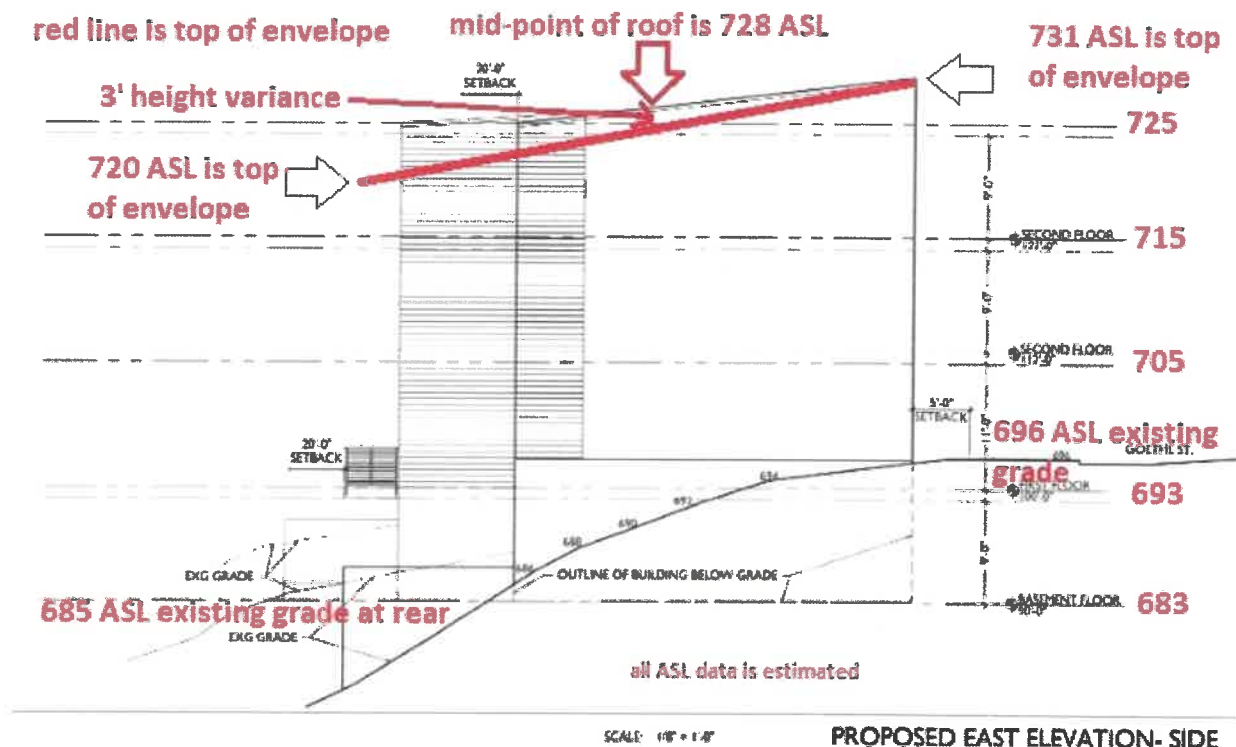


Google street view of 211 – 219 Goethe Street, showing existing condition of vacant lot.

GOETHE STREET



Proposed conceptual site plan. A rear setback variance is needed as noted in red.



Side section showing conceptual height, existing grades and top of building envelope shown as red line. A height variance of approximately three feet is noted at the mid-point of the roof and a cut variance of at least 7' from existing grade of 696 ASL to below the footer at approximately 683 ASL (15' total cut with 8' allowed = 7' variance).



Circa 2007 Google street view of 213 Goethe- showing a building on the site prior to it being demolished. The site has been vacant for 10 to 15 years.

Recommendation:

If the City Planning Commission decides to recommend approval of the Notwithstanding Ordinance, the City Planning Commission should consider including the following conditions:

- 1) The applicant will provide the following items for review in the building permit application:
 - a. A geotechnical report which addresses relative hillside stability and with recommendations for foundation design.
 - b. A landscaping plan showing plant installation to promote hillside stability.
 - c. Site and grading plan stamped by civil engineer or land surveyor showing existing and proposed grades, the proposed ASL (above sea level) data for the lowest floor and with ASL data also noted and correlated to the building section design; also information on trash dumpster location.
- 2) The Director of Buildings and Inspections will conduct a final review of the construction documents and geotechnical evaluation to ensure an appropriate factor of safety in the design. This review is intended to confirm that:
 - a. The structural design substantially conforms with the Hillside Development Standards of 1433-23 of the Zoning Code to ensure harmonious relationships with adjacent buildings and the hillside environment.
 - b. The design of the foundation, retaining walls and grading are consistent with the recommendations of the geotechnical report.

ENLARGE THE PLACE OF YOUR TENT

*Having the Courage to Change
Expansion 2019*



211-219 Goethe Street | Goethe Street Facade



PLATTE
architecture + design



PROPOSED
213-219 GOETHE STREET
 PHASE 0 INTAKE/ORIENTATION
 PHASE 1 STABILIZATION
 PHASE 2 RESTORATION



PROPOSED
141 GOETHE STREET
 PHASE 3 PREPARATION



PROPOSED
131 GOETHE STREET
 PHASE 4 TRANSITION



PROPOSED
127-129 GOETHE STREET
 PHASE 5 LIVING



SITE MAP

GOETHE STREET

SYCAMORE STREET



ENLARGE THE PLACE OF YOUR TENT

MISSION

*Enlarge the Place of Your Tent*¹, is an initiative to significantly improve the facilities of the City Gospel Mission Having the Courage to Change women's recovery program. The project entails renovating HTCTC's three aging buildings and construction of a new building to increase overall program capacity and create a campus more closely matched to the phases of program. Land for the new building is owned by City Gospel Mission. Total project cost including hardscape and furnishings is estimated at \$5,000,000.

VISION

To create a campus and community fully fitted to the transformational mission and structured program of Having the Courage to Change.

DESIGN

The project has been informed by four design objectives:

- Facilities and furnishings communicate to participants the value God sees in them. Jeremiah 29:11
- Floor plans facilitate "family" life and community. Psalm 68:6
- Campus in total provides a progression of living environments consistent with program phases. Colossians 1:28
- Exterior design and hardscape foster community and makes Goethe Street a great, diverse neighborhood in which to live. II Corinthians 2:15

CURRENT FACILITIES

Having the Courage to Change, currently serves 35 participants, in three buildings on Goethe Street which were built between 1865 and 1900 as family homes. While the buildings have been carefully stewarded by City Gospel Mission, they are beset by the following limitations:

- Multiple participants per room;
- Inadequate and outdated bathroom facilities;
- Inadequate rooms for classes, meetings and group counseling;
- Absence of welcome/reception space for prospective participants and participants' guests;
- Inability to signify the phased progression from intake to independent living.

EXPANSION FACILITIES

The improvements and expansion of the Having the Courage to Change campus will deliver the following benefits:

- Almost doubling capacity from 35 to 68 participants;
- Appropriate room occupancy and level of staff oversight appropriate to each phase of the program;
- Upgraded bathrooms scaled to the number of participants;
- Common areas more typical of family living and conducive to informal, supportive interactions among participants and volunteers;
- Adequate classroom and meeting needs;
- Adequate offices for staff and counseling sessions;
- A degree of physical separation for participants as they progress through program phases without losing the overall sense of community. Arrangements of the successive houses will signify a participant's graduation from phase to phase and progress toward individual responsibility and independent living.

The project takes its name from Isaiah 54:2

*"Enlarge the place of your tent, and let the curtains of your habitations be stretched out;
do not hold back; lengthen your cords and strengthen your stakes."*



***"I just want to thank everyone
who sowed into my life,"***

-recovery grad Charmayne.

In October 2018, Charmayne was one of 10 women along with 12 men who took the next step in their long journey of healing by taking part in our annual recovery program commencement. For most, it took over a year, and some took two years. They all kept the faith by setting a goal and reaching it. For Charmayne, it took multiple times leaving the program and returning. In 2018, her mother brought her back to the program from Arkansas because she knew City Gospel Mission was the only place where she was going to get her life back on track. While Charmayne was here, her mother and family pitched in to help look after her children. They were all there when she received the More Than A Conqueror Award, given to those in recovery who have shown exceptional progress.

***"I just want to thank everyone who sowed into my life.
I'm glad I can sow into my kids' lives now the way others have sowed into mine."***

211-219 GOETHE STREET | NEW CONSTRUCTION

Structural Community Living

Orientation Phase:

Participants are exposed to the essence of the program phases while learning the basics of spiritual growth, recovery, and informed decision making.

Phase 1| Stabilization:

Participants complete an assessment with a counselor while working toward an individualized holistic treatment plan. They continue to work on physical and mental health issues.

Phase 2| Restoration:

Participants learn tools to build a new life by attending core addiction therapeutic groups. They learn to identify and start the process of healing of unhealthy behaviors.

"Orientation"

will increase from 5 to 16 participants

Phase 1 "Stabilization"

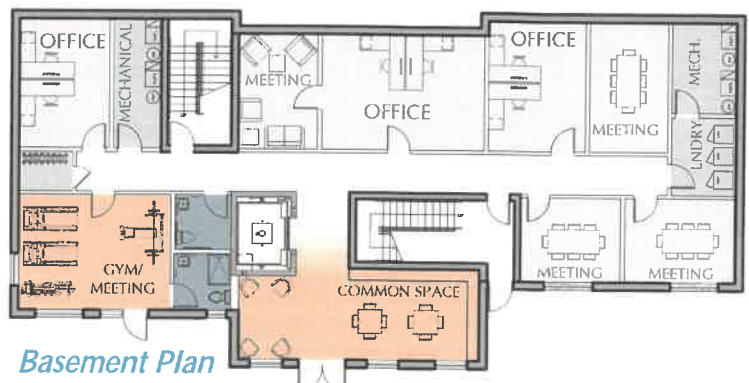
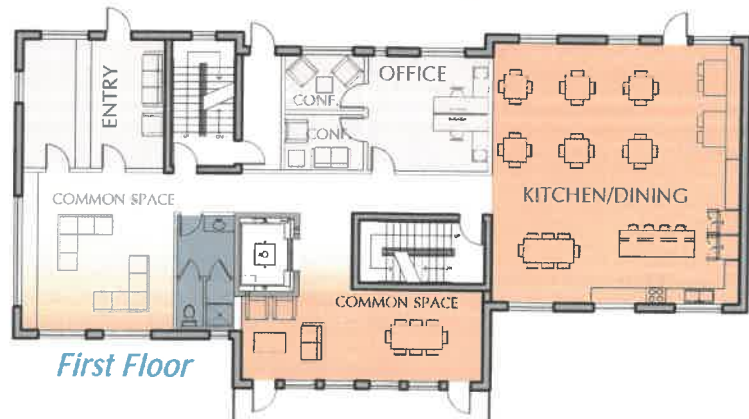
will increase from 6 to 16 participants

Phase 2 "Restoration"

will increase from 5 to 16 participants

KEY

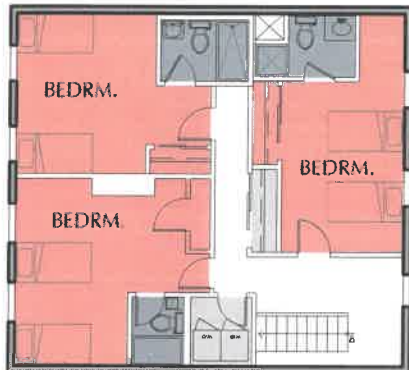
- Bedroom
- Bathroom
- Common Space
- Meeting/Office Spaces
- Utility



141 GOETHE STREET | RENOVATION

Preparing Towards Independent Living

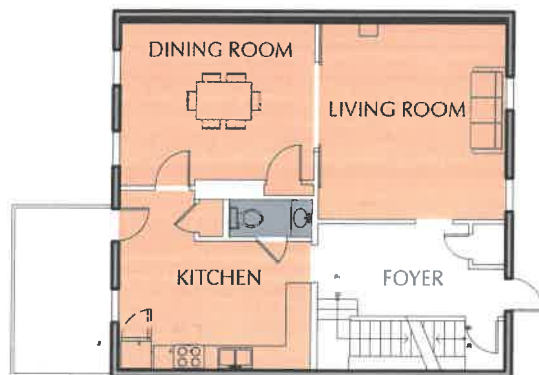
Second Floor



Phase 3| Preparation

Participants practice using tools to create new thoughts, emotions, and behaviors for recovery and healthy living. They begin the building of a solid support system for transitional living.

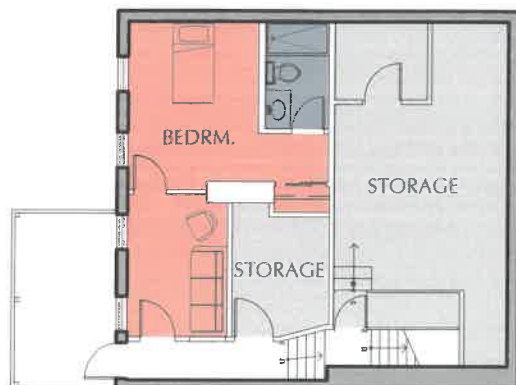
First Floor



Phase 3 "Preparation"

will increase from 5 to 7 participants

Basement Plan



KEY

Bedroom	Red circle
Bathroom	Blue circle
Common Space	Orange circle
Meeting/Office Spaces	Yellow circle
Utility	Grey circle

131 GOETHE STREET | RENOVATION

Transitioning into Independent Living

Phase 4| Transition

Participants develop a relapse prevention program while working toward a holistic practice for successful independent living.

Phase 4 "Transition"

will decrease from 6 to 5

participants while gaining 5 individual apartments to help participants successfully "transition" into independent living

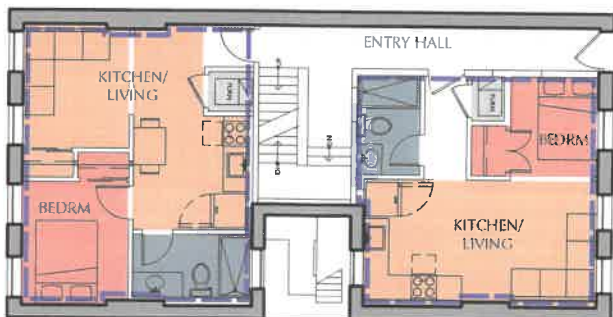
Third Floor



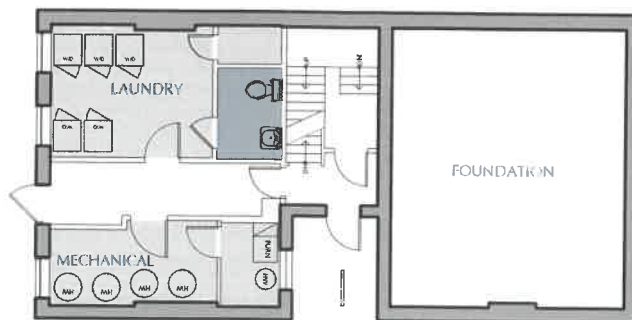
Second Floor



First Floor



Basement Plan



KEY

Bedroom

Bathroom

Common Space

Meeting/Office Spaces

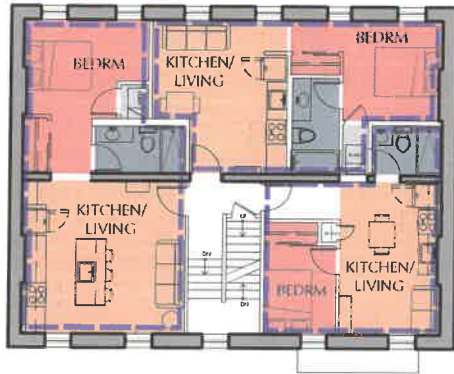
Utility

Unit Boundary

127-129 GOETHE STREET | RENOVATION

Aftercare Apartments

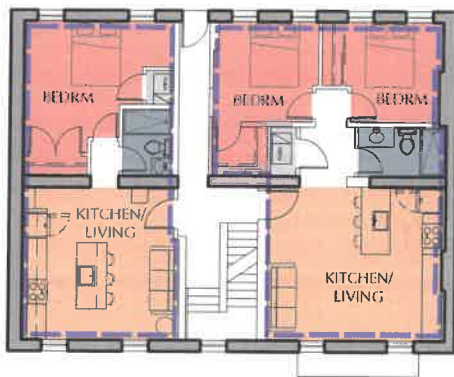
Second Floor



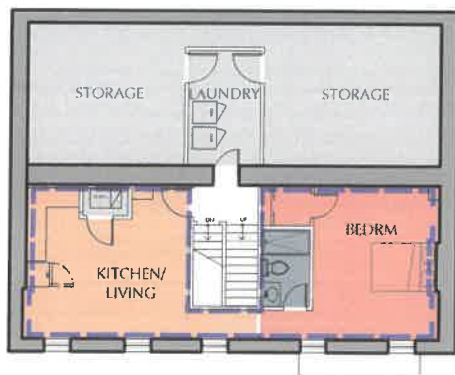
Phase 5| Living

Life is arranged around the disciplines that keep participants sober and close to Jesus.

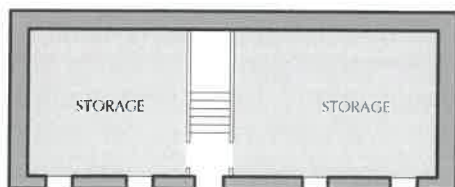
First Floor



Basement Plan



Sub-Basement Plan



Phase 5 "Living"

will increase in capacity from 5 to 6 participants with 6 individual apartments

KEY

- Bedroom
- Bathroom
- Common Space
- Meeting/Office Spaces
- Utility
- Unit Boundary

MISSION

Isaiah 54:2 (NIV) "Enlarge the place of your tent, stretch your tent curtains wide, do not hold back; lengthen your cords, strengthen your stakes."

"Enlarge the Place of Your Tent" is the theme of this project because in the process of change we are asking and encouraging those we serve to stretch out of old patterns of thinking to discover a new perspective. - Lucretia Bowman

Courage is the commitment to begin without any guarantee of success. - Johann Wolfgang Von Goethe

PRELIMINARY COST ANALYSIS

	211-219 GOETHE	141 GOETHE	131 GOETHE	127-129 GOETHE	
EXTERIOR	\$1,468,500	\$172,000	\$194,700	\$256,200	
INTERIOR	\$1,205,500	\$265,600	\$295,600	\$414,800	
CONTINGENCY/ FEES	\$414,470	\$67,828	\$75,997	\$104,005	OVERALL TOTAL
TOTAL	\$3,088,470	\$505,428	\$566,297	\$775,005	\$4,935,778



211-219 Goethe Street | Rear Rendering



Neighborhood Involvement

- Extensive Neighborhood Collaboration
 - Meetings/Letters/City Facilitated Interaction
 - Strong Support From Majority of Neighbors
 - Letters of Endorsement from Mount Auburn and OTR Community Councils
- General Support For Remodeling Existing Buildings
- Objections to New Building From Vocal Few

Key Issues - New Building

- **Density** - too many people on street
- **Parking** - creates excessive on-street congestion
- **Consistent Neighborhood Architecture** - appearance not like surrounding neighborhood
- **Future Building Use** - what occurs in unlikely event CGM needs to sell property
- **Alternate Site** - prefer CGM move program elsewhere



Key Issues - Density

- Reduced occupancy 25% (from 48 to 36 residents)
- Occupancy stipulated in NWO

Key Issues - Parking

- Residents of new building not allowed to have vehicles
- Agree to limit parking for existing building to 6 resident vehicles
- Parking sticker program included as provision of Community MOU

Key Issues - Consistent Neighborhood Architecture

- Building exterior to be re-designed to look like 3 contiguous single family town homes
- Neighborhood participation on exterior design Review Committee included as provision of Community MOU



Key Issues - Future Building Use

- Design/construction to be done to permit future division of buildings and parcels to allow renovation into 3 single family homes.
- In unlikely event of future sale, CGM will:
 - Sell as 3 separate parcels
 - All fees and expenses required to separate buildings/parcels to be paid by CGM
- Future division requirements included as provision of Community MOU



Key Issues - Alternate Site

- Reviewed alternate sites proposed by residents/developers
- Alternate sites not as advantageous/appropriate to program participants and graduates
 - Proximity for ongoing support/community
 - Vision for future/value in community

Additional neighbor interactions

- 1) On at least 3 occasion we have spoken to Tom Pruckno, owner of 4 family directly across from the proposed new building. He is going to send a letter of support.
- 2) On January 25th, OTR Community Council approved sending a letter of support for our project.
- 3) On multiple occasion we have spoken with Jim and Brenda Tarbell. They will send a letter of support and will also speak at the City Planning Commission's meeting.
- 4) On February 1st Roger Howell walked the proposed alternative site and area with Niqué Swan. Niqué is the property manager for the site. Also, timed the walk between the proposed site and our current facilities.
- 5) Notification for the two meeting on January 5th and January 12th with concerned Mt. Auburn neighbors were posted on 4 Mt. Auburn Facebook pages.
- 6) Notification for the two meeting on January 28th and February 11th hosted by the City of Cincinnati were posted on all 4 Mt. Auburn Facebook pages and emailed to Mt. Auburn Community Council members and emailed to the Mt. Auburn Community Development Corporation Board members.
- 7) On at least 3 occasion we have spoken to Roland Relford, the neighbor at the end of Goethe St. He is very supportive of our project but in elderly and does not like to do anything virtual.
- 8) On February 12th and 18th had tele-conference call with Kristin Woeste and Jake Mahle (they live on Mulberry). Mayor Cranley requested that they talk with us to see if we could find a solution to our differences.
- 9) On January 11th Lucretia had a two-hour meeting with Alex and Ryan, our neighbor on Seitz. St. and several subsequent email communications with them.

MEMORANDUM OF UNDERSTANDING

This Memorandum of Understanding ("MOU") is entered into this 18 day of FEBRUARY, 2021, by and between Mt. Auburn Community Council ("MACC"), an Ohio nonprofit corporation, Mount Auburn Community Development Corporation ("MACDC"), an Ohio nonprofit corporation, City Gospel Mission ("CGM"), an Ohio nonprofit corporation, CURE Properties, LLC ("CURE"), an Ohio limited liability company, and HTCTC Properties, LLC ("HTCTC"), an Ohio limited liability company.

WHEREAS, MACC is a nonprofit community council representing the community members of the Mount Auburn neighborhood in Cincinnati, Ohio; and

WHEREAS, MACDC is a nonprofit community development corporation whose mission includes the improvement, revitalization, and sustainability of the Mount Auburn neighborhood in Cincinnati, Ohio; and

WHEREAS, CGM is a nonprofit organization that provides Christ-centered life transformation to persons facing hunger, homelessness and other challenges in the Greater Cincinnati, Ohio area; and

WHEREAS, CURE and HTCTC are real estate companies owned by CGM, and which own certain parcels of real property on Goethe Street in the Mount Auburn neighborhood, the addresses and parcel numbers of which are identified in Exhibit A attached hereto (collectively "the Goethe Properties"); and

WHEREAS, CGM intends to develop and/or rehabilitate the Goethe Properties and to operate them as temporary and permanent transitional housing ("the Project"); and

WHEREAS, it is the intent of the parties that the Project be designed, completed and operated in a manner that respects the Mount Auburn neighborhood while also serving CGM's purpose and mission;

THEREFORE, in an effort to work together in good faith in the design, completion and operation of the Project for the benefit of all parties and the Mount Auburn neighborhood, the parties hereby agree to the following:

1. Regarding the exterior design of the buildings, a committee shall be formed made up of: (a) two neighbors who are not already officers or agents of the organizations that are a party to this MOU; (b) a representative of MACC; (c) a representative of MACDC; (d) a representative CGM's architecture and/or design firm; and (e) a representative of CGM. The Committee shall meet a minimum of 2 times to review CGM's exterior design proposals. While it is the desire of the parties to have the unanimous consent of the entire Committee before proceeding with the exterior design, final exterior design approval shall be by the unanimous agreement of the MACC, MACDC and CGM representatives.

2. Regarding parking, it is hereby agreed as follows:

a. Consistent with the requirements of the transitional housing program to be operated by CGM, no residents living in the buildings at 211-219 Goethe Street will have vehicles;

b. Residents living at 127-129, 131 and 141 Goethe Street may be permitted to own vehicles, but CGM agrees to limit the number of vehicles belonging to those residents that are permitted to park in the public, on-street parking spaces on Goethe Street to 6 total vehicles.

c. All other vehicles for residents living at 127-129, 131 and 141 Goethe Street will be required to be parked on Sycamore Street and shall be identified by a sticker, tag or some other such identifier, indicating that the owner is associated with the Project.

3. CGM, CURE, and HTCTC agree for themselves and for any future entity or organization which is associated or affiliated with them, that with regard to the buildings located at 211-219 Goethe Street:

a. The construction shall be done in such a manner that in the event of a future sale of the properties the parcels and the buildings can be separated into 3 separate parcels and 3 separate buildings, and the buildings shall be designed in such a way that they can be renovated into single-family homes in the future; and

b. In the event of a future sale, these parcels shall be sold as 3 separate parcels; and

c. In the event of a future sale, if there is a need to separate any of the buildings to create 3 separate buildings, or to separate any of the parcels to create 3 separate parcels, all costs, fees and expenses associated with doing so shall be paid by CGM, CURE and/or HTCTC.

4. This MOU shall be interpreted pursuant to Ohio law and shall inure to the benefit of the parties and their respective owners, members, shareholders, officers, employees, transferees and assigns.

[This space left intentionally blank; signature page(s) to follow]

IN WITNESS WHEREOF, the parties hereto set their hands as of the date written above:

Mt. Auburn Community Council, an Ohio nonprofit corporation

By: 

STEVE GIBBS

Mount Auburn Community Development Corporation,
an Ohio nonprofit corporation

By: 

CAROL GIBBS

City Gospel Mission, an Ohio nonprofit corporation

By: 

Roger Howell
President of City Gospel Mission
CURE Properties, LLC, an Ohio limited liability company

By: 

Roger Howell

HTCTC Properties, LLC, an Ohio limited liability company

By: 

Roger Howell

Exhibit A

Goethe addresses and parcel numbers

127 Goethe Street, parcel #94-5-45
129 Goethe Street, parcel #94-5-332
131 Goethe Street, parcel #94-5-335
141 Goethe Street, parcel #94-5-51
213 Goethe Street, parcel #94-6-252 & 255
217 Goethe Street, parcel #94-6-43 & 253
219 Goethe Street, parcel #94-6-42

EXHIBIT O

City Gospel Mission's Goethe Street Expansion - Funding

The estimated project cost for City Gospel Mission's new facility and renovations of existing buildings on Goethe Street project is approximately \$5.0 million.

This includes the new construction of a 15,000 square foot facility for 36 women on 211-219 Goethe Street that replaces the previous building that stood on that site for 100 years. The new building will be similar in size and footprint of the previous one. City Gospel Mission owned and operated programming and housing in that building since the 1970's. The preliminary cost estimate for the new building is \$3.1 million.

The cost estimate for renovations at 141, 131 and 127-129 Goethe total \$1.9 million. When renovations are completed, all three of these properties will be affordable housing for women coming out of our program that want to continue living in community on Goethe.

From the beginning, the plan for raising capital for the project was to solicit funding from City Gospel Mission major donors, especially ones that have expressed interested in programming for women. God has blessed the project. Currently we have raised cash and pledges of nearly \$5.2 million. This is 100% private funding and will not use any City of Cincinnati affordable housing funding. This gives us enough funding to complete that project including unanticipated construction cost over runs and provides an allowance for furniture, fixtures and equipment expenses.

City Gospel Mission is aware of the limited supply of affordable housing in Cincinnati. We are excited to have the funding in hand to provide affordable housing for 18 women that have overcome life addicting issues and have proved that they want to make Cincinnati a better place to live, work and play.

PLATTE

architecture + design

EXHIBIT P

1810 CAMPBELL ALLEY | SUITE 300 | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 F: 513.871.1829

February 19, 2021

To: Samantha McLean
City Planner
City of Cincinnati, Dept of City Planning
Two Centennial Plaza
805 Central Avenue
Cincinnati, OH 45202

Re: Not Withstanding Application
City Gospel Mission
Having the Courage to Change

Pre-2004 Zoning Map

The purpose of this map is to illustrate the zoning that was in place when all 11 properties were purchased by City Gospel Mission. 10 properties were purchased in the 1970's and 127/129 Goethe was purchased in 2004. Therefore, at the time of purchase, all properties were zoned R6. The R6 district was Multifamily – High Density.

Allowable uses in R6: multifamily, group housing, shared housing, patient family homes, dormitories, rooming houses, group buildings, and **homes for adjustment with programs.**

Main point: all uses CGM currently operates and is proposing for the new development would be allowed by the zoning that was in place at the dates of purchase.

Property/Density Map

The purpose of this map is to document the allowable development of the 11 properties owned by City Gospel Mission under the current RMX and SF2 districts (Post-2004 Zoning). The calculations presented in this document are the allowable density and parking without any type of variance, relief or not withstanding ordinance.

Allowable Density:

The existing buildings in the RMX district (127/129, 131, 141 Goethe) have been occupied for over 20 years, originally under the Pre-2004 Zoning Code with 36 occupants over 4 properties. Nobody seems to be opposed to this portion of the project. This would be "grandfathered" in.

The empty lots (139, 201, 203, 213, 217, 219, and 225 Goethe) can be developed into 7 separate single-family dwellings with 4 unrelated occupants. This results in a total of 28 additional occupants.

Total density allowed is 64 occupants.

CGM is only asking for 54 occupants with the NOW request.

Allowable Parking:

7 new single-family homes with 2 car garages and 2 cars in driveway (matching design of adjacent new single family homes) would result in 28 cars added to current conditions. If you add one car per property for the 4 existing buildings.

Total allowable cars would be 32.

CGM is only allowing 6 new cars on the street. New total would be 12 cars.

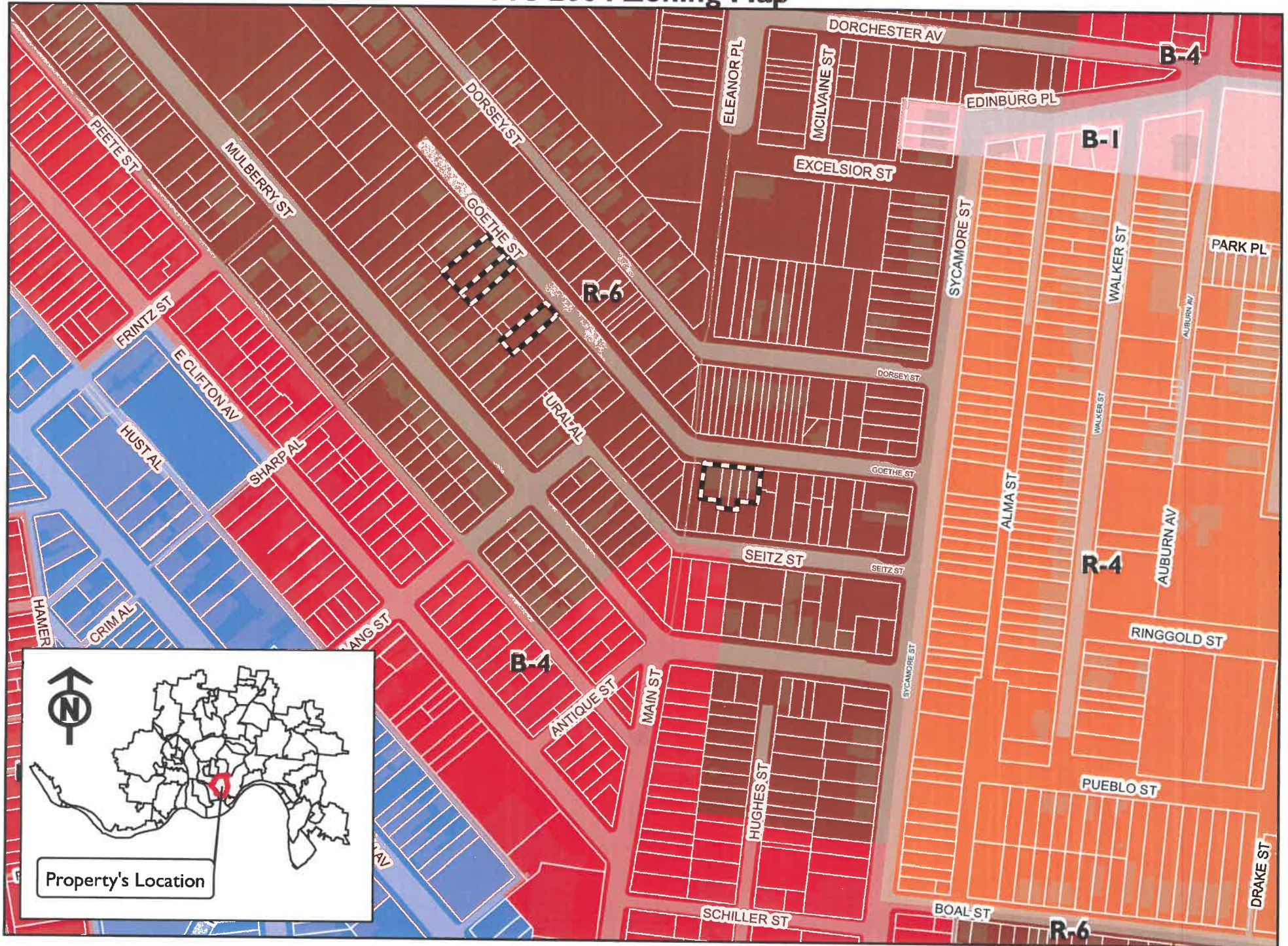
Please do not hesitate to reach out if more information is needed.

Sincerely,
PLATTE Architecture + Design, LLC

A handwritten signature in blue ink, appearing to read 'K.J. Platte', with a stylized flourish at the end.

Kurt J. Platte - President
Architect, AIA, NCARB

Pre-2004 Zoning Map



GOETHE STREET [PROPERTY/DENSITY] MAP

ADDRESS	LOT STATUS	# OF OCCUPANTS ALLOWED PER ZONING	ZONE	# OF OFF STREET PARKING SPACES REQUIRED BY ZONING
127-129 GOETHE STREET	EXG. BUILDING	EXG. 13 OCCUPANTS	RMX	EXG. NONE REQUIRED
131 GOETHE STREET	EXG. BUILDING	EXG. 16 OCCUPANTS	RMX	EXG. NONE REQUIRED
139 GOETHE STREET	VACANT LOT	4 UNRELATED	RMX	1/UNIT - 4 CARS ASSUMED PER HOME
141 GOETHE STREET	EXG. BUILDING	EXG. 7 OCCUPANTS	RMX	EXG. NONE REQUIRED
201 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
203 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
211 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
213-215 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
217-219 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
225 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
64 TOTAL PEOPLE ALLOWED PER ZONING				28 TOTAL POTENTIAL CARS CONTRIBUTING TO ON STREET PARKING. 18 CARS WERE DEVELOPED (20' OF STREET FRONTAGE) 7 CARS REQUIRED TO HAVE OFF-STREET PARKING (21 POTENTIAL CARS CONTRIBUTING TO ON STREET PARKING)

NOTES

- 8 PARALLEL PARKING SPACES WOULD BE REMOVED IF ALL CGM LOTS WERE DEVELOPED (20' OF STREET FRONTAGE) 8 ARE BEING REQUESTED
- 64 PEOPLE ARE PERMITTED BY ZONING TO LIVE ON CGM LOTS IF DEVELOPED AND THE EXG. BLDGS WERE TO REMAIN AS IS. 54 ARE BEING REQUESTED

KEY

- GOETHE PROPERTIES OWNED BY CITY GOSPEL MISSION
- GOETHE PROPERTIES OWNED BY OTHERS
- CITY OWNED PROPERTIES
- NON-GOETHE FRONTAGE PROPERTIES
- EXISTING BUILDING FOOTPRINT
- PERMANENT* PARALLEL PARKING
- PARALLEL PARKING SPACE AT EXG. CITY GOSPEL MISSION PROPERTY
- PARALLEL PARKING SPACE AT UNDEVELOPED*** CITY GOSPEL MISSION PROPERTY

* PERMANENT - PARKING THAT WILL NOT BE REMOVED BY FUTURE PARKING/DRIVEWAY

** PARALLEL PARKING SPACE SHOWN AT 23'X8.5'

*** UNDEVELOPED - ON STREET PARKING SPACE WOULD BE REMOVED BY FUTURE DRIVEWAY IF DEVELOPED

Why on Goethe Street?

The Heart of the project

By Lucretia Bowman

Some folks have suggested that they love City Gospel Mission Women's program called *Having the Courage to Change*, but that it should not be on Goethe Street, or another words, not in my back yard.

Here are the 4 main reason that Having the Courage to Change should be located on 211-219 Goethe Street

- 1) **Community:** It is so important for our women be connected to a neighborhood and a community that is not like them, a community that gives them a vision and insight into what they could become. Living next to folks that are successful. Living next to folks that have already arrived at the place in life where our women want to be. Seeing folks go to work every day, walking their dog, having a nice home and cars, and who are willing to be our friends. You can't believe what impact this has on the women in our program. The women realize they are just like the successful folks. I am someone.

Additionally, our women are also helpful to community. Recent one of our neighbors left on a trip and accidentally left their garage door open (allowing access to their entire home). It was our women that saw the problem, it was our women that keep watch on their property, and after 8 hours, it was our women that had staff call the neighbors and ask if they intended to leave their garage door open. It was also one of our women that the neighbor gave their security code to so that their home would be secure.

Another neighbor recently stated, I didn't do my research before I built my new home. I didn't know that *Having the Courage to Change* would be my close neighbor. But I am sure glad I didn't know that because I might not have move here. But I am sure glad I did. They are great neighbors and really have made me a better person.

The women in our program need a strong, health example of community. Having had programming on Goethe Street for 30 years has built that community.

- 2) **Inspiration:** The view inspires the women to see what they can become and that their lives can be bigger and better than they ever imagined. Having beautiful surrounding is very impactful on the self-esteem and helping see the possibilities for your life. So, having a beautiful home is very important as a person works on breaking their addiction. But when you add to that a beautiful surrounding a person feels even more special.

When one can look out and see a beautiful city, they feel special, they are someone. They feel that out there is something for them. When a woman moves into our new building on Goethe Street they will immediately see possibilities for growth and development for all aspects of their life.

That is priceless and that is what Goethe Street provides.

- 3) **Connectivity:** The women in our program need to be in close proximity to the women that have come through our program and are living successfully in our affordable housing. I can not tell you how powerful it is, for women that are in the process of breaking addiction to interact with multiple women that have conquer addiction, that have a support group, that are successful and that are loving life.

Breaking addiction is extremely hard and having a built-in support group is powerful. That is what having all of our buildings on one street provides for us.

- 4) **Longevity:** City Gospel Mission has had programs on Goethe St for 50 years. Having the Courage to Change has been there for 27 years. A building that we used for programming and housing for 40 years sat in the exact location and was the exact same shape and size. We have been good neighbors the entire time. And when people began to realize what a wonderful location Goethe St was (in the last 5 or so years), we welcomed in our new neighbors.

We believe that our presence on Goethe Street makes for a wonderfully diverse neighborhood, both economically and racially. And adding affordable housing for 18 women on the street is not only good for Mt. Auburn but for the City Cincinnati.

So, for me as the founder and Vice President of Recovery Services, Goethe must be the location.

**LOG OF LETTERS SUBMITTED FOLLOWING
JANUARY 15, 2021 CITY PLANNING COMMISSION**

EXHIBIT R

Letters attached are in the following order:

Letters in Support

- Amy Conroy (January 15, 2021) – Nearby resident/property owner
- Cara Knapke (January 24, 2021) – Nearby resident/property owner
- David Krekeler and Elizabeth Scott (January 19, 2021) – Adjacent resident/property owner
- Thomas Pruckno (February 16, 2021) – Nearby property owner
- Elizabeth Scott (January 28, 2021) – Adjacent resident/property owner
- Brenda Tarbell (January 27, 2021) – Nearby resident/property owner

Letters in Opposition and/or Stating Concern

- Ann Ullman (January 27, 2021) – Nearby resident/property owner
- Kristin Woeste (January 27, 2021) – Nearby resident/property owner
- Alex Welker (January 29, 2021) – Nearby resident/property owner (Includes alternate site plans)

As of February 23, 2021

McLean, Samantha

From: Amy Conroy <aconroy711@gmail.com>
Sent: Friday, January 15, 2021 12:47 PM
To: McLean, Samantha
Subject: [External Email] Goethe Street Housing

External Email Communication

Hi Samantha,

I am a resident and owner of a first floor condo at 318 Mulberry Street. While I missed the Zoom Meeting this morning. I would like to offer my SUPPORT for the renovation of three existing structures at 127-129, 131, and 141. I also SUPPORT the new construction of transitional housing facility at 211-219 Goethe Street.

I think what the City Gospel Mission does is important for this city. They are part of what helps make this city strong. We need them here. People who are transitioning need to live close to downtown, especially if they do not have a car, to access basic needs. So, to me, parking issues are irrelevant, and Gospel City's Mission outweighs any petty issues of other community members. I bought my condo in August of 2018. I live right by the Main Street steps, and have never felt any danger, no one has abused the steps, no one has caused any harm. I also have never had any issues of parking on my side of Mulberry either. Goethe street and the streets surrounding have ample parking. It's disgusting to think people assume crime will follow. City Gospel Mission has a squeaky clean record, and in fact, not a lot of people knew Gospel City Mission was there in the first place. The people complaining never attend Community Council Meetings, and then claim they were never informed.

Thank you for reaching out. I hope this project reaches success.

Sincerely,
Amy Conroy

--

Amy Conroy, LEED AP ID+C

Interior Designer | NELSON Worldwide
Board Member | Cincinnati Preservation Collective
513.706.1319

McLean, Samantha

From: Cara Knapke <cara.urban@gmail.com>
Sent: Sunday, January 24, 2021 2:30 PM
To: McLean, Samantha
Subject: [External Email] Fwd: In support of City Gospel Mission, 211-219 Goethe Street

External Email Communication

Hi Samantha,

I hope this email finds you well. I understand you did not receive my message (below), looks like I typed in an incorrect email address, my apologies.

Please see below for your review.

Thank you!

Cara

----- Forwarded message -----

From: Cara Knapke <cara.urban@gmail.com>
Date: Sun, Jan 10, 2021 at 12:36 PM
Subject: In support of City Gospel Mission, 211-219 Goethe Street
To: <samantha.mclean@cincinnati-oh.com>

January 10, 2021

Samantha McLean, City Planner
Cincinnati, OH

Dear Ms. McLean,

Happy New Year and I hope this correspondence finds you well. I'm grateful for your time and attention to the matter of the proposed City Gospel Mission building at 211-219 Goethe Street.

I recognize as of late, a number of disparate opinions have come to the surface regarding this project proposal. I feel fortunate to live in a community wherein residents and neighbors are actively involved and passionate about the neighborhood. I have enjoyed spending time recently meeting new neighbors to understand their perspectives, both similar and different from my own. I do my best to come into conversations with open ears and an open heart.

After hearing both sides, I stand by my overwhelming support of the City Gospel Mission's proposal for the building. As a Goethe Street resident for 4+ years, I feel lucky to have City Gospel Mission's Recovery program participants as neighbors and I look forward to the expansion of the program on our street. The program represents all that is great about Mt. Auburn, providing opportunities to people from all backgrounds and circumstances to live and thrive together in community. This new project will enhance the inclusive, respectful fabric of the community that myself, my husband and my (2 year old) daughter have grown to love.

Beyond the insurmountable contributions this program has to offer the community (and will continue to offer for years), I also look forward to the aesthetic the new building will bring to the community and to Goethe Street. The architect's renderings showcase a thoughtfully crafted project that will serve the current and future

needs of City Gospel Mission's Recovery program as well as seamlessly contribute to the historic and beautiful building styles of our neighborhood and street.

Finally, I have had the privilege of getting to know and spend time with City Gospel Mission VP of Recovery Lucretia Bowman. I want to emphasize how proactive she has been in involving myself, other neighbors on Goethe Street as well as the Mt. Auburn City Council in this project proposal for well over a year. She has spent countless hours engaging with the community on the topic of this project proposal. She has humbly and openly asked neighbors and stakeholders for feedback and suggestions, and has gone above and beyond what I understand to be the requirements of the City to involve our neighbors in a more personal, heartfelt way.

Everyone in this community is entitled to an opinion and I respect the perspectives of my neighbors. I felt it critical that my voice be heard loud and clear on this matter. Myself and my family wholeheartedly support this project and I look forward to an exciting future for City Gospel Mission and our community!

Sincerely,

Cara Knapke
149 Goethe Street, Unit 1
Cincinnati, OH 45202
(781) 771-5542

--

Cara Urban

McLean, Samantha

From: David Krekeler <dgkrekeler@icloud.com>
Sent: Tuesday, January 19, 2021 2:35 PM
To: McLean, Samantha
Cc: Elizabeth Scott
Subject: Re: [External Email] City Gospel Ordinance Change for Goethe Properties

Hi Samantha,

I took a look at the hearing report and I see that our letter in support of the project was not received in time to be included. I'm sorry for not getting it in sooner but the only time requirement we saw was the advance notice of 48 hours to be included in the call. I imagine this was the case for another Goethe resident who submitted a positive response to the City Gospel Mission expansion (Kara Knapke). Can our letter in support as well as this letter and the letter from Kara be sent to the City Planning Commission?

I don't know how much the community comments weigh in on your decision but it was quite frustrating to read through the letters you received. The 23 to 1 ratio of those opposed to those supporting is quite misleading. The letter from Carol Gibbs may not have been counted since her husband is President of the Mt. Auburn Community Council but she is also a resident on Dorsey so you actually received 2 in favor before January 6th. Since those opposing an issue are more likely to voice their opinions than those in favor, I wonder if there is a rule of thumb you can use to determine the "real feel" of a community? Multiple letters from the same person and/or same household received a count (8 of the 23 were from 3 households). Only one of the dissenting letters was from an actual resident on Goethe. I could be mistaken but it looks like only two of the other writers were property owners on Goethe who felt misled but it looks like CGM only reached out to those actually living on the street. We were talking to CGM about hosting a get together for our neighbors so CGM could better explain their plans and this was going to include neighbors from other streets. Unfortunately the pandemic canceled those plans.

Many of the letters site misinformation and fear. If it would help, I could critique each letter and point out the inaccuracies. Those that fear the program do not understand how it works. The representation in several of the letters that this would be an unsafe drop-in-center could not be further from the truth. The women are not even allowed to leave the building without an escort. I was sad to see the text included that suggested the CGM women were being picked up by "johns" on Dorsey. That's insulting to the women working to get back on the right track and it clearly displays the ignorance about how the program operates.

At least five of the letters are from developers or real estate agents worried about their property value, and again, their fears are unfounded. Point #3 in the Chris Hikel letter (and repeated in two other letters) may be the root of this fear. You can't even tell there is a women's program on our street. I was surprised to see that they currently have 36 participants. The new building will not look any different from the rest of the community. The single family units on individual lots are actually the exception. The new building will fit in better than some of the newer construction (including our house to be honest).

It's amazing to see the number of letters that are from people that are not even close to the proposed development. I guess +/- one street (Dorsey & Seitz) would have a legitimate concern if you had 48 additional cars to park but the women in the program do not even have cars. The other concern that may have some validity is the question of what happens to the building if CGM suspends the program. Their history demonstrates this is not a big concern but it should still be addressed to ease tension. Can the city include language about future use and also about this not being a precedent for other developments in the area? Perhaps this would calm those fears.

I feel bad for Lucretia who has tried to do all the right things and to inform the community about what they are planning. Again I am very sorry we did not get our original e-mail to you sooner. Please let us know if there are going to be additional hearings and we will do whatever it takes to participate. Also, if additional letters from actual residents on Goethe, who best know the impact of the CGM program on the neighborhood, would help, I'm sure additional letters could be obtained.

Thank you,
David Krekeler & Elizabeth Scott

Sent from my iPad

> On Jan 11, 2021, at 9:50 AM, McLean, Samantha <Samantha.McLean@cincinnati-oh.gov> wrote:

>

> Hi David,

>

> Thank you for your email. I am confirming receipt and it will be sent to the City Planning Commission.

>

> Best,

> Samantha

>

> Samantha McLean | City Planner

> City of Cincinnati | Department of City Planning Two Centennial Plaza

> | 805 Central Avenue, Suite 720 | Cincinnati, OH 45202

> 513-352-4886 | Facebook | Twitter | Website | Plan Cincinnati

> Pronouns: she, her, hers

>

>

>

>

> -----Original Message-----

> From: David Krekeler <dgkrekeler@icloud.com>

> Sent: Sunday, January 10, 2021 1:56 PM

> To: McLean, Samantha <Samantha.McLean@cincinnati-oh.gov>

> Cc: Elizabeth Scott <elizabethscott.2014@u.northwestern.edu>

> Subject: [External Email] City Gospel Ordinance Change for Goethe

> Properties

>

> External Email Communication

>

>

> Dear Samantha,

>

> Thank you for the opportunity to express our support for City Gospel Mission's proposed renovation and new construction on Goethe Street. My wife, Elizabeth Scott and I have lived between the existing structures (127-131 and 141) for almost two years and we have nothing but good things to say about City Gospel Mission and the women's program. It has been a pleasure interacting with and getting to know the participants, their families and staff. We are happy to be living in their neighborhood and being part of an integrated community with socioeconomic diversity.

>

> We understand there are concerns among some neighbors with the expansion but this may be due to a lack of understanding of the program and preconceived ideas of how a rehabilitation program may impact a neighborhood. City Gospel runs a tight ship and, if you didn't know they were there, you wouldn't even know it was a rehabilitation facility.

>

> There are also concerns about parking and it's our understanding that since the women in the program will not have cars, only a handful of spots will be needed for the staff. It should also be noted there is significant on-street parking available since the property opposite the proposed new construction is unbuildable across several lots.

>

> The fabric of Goethe Street is diverse and we would like to preserve this rich community by supporting City Gospel's ability to upgrade and expand the Courage to Change facilities with new construction.

>

> We hope the ordinance is approved and we look forward to the expansion of City Gospel as our neighbor.

>

> Thank you,

> David Krekeler & Elizabeth Scott

>

>

> Sent from my iPad

McLean, Samantha

From: Thomas Pruckno <tom.pruckno@gmail.com>
Sent: Tuesday, February 16, 2021 12:01 PM
To: McLean, Samantha
Subject: [External Email] 211 to 219 Goethe Street - Letter of Support

External Email Communication

Dear Ms. McLean,

I'm writing a letter of support for the proposed project located at 211 to 219 Goethe Street here in Cincinnati which is owned by City Gospel Mission.

I'm the owner of the building located at 226 Goethe Street which is very near the proposed project. I've been renovating my building for a few years now and have had the opportunity to meet and interact with several of the tenants of the other City Gospel owned buildings further down the street (127-129, 131 and 141 Goethe) and can speak to the quality of the program there.

The residents, during the summer months will be out walking with volunteers regularly and the residents have always been respectful and polite.

Additionally, we had a street get together last summer with all the residents on Goethe and I can say that they are genuinely good and decent people.

City Gospel has been a great neighbor and they are an attentive landlord. The only issue I've had was when a homeless man was camping out on their property at 211 to 219 Goethe and without hesitation they were able to deal with it successfully. They are very concerned about being a good neighbor and it's apparent that they supervise their program proficiently.

I have the utmost respect for what City Gospel is doing to help those who need a helping hand and support this construction project.

Sincerely,

Thomas (Tom) R. Pruckno

513-280-0859

-

January 28, 2021

Department of City Planning
Samantha McLean, City Planner

RE: City Gospel Mission Goethe Street Project

Dear Ms. McLean,

Thank you for the opportunity to submit a letter in support of City Gospel Missions request to expand and improve their facilities on Goethe Street.

My husband and I have lived on Goethe Street for the last 2 years and our house is located between the 3 existing City Gospel Mission (CGM) residences. I work from home (even before COVID) and my home office faces the CGM main house, where the residences from all 3 buildings meet for meals, classes & social gatherings both inside the house and in the back yard. We can attest that living between the 3 CGM residences, housing up to 36 women, has been nothing but a positive experience. The residences and staff are friendly, respectful, tidy and considerate of noise.

CGM has consistently demonstrated all the qualities of a good neighbor, and we have not been inconvenienced by staff or van parking. We are not concerned about parking since there seems to be ample parking available, but a parking study could be completed to better inform concerned parties.

We thought it was important to relay our experiences living on Goethe Street since several letters, emails and Facebook posts from residents on near-by streets and developers, have made offensive accusations about the character of the women in the program and/or speculations on poor behavior. These accusations are unfounded and the name calling is highly inappropriate, and we encourage everyone to learn more about the program and participants so they can speak from a place of knowledge and experience rather than ignorance.

Before building our home on Goethe St, my husband and I joined the CGM Step Forward program, which is a running club for women and men in recovery and volunteers. Each year we train to run various distances for the Queen Bee and Flying Pig. The running club provides participants and volunteers the opportunity to build fitness, connectiveness and relationships. The self-discipline and determination it takes to turn your life around is truly inspiring and it fosters a culture of compassion, acceptance and community that we all need. While everyone may have different challenges they're working on in their lives, we all have more in common than we are different.

Similar to a majority of the letters/emails submitted to the City Planning Commission, many of us share a common value in recognizing the importance of the work CGM is doing and support their efforts. To say we support this important cause 'but not in my backyard' is archaic and self-serving. City Gospel has thrived on Goethe Street for over 30 years, and it is general knowledge that they own several properties with the intention of expanding their program. They have welcomed new homeowners with open arms. Each new house built or renovated on Goethe Street has required a variance and has changed the aesthetics, use of space and has subjected CGM to long, inconvenient construction projects. The same respect and tolerance can now be extended to CGM. Women in recovery have every right to live on the hillside, and to be part of an integrated neighborhood that is diverse in background, race, ethnicity and income.

We've heard from developers, builders, real estate agents and some property owners who oppose the CGM expansion, noting possible impact to property values, however, no evidence-based research or recordable case studies have been included in the City Planning Commission Packet to support this hypothesis. We would like to see evidence-based data showing potential impact on property value; Otherwise, the idea that the CGM expansion may have a negative impact is driven by an implicit bias or fear of something different, which can lead to uninformed decisions.

The expansion of CGM's program is an opportunity to preserve the integrated and socioeconomic diversity that benefits everyone on Goethe Street. It is an opportunity to protect Goethe Street from racial and income segregation. The influx of high-end housing needs to be balanced by affordable housing to counter the negative effects of gentrification.

Before the days of COVID, Goethe Street organized a Pot-luck Street Party and a Street Clean-Up Day, one of the flyers had a quote by Johann von Goethe, a well-known German poet & novelist. The quote reads *"Knowing is not enough; we must apply. Willing is not enough; we must do"*.

This quote reminds us that knowledge is the first step, and once we have a clear understanding, we must apply action to get results. We've heard from so many people expressing their support for GCM and this is the time to come together as a community and take action to ask for the approval for CGMs proposed expansion and improvement projects on Goethe Street.

Sincerely,

Elizabeth Scott

135 Goethe Street

McLean, Samantha

From: Brenda Tarbell <tarbellbrenda@gmail.com>
Sent: Wednesday, January 27, 2021 10:30 AM
To: McLean, Samantha
Subject: [External Email] Support for City Gospel Mission's transitional housing

External Email Communication

Dear Samantha,

My husband and I have lived in OTR for 31 years of our life together. We now live at 1816 Sycamore St. in Mt. Auburn. I have worked in the building we now live in for 20 years. It is clear to me that the need for longer term housing to support sobriety is a much needed service in our city. The need is especially great for women. It is my feeling that if there were more long term housing opportunities that would support women in recovery from addiction we would have fewer people on the streets doing what they have to do to survive, i.e. dealing, theft, pan handling and prostitution. The City Gospel Mission has been a good neighbor on Goethe St. I think it is disingenuous for some to suggest that the additional cars on the street from staff would be a burden to the parking availability and traffic flow. The residents won't be permitted to drive or have cars and the staff parking would be comparable to what might result if the plots were developed for residences. We support the plan to build a new transitional housing facility on Goethe Street. The women who will be housed there will live in a safe walkable neighborhood with good access to the bus routes.

Thank you,
Brenda Tarbell
1816 Sycamore St.
Cincinnati, OH, 45202

McLean, Samantha

From: ann ullman <annullman1@yahoo.com>
Sent: Wednesday, January 27, 2021 1:04 PM
To: McLean, Samantha
Subject: [External Email] Fw: Goethe development

External Email Communication

Subject: Goethe development

We are writing to oppose the new building of the transitional housing facility proposed by City Gospel Mission for 211-219 Goethe St.

We are property owners of a 2 family home on Dorsey St.

Goethe Street is zoned Single Family and is inappropriate for a facility to house 48 individuals as well as provide office space for 8 employees. The number of variances requested should be a red flag. The variances required to allow development are at odds to the spirit and intention of the ordinances that are already in place. The ordinances exist for good reason and to overrule or reject them is just not reasonable.

The parking will be problematic. It already is. The additional traffic will be problematic. The lack of any turnaround will be an issue. Presently it is necessary to pull into someone's private driveway to turn around.

It seems that to build a large structure on this hillside site will be more expensive than on a more traditional building site.

Regardless of the social issues, pro and con, it appears that it is unrealistic to try to implement this well intentioned project at this particular site.

Perhaps a couple of single homes could be built by City Gospel Mission. These could be similar to the existing homes they have owned on Goethe St., which have fit in well with and had the support of the neighborhood.

Mike and Ann Ullman
annullman1@yahoo.com

McLean, Samantha

From: Woeste, Kristin L. <klwoeste@vorys.com>
Sent: Wednesday, January 27, 2021 10:34 AM
To: McLean, Samantha
Subject: [External Email] RE: Notice of Community Meetings on Goethe Street Notwithstanding Ordinance

External Email Communication

Samantha,

I would appreciate the Zoom links for both meetings. We'll be driving tomorrow evening, but I'll be a passenger and will try to participate on my phone.

I'm a bit concerned that the description of the meeting suggests that it's focused on the design. Unless I missed it, I didn't actually hear one person who spoke at the meeting express concerns about the appearance of the project. (I think there were some written comments on that that were secondary concerns to the use/density.) Rather, I did hear and read a lot of comments (including my own) that expressed concern about the density.

I hope that's part of the discussion—we are really hoping that CGM is working on a win-win proposal that works for their mission and the neighborhood.

I know that's what we are working on as neighbors and that an alternative site has been offered to CGM for no cost as a land swap that's (a) nearby; (b) not on the hillside (which should save significant construction costs); (c) is comparable in size (or maybe a bit larger); (d) is closer to Crossroad Health Center (where so many people penned their support for CGM); and (e) in a zoning district where transitional housing is permitted as of right.

Thanks,
Kristin

From: McLean, Samantha <Samantha.McLean@cincinnati-oh.gov>
Sent: Thursday, January 21, 2021 3:37 PM
To: McLean, Samantha <Samantha.McLean@cincinnati-oh.gov>
Subject: [EXTERNAL] Notice of Community Meetings on Goethe Street Notwithstanding Ordinance

CAUTION: External Email.

Hello,

Please see the attached notice on two upcoming community meetings on the proposed Notwithstanding Ordinance for renovation and new construction on Goethe Street:

Community Meeting 1 – Thursday, January 28, 2021 at 7:00 p.m.

Community Meeting 2 – Thursday, February 11, 2021 at 7:00 p.m.

You are receiving this notice is you submitted public comment or participated/requested to participate in the City Planning Commission meeting on this item. On January 15, 2021, the City Planning Commission held this item to allow for additional community engagement. The purpose of these meetings is to discuss feedback received thus far, solicit additional feedback, and discuss responses to the feedback. Please see the attached notice for more detail and do not hesitate to reach out to me if you have any questions.

Best,
Samantha

Samantha McLean | City Planner

City of Cincinnati | Department of City Planning

Two Centennial Plaza | 805 Central Avenue, Suite 720 | Cincinnati, OH 45202

513-352-4886 | [Facebook](#) | [Twitter](#) | [Website](#) | [Plan Cincinnati](#)

Pronouns: she, her, hers



From the law offices of Vorys, Sater, Seymour and Pease LLP.

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McLean, Samantha

From: Alex Welter <alex@egberslanddesign.com>
Sent: Friday, January 29, 2021 3:54 PM
To: McLean, Samantha
Cc: Roger Howell; Lucretia Bowman; Ryan Meyer
Subject: [External Email] City Gospels Missions Potential sycamore Home
Attachments: CGM LOWER LEVEL.pdf; QUICK ELEVATION NOT COMPLETE.pdf; CGM FIRST FLOOR.pdf; CGM SECOND FLOOR.pdf; CGM THIRD FLOOR.pdf

External Email Communication

Samantha,

Please share with community council and I cc, Roger and Lucretia.

While this is not a look, I love, I just mimicked their first renderings obviously it can change. But the potential is huge on the lots on sycamore.

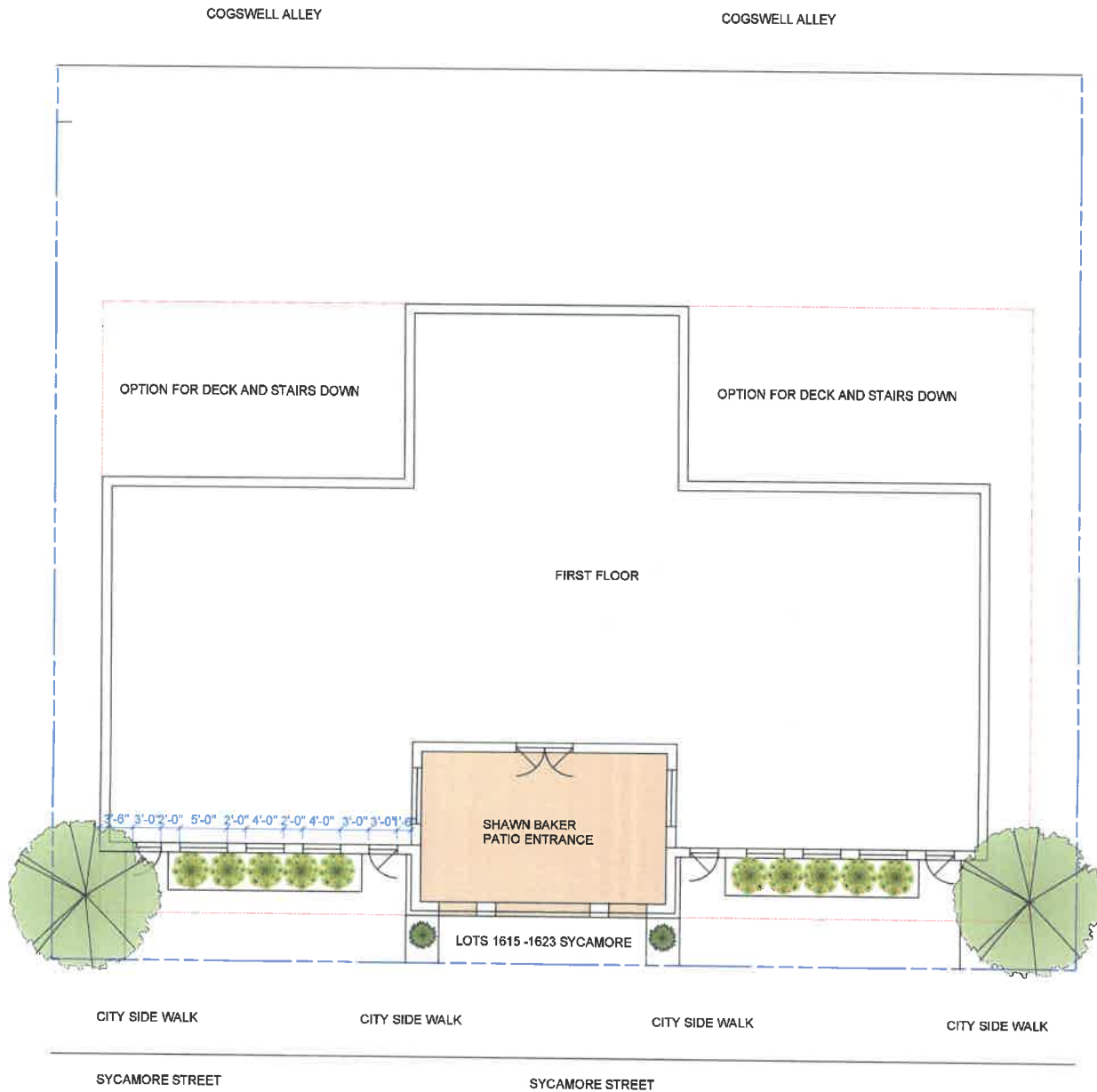
I will gladly help, and I have now offered my help, time, and services multiple times. Free of charge. CGM has never reached out yet?

I will be doing 3d renderings to show it off on Monday or Tuesday, will send when complete. Can we please work together instead of against each other?

Alex



CITY GOSPEL
OPTION FOR SYCAMORE STREET EXPANSION
LOTS 1615-1623



CITY GOSPEL
OPTION FOR SYCAMORE STREET EXPANSION
LOTS 1615-1623

COGSWELL ALLEY

COGSWELL ALLEY

SECOND FLOOR

LOTS 1615 -1623 SYCAMORE

CITY SIDE WALK

CITY SIDE WALK

CITY SIDE WALK

CITY SIDE WALK

SYCAMORE STREET

SYCAMORE STREET

CITY GOSPEL
OPTION FOR SYCAMORE STREET EXPANSION
LOTS 1615-1623

COGSWELL ALLEY

COGSWELL ALLEY

THIRD FLOOR

LOTS 1615 -1623 SYCAMORE

CITY SIDE WALK

CITY SIDE WALK

CITY SIDE WALK

CITY SIDE WALK

SYCAMORE STREET

SYCAMORE STREET

CITY GOSPEL
OPTION FOR SYCAMORE STREET EXPANSION
LOTS 1615-1623



REVISIONS			
REV	DESCRIPTION	DATE	APPROVED

VERY QUICK ELEVATION

CITY GOSPEL
OPTION FOR SYCAMORE STREET EXPANSION
LOTS 1615-1623

NOT EXACTLY MY LOOK BUT SHOWS THE POSSIBILITIES
NOT QUITE FINISHED, BY WORK IN PROGRESS



February 20, 2020

Ms. Lauren Moore
Platte Architecture + Design
1810 Campbell Street
Cincinnati, Ohio 45202

Re: Having the Courage to Change (P) – (CPRE200013) Initial Comments and Recommendations

Dear Ms. Moore,

This Preliminary Design Review letter informs you that our Advisory-TEAM has reviewed your proposed project at 213-219 Goethe Street in the Community of Mount Auburn. We hope that the information provided below will help you move forward with your project. Please see our initial feedback listed below. We strongly recommend that you return to us for either a Development Design Review or Technical Design Review before you get ready for permitting. Thank you for developing within the City of Cincinnati.

City Planning Department

Immediate Requirements to move forward with project:

1. The proposed use, transitional housing program #5, is not permitted within the current zone, SF-2. The subject property is located completely within the SF-2 district and does not directly abut another zoning district.
2. Transitional housing program #5 is permitted or conditionally permitted within the following districts: OG, IR, DD, MG, CC-M, CC-A, and CG-A. None of these districts would be appropriate for the subject property due to the single-family residential nature of the area.
3. The site is 0.147 acres in size. According to Chapter 1429-05 (Basic Requirements), Planned Development districts must comply with a "(a) Minimum Area. The minimum area of a PD District is two contiguous acres. Council may approve a PD District that contains less than the minimum acreage required for an area on an affirmative recommendation of the City Planning Commission, finding that special site characteristics exist, and the proposed land uses justify development of the property as a PD."

Requirements to obtain Permits:

- None.

Recommendations:

1. It is advised that the applicant seek potential sites within zoning districts where this use is permitted.
2. It is encouraged that the applicant contact the Mt. Auburn Community Council, as well as the Over-the-Rhine Community Council due to its proximity to the site.

Contact:

- **Samantha McLean** | City Planning | 513-352-4886 | samantha.mclean@cincinnati-oh.gov

Buildings & Inspections – Zoning

Immediate Requirements to move forward with project:

1. **Re-zoning is needed.** The proposed use (transitional housing program five or six) is not a permitted use in the SF 2 zoning district. A re-zoning or use variance process would need to be implemented to allow the proposed use to be approved. It is not clear if there would be an economic hardship to justify a use variance as single family uses are viable in a single-family zone. Rezoning options are referred to the City Planning Dept.
2. A more detailed site plan is needed. The drawings submitted do not provide enough information to do a comprehensive review. The site plan submitted has the building footprint only and no other information. There is no information on driveway, parking, setbacks, building height, excavation depth, landscaping, the topo lines are 10' intervals etc.

Requirements to obtain Permits:

1. Consolidation of underlying parcels is required as the building would cross a parcel line.
2. Updated site plan with additional information provided as noted above.

Recommendations:

1. See prior comments.

Contact:

- **Weston Munzel** | Zoning | 513-352-2442 | weston.munzel@cincinnati-oh.gov

Metropolitan Sewer District (MSD)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Detention will be reviewed by Jeff Chen at jeff.chen@cincinnati-oh.gov or 513-244-1357 per Section 303 of the MSD Rules and Regulations.
2. An approved site utility plan will be required to receive approved permit.

Recommendations:

- None

Contact:

- **Jim Wood** | MSD | 513-352-4311 | jim.wood@cincinnati-oh.gov

Stormwater Management Utility (SMU)

Immediate requirements to move forward with project:

- None

Requirements to obtain Permits:

1. SMU will require detention system for the project (exemptions from detention requirement must meet section 12.2 of the SMU Rules & Regulations [https://cincinnati-oh.gov/stormwater/assets/File/smu_rules_and_regs\(1\).pdf](https://cincinnati-oh.gov/stormwater/assets/File/smu_rules_and_regs(1).pdf))

2. Submit detention calculations, sections of control structures and detention shop drawings (if detention tank)
 - o Drainage systems will outlet into combined sewers. Therefore, design may follow MSD 303 rules.
3. Entire site runoff from impervious surfaces must be captured and piped into the system before reaching public R/W.
4. Pipes in the R/W must be RCP or DIP (RCP for covers 3' > only). Show profiles for all pipes in public R/W.
5. Submit an approved Erosion/Sediment control plan for the entire site
6. Add SMU Standard Plan Notes (<https://cincinnati-oh.gov/stormwater/construction-and-design/standards/standard-plan-notes-updated-july-2017/>)

Recommendation:

1. Ties into Public Inlets are not permitted.
2. SMU does not permit Public inlets with 5' of curb aprons.

Contact:

- **Saidou Wane** | SMU | 513-591-7746 | saidou.wane@cincinnati-oh.gov

Water Works

Immediate requirements to move forward with project:

1. At this present time Greater Cincinnati Water Works is in the process of running a flow-tests on the existing public water mains in the area. However, depending on weather, (cold temperatures can cause freezing while conducting the test) it may take some time to receive the flow-test results.
 - a. If the flow in the existing public water mains meet the current fire department fire code for a multi-story building, there the Greater Cincinnati Water Works will have no issues with the proposed development water service branch connections on the existing water mains or;
 - b. If the flows in the existing public water mains do not meet the current fire department fire code requirements, the public water mains in the area will need to be upgraded. Greater Cincinnati Water Works will identify the public water main upgrade timeline. If the owner(s)/developer(s) cannot wait on the Greater Cincinnati Water Works public water main upgrade, the owner(s)/developer(s) can replace the public water mains at their expense with Greater Cincinnati Water Works assistance.

Requirements to obtain Permits:

1. Greater Cincinnati Water Works will not approve any new building permits and water service branch(es) until all conditions are met.
2. Any existing water service branch(es) not to be used for this development, must be properly disconnected at the owner's / developer's expense. Owner would be required to fill out the online FOD form at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing removal of the existing water service branch(es) before any new water service(s) can be sold.

Recommendations:

1. Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded plumber to perform the private water service branch design work and installation.
2. Owner(s)/Developer(s) will need to fill out Greater Cincinnati Water Works paperwork to abandon all unused branches.

Contact:

- **Bill Morris** | WaterWorks | 513-591-7858 | bill.morris@gcww.cincinnati-oh.gov

Fire Department

Immediate Requirements to move forward with project:

1. Confirm that the closest two hydrants have fire flows of at least 1000 GPM at 20 PSI.

Requirements to obtain Permits:

1. Closest hydrants are located at 239 Goethe St, 203 Goethe St and 123 Goethe St,
2. Fire Department Connections are to be shown and are to be within 50' of a fire hydrant,
3. Hydrants and FDC placement are not to block fire apparatus access to the structures.
4. Sec. 1229-5. - Location of Buildings and Structures.
5. Bidirectional antenna for fire department communication maybe required for the structure.

Recommendations:

- None

Contact:

- **Fred Prather** | Fire Dept. | 513-357-7595 | fred.prather@cincinnati-oh.gov

Office of Environmental Sustainability (OES)

Immediate Requirements to move forward with project:

- None

Requirements to obtain permits:

- None

Recommendations:

1. The developer should exercise caution in developing this hillside. Increasing storm intensity and its detrimental effects on hillside stability are well documented in the region. Standards, requirements, and adopted recommended mitigation of these hazards are also well documented and should be followed. The developer should ensure the hillside will remain stable under extreme storm conditions.
2. The development goal should be to earn at a minimum the LEED Certified rating level.
3. Rooftop solar should be considered in the design as a renewable energy source.
4. Site areas designated for trash dumpsters or carts should also have at least equal space designated for recycling dumpsters or carts in the design.
5. The use of trees in the landscape design should be included to enhance urban forestry.
6. The use of non-impervious surfaces should be maximized to the extent practical in the design.

Contact:

- **Howard Miller** | OES | 513-352-6999 | howard.miller@cincinnati-oh.gov

Police Department

Immediate Requirements to move forward with project:

- None at this time.

Requirements to obtain Permits:

- No Comments.

Recommendations:

- None

Contact:

- **Matt Hammer** | Police Dept. | 513-478-2257 | matt.hammer@cincinnati-oh.gov
- **Brandon Kyle** | Police Dept. | brandon.kyle@cincinnati-oh.gov

Health Department

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. A food facility plan review by the Cincinnati Health Department (CHD) will be required if future or current space (or tenant) is licensable (or is currently licensed) as a food service operation (FSO) or retail food establishment (RFE). If licensable, plumbing will not issue permits until CHD has completed the food facility review and approved the project. NOTE: A residential facility that accommodates not more than sixteen residents; is licensed, certified, registered or otherwise regulated by the federal government or by the state or a political subdivision of the state; and prepares food for or serves food to only the residents of the facility, and any nonpaying guests of residents or staff is exempt from the requirement to have a food service operation license.

Recommendations:

1. Contact: For assistance in determining whether facility is licensable as an FSO/RFE or not, please contact Trisha Blake.

Contact:

- **Trisha Blake** | Health Dept. | 513-352-2447 | trisha.blake@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. A geotechnical report that includes test boring will be required.
2. All work in the right of way requires a DOTE permit.
3. The address 213 Goethe Street has been assigned for this new building. Please contact dteaddress@cincinnati-oh.gov for any questions on addressing.

Recommendations:

- None

Contact:

- **Morgan Kolks** | DOTE | 513-352-5285 | morgan.kolks@cincinnati-oh.gov

Buildings & Inspections – Buildings

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. No comments at this time. Plans lack details.

Recommendations:

- None

Contact:

- **Robert Martin** | B&I Plans Exam | 513-352-2456 | robert.martin@cincinnati-oh.gov

Department of Community & Economic Development (DCED)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

- None

Recommendations:

- None

Contact:

- **Marc Von Allmen** | DCED | 513-352-4549 | marc.vonallmen@cincinnati-oh.gov

Law Department

Immediate Requirements to move forward with project:

1. No comment at this time.

Requirements to obtain Permits:

- None

Recommendations:


- None

Contact:

- **Charles Martinez** | Law | 513-352-3359 | charles.martinez@cincinnati-oh.gov

This letter is not intended as the City's final approval of your project, but rather as an initial review and consultation to provide feedback from the City's various departments and to better coordinate between the City and developer. We hope you find this process both forthcoming and helpful.

Sincerely,



Rodney D. Ringer
Development Manager
RDR: rdr

ITEM 7 - Additional Attachments

McLean, Samantha

From: Vlad <vova06@gmail.com>
Sent: Monday, March 1, 2021 5:46 PM
To: kevin monroe
Cc: McLean, Samantha
Subject: Re: [External Email] Re: City Gospel Mission Plan

My thanks to both of you for being actively involved in this matter.

Additional questions could include the following:

1. How is this project different from those that exist in Anna Louise Inn/Housing?
2. What studies, if any, have been made with respect to property (de)valuation as a possible result of the project?
3. What economic-impact studies, if any, have been made?
4. If what Carol has stated about the project being intended for women only is true, how do the project administrators intend to determine the sex of a prospective resident in the project buildings?

Do they plan to ask (is it legal?) — or will they presume? If the latter, based on what characteristics?

And what if their presumption will later turn out to be wrong?

What if a person entering the project as a female decides to change her sex while staying there? Will that disqualify that person from remaining a tenant?

And what about transgender and non-binary individuals?

Thank you.

vv

On Mar 1, 2021, at 5:14 PM, kevin monroe <festavarian2@gmail.com> wrote:

Yes, I think they should be shared. I would like to know how many other neighborhoods in the region have FOUR homeless shelters. How many homeless shelters are there in Hyde Park, Oakley, Mt. Lookout or even Clifton? Our community here on the hill is a relatively small enclave, and four such units in this small area seems disproportionate to say the least. While Carol Gibbs pointed out that these are only for the female homeless,

apparently implying that females are more benign than males, the mailing I received did NOT specify this.

I presume that The Mission could change this presumed female predominance by fiat at any time without recourse for the neighbors. Additionally, these days, any person can claim "femaleness", regardless of their actual sex, so sex is not that relevant.

The City has for years encouraged its citizens to move closer to town, and when we do, this is what we have to confront in addition to the higher crime, noise, zoning issues etc.

The City is currently demolishing the Cable Building along Dorchester st. Why not use that soon-to-be-vacant site for the fourth building?

There are only so many "million dollar" city views still available on our hill, and I don't think a homeless shelter comes close to being the best use of that corner lot with its prime city view.

Thank you for allowing me to express my opinion.

Kevin Monroe

On Mon, Mar 1, 2021 at 1:26 PM McLean, Samantha <Samantha.McLean@cincinnati-oh.gov> wrote:

Hi Kevin,

I wanted to follow up and see if you'd like me to share your comments with the City Planning Commission or if your questions have been addressed. Please let me know by Wednesday morning.

Best,

Samantha

Samantha McLean | City Planner

City of Cincinnati | Department of City Planning
Two Centennial Plaza | 805 Central Avenue, Suite 720 | Cincinnati, OH 45202
513-352-4886 | [Facebook](#) | [Twitter](#) | [Website](#) | [Plan Cincinnati](#)

Pronouns: she, her, hers

<image001.png>

From: McLean, Samantha
Sent: Thursday, February 25, 2021 9:02 AM
To: festavarian2@gmail.com
Cc: vova06@gmail.com; sgibbs14@cinci.rr.com; Carol Gibbs <csbgibbs@aol.com>
Subject: RE: [External Email] Re: City Gospel Mission Plan

Hi Kevin,

Thank you for your email. I can share it with the City Planning Commission if you'd like; however, I see that Carol provided some information with you. I am also happy to answer any questions or connect you with the applicant. The application materials and more information can be found here:
<https://www.cincinnati-oh.gov/planning/planning-projects-and-studies/active-ongoing/city-gospel-mission-goethe-street-notwithstanding-ordinance/>

Best,

Samantha

Samantha McLean | City Planner

City of Cincinnati | Department of City Planning
Two Centennial Plaza | 805 Central Avenue, Suite 720 | Cincinnati, OH 45202
513-352-4886 | [Facebook](#) | [Twitter](#) | [Website](#) | [Plan Cincinnati](#)

Pronouns: she, her, hers

<image001.png>

From: Carol Gibbs <csbgibbs@aol.com>
Sent: Wednesday, February 24, 2021 8:09 PM

To: festavarian2@gmail.com

Cc: vova06@gmail.com; McLean, Samantha <Samantha.McLean@cincinnati-oh.gov>; sgibbs14@cinci.rr.com

Subject: [External Email] Re: City Gospel Mission Plan

External Email Communication

Kevin,

You most certainly are allowed to oppose this project but let me explain a couple of things that it, at least, appears that you are not aware of. Please correct me if I am wrong. The four buildings that are proposed here for renovations have been serving 20-30 women in transitional supportive housing for about 30 years on Goethe.....right below us. I have been here for 26 of those years and I have seen no increased drug or crime from these women coming out of rehab and putting their lives back on path. In fact, if you have seen the group of women who run up our street either early in the morning or late afternoon, those are our neighbors living in supportive housing below us. They live there an average of a year. They also volunteer on clean-up Mt Auburn days and are included on the Goethe street events by their neighbors.....new and old.

These are NOT homeless shelters !!

The new building(s) that are being proposed are for women coming out of the transitional living situations into permanent affordable housing. These are women who have gotten jobs and will be living there for possibly 4-5 years. The City.... and our neighborhood....supports and encourages affordable housing. City Gospel Mission, who run these programs, is a faith based non profit who, again, have been our neighbor for decades. They are good neighbors and good landlords and have owned all of this property the entire time that you have lived here and our property values have grown, Our property values have not been retarded by our supporting a group of women getting healthy !!

If you have any questions or want to yell at me, you know where I live.....

Carol

Carol Gibbs

President/CEO

MACDC

In a message dated 2/24/2021 5:10:59 PM Eastern Standard Time, festavarian2@gmail.com writes:

I am a resident of 107 Dorsey st., located immediately above the proposed projects for City Gospel Mission. Today, I received in the mail the plan for the proposed building activity on Goethe st. I STRONGLY OPPOSE the building/renovation of the multiple sites on Goethe as represented in the mailing. You are essentially converting what has, to date, been a quiet safe neighborhood into an enclave for the homeless. To locate 4 such structures in a localized area would lower property values for all of us in the general area who have chosen to live near to and support downtown Cincinnati. The inevitable drugs and crime that accompany any homeless population would obviously elevate the safety risk to all of us, our loved ones, and any visitors. I expect that my opinion is well represented among my neighbors, and that a significant legal challenge to this project should be expected.

Sincerely,

Kevin Monroe

122 PEETE STREET LLC
1060 JACKSON ST
COVINGTON KY 41011

168DORSEY LLC
3084 BARONS COVE
COVINGTON KY 41017

A RAN PROPERTIES LLC
146 148 MULBERRY ST
CINCINNATI OH 45202

AKKINS LLC
9461 OLD FOREST LN
LOVELAND OH 45140

ALLEN HERBERT J & DEBORAH ALLEN
KANE
144 DORSEY ST
CINCINNATI OH 45202

ALLEN SANDRA E
6307 SAUNDERS
APT. 2E
REGO PARK NY 11374

ALLEN SANDRA E
1844 GLENDON PL
CINCINNATI OH 45237

ANDERSON DONNIE & SONYETTA G
206 MULBERRY ST
CINCINNATI OH 45202

ANDROSKI BRET
140 DORSEY ST
CINCINNATI OH 45210

ANTONIDES ALLEN JAY & MELISSA LYN
4900 HUNT RD
UNIT 1133
CINCINNATI OH 45242

ARMENTROUT SUSAN E
113 DORSEY ST
CINCINNATI OH 45202

BAWTENHEIMER CHARLES ALAN &
VIVIAN ANN
162 DORSEY ST
CINCINNATI OH 45202

BELL GEORGE W
128 DORSEY ST
CINCINNATI OH 45202

BIRD DAVID G
6208 ERIE AVE
CINCINNATI OH 45227-2414

BROADNAX STANLEY E
1900 ELEANOR ST
CINCINNATI OH 45219-1803

BROWN SUSAN P
158 DORSEY ST
CINCINNATI OH 45202

BROWN TUTT CHANDA & DEMETRIA
TUTT
120 MULBERRY ST
CINCINNATI OH 45204

BSG2 LLC
1209 SYCAMORE ST
CINCINNATI OH 45202

BUILDING #1 LLC
2783 SUTTON PL
DOYLESTOWN PA 18902

BURWINKEL JOSEPH
84 MULBERRY ST
CINCINNATI OH 45202

CARRIES PLACE LLC
114 WEST 14TH ST
CINCINNATI OH 45202

CHARACTER HOMES HOLDINGS LLC
PO BOX 53842
CINCINNATI OH 45253

CHILCOAT JESSICA
207 DORSEY ST
CINCINNATI OH 45202

CITADEL BUILDING GROUP LTD
340 BOAL ST
CINCINNATI OH 45202

CLIFTON AVE 150 LLC
852 CYPRESS AVE APT
2C
RIDGEWOOD NY 11385

CLS PROPERTIES
1110 ALFRED ST
CINCINNATI OH 45214

COMMUNITY VIEWS LLC
220 E CLIFTON AVE
CINCINNATI OH 45202

COULTER LEE ANN
119 DORSEY ST
CINCINNATI OH 45202

CROSS CONRAD & ASHLEY TEUSINK-
CROSS
314 MULBERRY ST
CINCINNATI OH 45202

CURE PROPERTIES LLC
1947 AUBURN AVE
CINCINNATI OH 45219

CZANIK ERIC
150 MULBERRY ST
CINCINNATI OH 45202

DAFFIN OTR LLC
5930 COUNTRYMEADOW LN
CINCINNATI OH 45233

DIERKES VIRGINIA A
146 DORSEY ST
CINCINNATI OH 45202

DOAN CHRISTOPHER W
170 DORSEY ST
CINCINNATI OH 45202

DUDA MATTHEW E
1410 WALNUT ST
APT #4
CINCINNATI OH 45202

DUKE ALEXANDRIA JADE & LEHR
AARON JOSEPH
102 PEETE ST
CINCINNATI OH 45202

EBER DEVELOPMENT LLC
411 OAK ST
2ND FLR
CINCINNATI OH 45219

ED HOMES LLC
PO BOX 53882
CINCINNATI OH 45253

EQUITY TRUST COMPANY FBO
THOMAS R PRUCKNO IRA
111 PREVALENT DR
OXFORD OH 45056

ERNST FRANK R & SARA J CONSOLIVER-
ERNST
113 MULBERRY ST
CINCINNATI OH 45202

FLORES HERIC
126 MULBERRY ST
CINCINNATI OH 45202

FOURAS ANDREW
203-205 MULBERRY ST
CINCINNATI OH 45202

FRAISER JASMINE
213 MULBERRY ST
CINCINNATI OH 45202

FREESE CRAIG C & ASHLEY R SCOTT
134 MULBERRY ST
CINCINNATI OH 45202

FRY HOLDINGS LLC
4780 FIELDS ERTEL RD
CINCINNATI OH 45241

GIBBS STEVE
123 DORSEY ST
CINCINNATI OH 45202

GILL JAMES & ANDREA MATTHEWS
131 HUNTINGTON PL
CINCINNATI OH 45219

GRANT RICHARD C III
6733 DOON AVE
CINCINNATI OH 45213

GREEN MICHAEL
317 MULBERRY ST
CINCINNATI OH 45202

GRIFFITH CHRISTOPHER M & LEAH
DYAN GRIFFITH
1761 SYCAMORE ST
CINCINNATI OH 45202

HAILSTOCK FRANK
140 MULBERRY ST
CINCINNATI OH 45202

HAMILTON ADAM
308 MULBERRY ST
CINCINNATI OH 45202

HAMPTON JASON T & SARAH A
CORLETT
95 MULBERRY ST
CINCINNATI OH 45202

HARTMAN KATHLEEN M & DEBORAH A
OOTEN
103 DORSEY ST
CINCINNATI OH 45202

HAWKRIDGE CAPITAL PARTNERS LLC
716 SYCAMORE ST
UNIT #1106
CINCINNATI OH 45202

HEIKENFELD JASON C & JESSICA M
136 DORSEY ST
CINCINNATI OH 45202

HEIM TODD E
123 GOETHE ST
CINCINNATI OH 45202

HENDRICKSON TAMI L
120 DORSEY ST
CINCINNATI OH 45202

HERINGER PATRICK & SARAH JENKINS
142 PEETE ST
CINCINNATI OH 45202

HERON DENISE F
131 MULBERRY ST
CINCINNATI OH 45202

HEUSTIS DONNA LEE 151 GOETHE ST CINCINNATI OH 45202	HILDEBRAND ROGER N TR 115 DORSEY ST CINCINNATI OH 45202	HINES LEE MATTHEWS 121 DORSEY ST CINCINNATI OH 45202
HISTORIC LIMITED LIABILITY CO LLC 2575 QUEEN CITY AVE CINCINNATI OH 45238	HOOG STEVEN M 223 DORSEY ST CINCINNATI OH 45202	HOOG STEVEN M 1354 STATE ROUTE 133 BETHEL OH 45106
HORN GREGORY R 172-174 DORSEY ST CINCINNATI OH 45202	HTCTC PROPERTIES LLC 1805 dalton ave CINCINNATI OH 45214	HUTSLAR JEREMY & SARA 114 PEETE STREET CINCINNATI OH 45202
JOHNSON KEVIN 144 PEETE ST CINCINNATI OH 45202	KEY CAROLINE E 309 MULBERRY ST CINCINNATI OH 45202	KIRK LAUREN E 115 MULBERRY ST CINCINNATI OH 45202
KOENIG ERIC 201 DORSEY ST CINCINNATI OH 45202	KUNZE SCOTT & ELEA 312 MULBERRY CINCINNATI OH 45202	KUSNIER DANIEL C & KATILYN S 3674 SAYBROOK AVE CINCINNATI OH 45208
LEE RONALD 142 CLIFTON AVE CINCINNATI OH 45202	LEE RONALD 148 CLIFTON AVE CINCINNATI OH 45202	LEONARD GAVIN 215 PEETE ST CINCINNATI OH 45202
LIBERTY LLC 164 DORSEY ST CINCINNATI OH 45202	LICHTENFELD SAMANTHA G 128 MULBERRY ST CINCINNATI OH 45202	LOISELLE KRISTEN A & DEVON RICH 1763 SYCAMORE ST CINCINNATI OH 45202
LUGGEN JOSEPH M 324 MULBERRY ST CINCINNATI OH 45202	LUTTON DEAN G 3720 STEVENS PL CINCINNATI OH 45226	MAGNOLIA HEIGHTS LIMITED PARTNERSHIP 2170 GILBERT AVE SUITE 100 CINCINNATI OH 45206
MAHLE JACOB D & KRISTIN L WOESTE 127 MULBERRY ST CINCINNATI OH 45202	MARSH ANITRA C 132 MULBERRY ST CINCINNATI OH 45202	McKINNEY RANDALL N & CHRISTOPHER A SCOTT 133 GOETHE ST CINCINNATI OH 45202
MCKINNEY STONEY LEE P O BOX 19538 CINCINNATI OH 45219	MEINERS NICHOLE 3240 FAIRHAVEN LN CINCINNATI OH 45237	MONROE KEVIN D TR 107 DORSEY AVE CINCINNATI OH 45202

MORRIS-TAYLOR TRICIA
141 MULBERRY ST
CINCINNATI OH 45202

MULBERRY GREEN LLC
127 MULBERRY STREET
CINCINNATI OH 45202

NEAL DAVID T
211 OAKEY AVE
LAWRENCEBURG IN 47025

NORED ALVERNA E
215 DORSEY ST
CINCINNATI OH 45202

NORED ALVERNA E @ 2
217 DORSEY ST
CINCINNATI OH 45202

NORTH RHINE LIMITED PARTNERSHIP
114 W 14TH ST
CINCINNATI OH 45202

OBRYANT MIKE
130 MULBERRY ST
CINCINNATI OH 45202

ORI ASSOCIATES II LLC
8322 ARBORCREST DRIVE
CINCINNATI OH 45236

OTR REVITALIZATION LIMITED
PARTNERSHIP % MODEL GROUP
1826 RACE ST
CINCINNATI OH 45202

PATTERSON KEVIN MICHAEL
1220 W BELMONT AVE
#4
CHICAGO IL 60657

PEARL JOHN S JR
152 DORSEY ST
CINCINNATI OH 45202

PEETE 214 LLC
852 CYPRESS AVE
APT #2C
RIDGEWOOD NY 11385

PIAT EIGHT LLC
4000 W 106 TH ST
STE 125-233
CARMEL IN 46032

PILCH BRIAN & CATHARYN
P O BOX 19781
CINCINNATI OH 45219

PREVEY MICHAEL P
505 MILTON ST
CINCINNATI OH 45202

PROPERTY ACQUISITION GROUP LLC
1701 VINE ST
CINCINNATI OH 45202

PURE DEVELOPMENT GROUP LLC
6220 ERIE AVE
CINCINNATI OH 45227

RABAH PROPERTIES LLC
617 FLEMING RD
CINCINNATI OH 45231

RADLEY JAMES W
125 GOETHE ST
CINCINNATI OH 45202

REAJ INVESTMENTS LLC
311 MULBERRY ST
CINCINNATI OH 45202

REDMOND HOLLY & MICHAEL
103 MULBERRY ST
CINCINNATI OH 45202

RELIFORD KADASHA
117 GOETHE ST
CINCINNATI OH 45210

RELIFORD KATARA E
PO BOX 19390
CINCINNATI OH 45219

ROBERTSON CARLOS & SHAWNIA
115 FOX HILLS LN
NORTH BEND OH 45052

ROEBEL PAMELA S
206 DORSEY STREET
CINCINNATI OH 45202

ROLLING RIVER CAPITAL LLC
6368 WEST HENRY RD
RIPLEY OH 45167

ROLLING RIVER CAPITAL LLC
6368 W HENRY RD
RIPLEY OH 45167

ROSE SHANNON
57 MULBERRY ST
CINCINNATI OH 45202

SCHWANER DEBORAH D
222 E CLIFTON AVE
CINCINNATI OH 45202

SCOTT MARY ELIZABETH
135 GOETHE ST
CINCINNATI OH 45202

SCOTT MORGAN F
209 DORSEY ST
CINCINNATI OH 45202

SEAL JOHN T
144 MULBERRY ST
CINCINNATI OH 45202

SEITZ LLC
7935 READING RD
CINCINNATI OH 45237

SHAH RONAK H
111 MULBERRY ST
CINCINNATI OH 45202

SHARP VILLAGE ANNEX LLC
114 W FOURTEENTH ST
CINCINNATI OH 45202

SHIFMAN JACOB MICHAEL & LAURA
RAE HOUSTON
160 GOETHE ST
CINCINNATI OH 45202

SMITH ANGELA
143 MULBERRY ST
CINCINNATI OH 45202

SMITH MARK RANDALL
117 MULBERRY ST
CINCINNATI OH 45202

SMITH MICHAEL
11127 CENTENNIAL AVE
CINCINNATI OH 45242

SPITZ M DOUGLAS
545 MILTON ST
CINCINNATI OH 45202

ST CLAIR GERALDINE
5638 RED CEDAR DR
CINCINNATI OH 45224

ST JOHN SAMUEL J
128 GOETHE ST
CINCINNATI OH 45202

SWEWAT LLC
PO BOX 141203
CINCINNATI OH 45250

SYCAMORE REAL ESTATE VENTURES
LLC
1322 PENDLETON ST
CINCINNATI OH 45202

TALBERT SERVICES INCORPORATED
2600 VICTORY PKY
CINCINNATI OH 45206

TBMG LLC
3665 ERIE AVE
CINCINNATI OH 45208

TITAN CAPITAL LLC
4370 ERIE AVE
CINCINNATI OH 45227

TOWER LEASING LLC
1418 CENTRAL PKY
SUITE 201
CINCINNATI OH 45202

TOWER LEASING LLC
8322 ARBORCREST DR
CINCINNATI OH 45236

UAM PROPERTIES LLC
1555 FAY RD
LOVELAND OH 45140

UCHTMAN JUSTIN R
119 MULBERRY ST
CINCINNATI OH 45202

UNTHERHASLBERGER ELMAR &
ELIZABETH HILTON
2584 MADISON RD #5
CINCINNATI OH 45208

UNUM INVESTMENT GROUP LLC
918 WINDSOR ST
#1
CINCINNATI OH 45206

UNUM INVESTMENT GROUP LLC
2344 KEMPER LN UNIT #
68011
CINCINNATI OH 45206

VINEYARD HOMES INC
122 DONALD DR
FAIRFIELD OH 45014

VITTENBERG VLADIMIR
109 DORSEY ST
CINCINNATI OH 45202

VONDERHAER PAULINE
1777 SYCAMORE ST
CINCINNATI OH 45202

VORHERR DAVID L
5968 CHEVIOT RD
CINCINNATI OH 45247

VORHERR DAVID L & LESTER
1103 RIDGEWAY CT
COVINGTON KY 41011

WARREN COLIN
124 DORSEY ST
CINCINNATI OH 45202

WAT GROUP LTD
1851 BALTIMORE AVE
CINCINNATI OH 45225

WDC LLC
P O BOX 1573
NEWPORT KY 41072-1573

WELTER ALEX & RYAN MEYER
223 GEOTHE ST
CINCINNATI OH 45202

WESTMORELAND CARL B JR
1901 AUBURN AVE
CINCINNATI OH 45219

WESTRICH TIMOTHY
3535 VISTA AVE
CINCINNATI OH 45208

WHEELER KEVIN P TR & TONI E TR
116 DORSEY ST
CINCINNATI OH 45202

WOLF TERRY
301 SEITZ ST
CINCINNATI OH 45202

OVER-THE-RHINE COMMUNITY
COUNCIL
PO BOX 662
CINCINNATI OH 45201

MT AUBURN COMMUNITY COUNCIL
PO BOX 19138
CINCINNATI OH 45219

CONROY AMY M
318 MULBERRY ST UNIT A
CINCINNATI OH 45202

COOK GRACE C
318 MULBERRY ST
CINCINNATI OH 45202

EHRMAN MATTHEW C & JENNY E
306 MULBERRY STREET
UNIT 3
CINCINNATI OH 45202

EQUITY TRUST COMPANY
306 MULBERRY
UNIT 2
CINCINNATI OH 45202

GROSSMANN THOMAS E & JOHN
DAVID
9867 BEECH DR
CINCINNATI OH 45231

GROSSMANN THOMAS E & JOHN
DAVID
9867 BEECH DR
CINCINNATI OH 45231

GROSSMANN THOMAS E & JOHN
DAVID
9867 BEECH DR
CINCINNATI OH 45231

KNAPKE CHAD & CARA
149 GOETHE ST
UNIT 1
CINCINNATI OH 45202

LARISON DAVID A & CARRIE L
143 GOETHE ST
UNIT 4
CINCINNATI OH 45202

MARLIN CHRISTOPHER & KATHERINE
149 GOETHE ST
UNIT 2
CINCINNATI OH 45202

PEREZ VICTOR SIBERIO
318 MULBERRY ST
#C
CINCINNATI OH 45202

WHITE PATRICIA
306 MULBERRY ST
CINCINNATI OH 45202