



City of Cincinnati

801 Plum Street
Cincinnati, Ohio 45202

CALENDAR

Cincinnati City Council

Wednesday, March 17, 2021

2:00 PM

Council Chambers, Room 300

REVISED

ROLL CALL

PRAYER AND PLEDGE OF ALLEGIANCE

FILING OF THE JOURNAL

MAYOR CRANLEY

Cincinnati Accessibility Board of Advisors (CABA) - 10 members: 5 Male/5 Female; 8 White/2 AA

1. [202100968](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Gary Ensing to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/White)

Recommendation CONFIRM
Sponsors: Mayor
2. [202100973](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Jill Gabboney to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)

Recommendation CONFIRM
Sponsors: Mayor
3. [202100974](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Robert Harris to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/AA)

Recommendation CONFIRM

Sponsors: Mayor
4. [202100975](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Katherine Hevener to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)

Recommendation CONFIRM
Sponsors: Mayor

5. [202100977](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Robert Rogers to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/White)

Recommendation CONFIRM

Sponsors: Mayor

6. [202100978](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Elizabeth Whelpdale to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)

Recommendation CONFIRM

Sponsors: Mayor

Southwest Ohio Regional Workforce Investment Board (SWORWIB) - 52 members: 27 Female/25 Male; 24 Minority/28 White

7. [202100997](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Kevin Powell to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/Minority)

Recommendation CONFIRM

Sponsors: Mayor

8. [202100998](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Maureen Reilly to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)

Recommendation CONFIRM

Sponsors: Mayor

9. [202101000](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Uche Agomuo to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/Minority)

Recommendation CONFIRM

Sponsors: Mayor

10. [202101001](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Jackie Alf to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)

Recommendation CONFIRM

Sponsors: Mayor

11. [202101002](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Heath Boucher to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/White)
Recommendation CONFIRM

Sponsors: Mayor
12. [202101003](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Jennifer Roeder to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)
Recommendation CONFIRM

Sponsors: Mayor
13. [202101005](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Leo Chan to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/Minority)
Recommendation CONFIRM

Sponsors: Mayor
14. [202101006](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Natasha Chesnut to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)
Recommendation CONFIRM
Sponsors: Mayor
15. [202101007](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Scott Conklin to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/White)
Recommendation CONFIRM
Sponsors: Mayor
16. [202101008](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Jamie D'Agostino to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/Minority)
Recommendation CONFIRM
Sponsors: Mayor
17. [202101009](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint

Chad Day to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/White)

Recommendation CONFIRM

Sponsors: Mayor

18. [202101010](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Mark Diedrg to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/White)

Recommendation CONFIRM

Sponsors: Mayor

19. [202101011](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Trisha Rogers-Lowey to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)

Recommendation
CONFIRM

Sponsors: Mayor

20. [202101012](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Margaret Fox to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)

Recommendation CONFIRM

Sponsors: Mayor

21. [202101013](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Chris Fridel to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/White)

Recommendation CONFIRM

Sponsors: Mayor

22. [202101014](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Shanel Gentry to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/Minority)

Recommendation CONFIRM

Sponsors: Mayor

23. [202101015](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Harry Snyder to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/White)

Recommendation
CONFIRM

Sponsors: Mayor

24. [202101016](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Stephanie Hall to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/Minority)

Recommendation CONFIRM

Sponsors: Mayor

25. [202101017](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Carol Sorenson-Williams to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)

Recommendation

CONFIRM

Sponsors: Mayor

26. [202101018](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Melissa Johnson to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)

Recommendation CONFIRM

Sponsors: Mayor

27. [202101019](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Shawntay Mallory to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)

Recommendation CONFIRM

Sponsors: Mayor

28. [202101020](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Renee McPherdan to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/White)

Recommendation CONFIRM

Sponsors: Mayor

29. [202100984](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Nick Milazzo to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/White)

Recommendation CONFIRM

Sponsors: Mayor

30. [202100989](#) **REAPPOINTMENT**, submitted by Mayor John Cranley, I hereby reappoint Denisha Porter to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City

Council for its advice and consent pursuant to its Rules. (Female/Minority)

Recommendation CONFIRM

Sponsors: Mayor

31. [202101021](#)

REAPPOINTMENT, submitted by Mayor John Cranley, I hereby reappoint Jerry Porter to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/Minority)

Recommendation
CONFIRM

Sponsors: Mayor

Hamilton County Convention Facilities Authority (CFA) - 3 appts: 2 Male/1 Female; 2 White/ 1 AA

32. [202101027](#)

REAPPOINTMENT, submitted by Mayor John Cranley, I hereby reappoint Adam Gelter to the Hamilton County Convention Facilities Authority (CFA) for a term of four years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Male/White)

Recommendation CONFIRM

Sponsors: Mayor

Citizen Complaint Authority Board - 7 appts: 3 Male/ 4 Female; 2 White/4 AA/ 1 Hispanic

33. [202101037](#)

REAPPOINTMENT, submitted by Mayor John Cranley, I hereby reappoint Luz Elena Schemmel to the Citizen Complaint Authority Board for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules. (Female/Hispanic)

Recommendation CONFIRM

Sponsors: Mayor

MS. KEARNEY

MS. KEATING

MS. SUNDERMANN

34. [202101053](#)

RESOLUTION, submitted by Councilmember Kearney, Keating and Sundermann, **RECOGNIZING** and honoring Hope Dudley for her leadership and advocacy for families who have been impacted by violent crimes, as part of the City of Cincinnati's recognition of Women's History Month 2021 during which the City celebrates women who are making history today while bringing national attention to Cincinnati and serving our community.

Recommendation PASS

Sponsors: Kearney, Keating and Sundermann

35. [202101058](#)

RESOLUTION, submitted by Councilmember Kearney, Keating and Sundermann, **RECOGNIZING** and honoring Judge Marilyn Zayas for her

judicial integrity and impactful outreach with young students as part of the City of Cincinnati's recognition of Women's History Month 2021 during which the City celebrates women who are making history today while bringing national attention to Cincinnati and serving our community.

Recommendation PASS

Sponsors: Kearney, Keating and Sundermann

36. [202101064](#) **RESOLUTION**, submitted by Councilmember Kearney, Keating and Sundermann, **RECOGNIZING** and honoring Scarlet "Mama Scar" Hudson for her extensive community outreach and anti-trafficking activism as part of the City of Cincinnati's recognition of Women's History Month 2021 during which the City celebrates women who are making history today while bringing national attention to Cincinnati and serving our community.

Recommendation PASS

Sponsors: Kearney, Keating and Sundermann

MR. GOODIN

37. [202101159](#) **RESOLUTION**, submitted by Councilmember Goodin, from Andrew W. Garth, City Solicitor, **ENCOURAGING** the Congress of the United States to reintroduce and enact without delay the Affordable Housing Credit Improvement Act to increase its housing credit allocation to drive millions in private capital into the affordable housing market to address the affordable housing shortage in Cincinnati and the United States.

Recommendation PASS

Sponsors: Goodin

MR. GOODIN

MS. SUNDERMANN

MS. KEATING

MS. KEARNEY

MR. SMITHERMAN

38. [202101145](#) **MOTION**, submitted by Councilmember Goodin, Vice Mayor Smitherman, Councilmember Sundermann, Kearney, and Keating, New 5G mobile communications technology has necessitated the deployment of thousands of small cell system towers throughout the United States. Such towers are now being deployed in Cincinnati neighborhoods. Accordingly, **WE MOVE** that the Administration advise Council regarding all potential methods of regulating 5G small cell system towers under the City's Municipal Code, Administrative Code and Zoning Code.

Recommendation EDUCATION, INNOVATION AND GROWTH COMMITTEE

Sponsors: Goodin, Keating, Kearney, Smitherman and Sundermann

39. [202101152](#) **MOTION**, submitted by Councilmember Goodin, Vice Mayor Smitherman,

Councilmember Sundermann, Keating and Kearney, During the COVID-19 pandemic, Cincinnati workers have adopted remote working at an amazing pace. Many routine office activities have been replaced by video conferencing and digital access to documents. While these innovations have kept our economy moving, they also present a looming crisis for Ohio's cities. More than 70 percent at Cincinnati's revenue is derived from its earning tax, and a significant portion of that percentage is derived from non-City residents who formerly worked in downtown offices. Recent litigation and potential legislation have called into question our ability to tax those workers in the long term. These actions notwithstanding, many businesses may simply choose to close their offices or reduce their physical footprint in the City, thus shrinking the tax base over time. Accordingly, **WE MOVE** that the Administration prepare a report outlining the loss in revenue to the City per annum if, variably, 10, 20 or 30 percent of non-resident City workers would no longer be subject to the City's earning tax.

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: Goodin, Kearney, Keating, Smitherman and Sundermann

MS. KEARNEY

40. [202101076](#) **MOTION**, submitted by Councilmember Kearney, **WE MOVE** for the administration to compare the Balanced Development Priorities Analysis to the Peaslee Neighborhood's Developer Questionnaire. Include in the report any information requested from developers by Peaslee's Developer Questionnaire that is not gathered by the Department of community and Economic Development that City Council will not be provided in response to the Balanced Development Priorities Analysis and information requested by the Department of Community and Economic Development.

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: Kearney

41. [202101049](#) **MOTION**, submitted by Councilmember Kearney, **WHEREAS** it has been determined that the City of Cincinnati is lacking in an estimated 28,000 affordable housing units, and; **WHEREAS**, the City of Cincinnati established an Affordable Housing Trust Fund in 2018 with \$700,000 from the proceeds from the sale of the Norfolk Railroad, and; **WHEREAS**, the amount currently in the City's Affordable Housing Trust Fund is insufficient to meet the demand for affordable housing in the City of Cincinnati, and; **WHEREAS**, the City of Cincinnati is to receive \$290 million from the American Rescue Plan, President Joe Biden's \$1.9 trillion coronavirus stimulus bill; Now, therefore: **WE MOVE** that the City Administration prepare a **REPORT** on the feasibility of depositing a total of \$50 million from the American Rescue Plan into the City of Cincinnati's Affordable Housing Trust Fund immediately upon receipt of such funds. (STATEMENT ATTACHED).

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: Kearney

MS. KEATING

MR. MANN

MS. SUNDERMANN**MS. KEARNEY**

42. [202101124](#) **MOTION**, submitted by Councilmember Keating, Mann, Sundermann and Kearney, Our small businesses have suffered from the negative impacts of COVID-19 at a disproportionate level. The City of Cincinnati is to receive \$290 million from the American Rescue Plan, President Joe Biden's \$1.9 trillion coronavirus stimulus bill. **WE MOVE** that the City Administration prepare a REPORT on how much money, of the \$290 million from the American Rescue Plan, that the city could feasibly set aside to aid the small business community in their COVID-19 recovery efforts. This approach needs to be a two-pronged effort that not only targets specific small businesses but also takes a blanketed approach to focus on providing aid to neighborhood business districts. Therefore, **WE FURTHER MOVE** that the City Administration prepare a REPORT on how much money of \$290 million from the American Rescue Plan, that the city could feasibly set aside to identify and aid the neighborhood business districts that have been most negatively impacted by the COVID-19 impact. **WE FURTHER MOVE** that the City Administration prepare a REPORT on the eligibility requirements in which small businesses and neighborhood business districts would need to meet in order to qualify for relief through the city. These funds would be utilized to assist in the recovery from the losses our small businesses and communities have endured due to the COVID-19 Pandemic. We request these reports within 21 days to allocate enough time to consider these findings for the upcoming budget process. (STATEMENT ATTACHED)

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: Keating, Mann, Sundermann and Kearney

MR. LANDSMAN

43. [202101104](#) **MOTION**, submitted by Councilmember Landsman, **WE HEREBY MOVE** that the Administration provide a brief, high-level report on what it would take in terms of additional crews and funding to achieve *optimum level of public services functioning* as it relates to sanitation, road treatment, snow removal, and street paving and maintenance. (STATEMENT ATTACHED).

Recommendation LAW AND PUBLIC SERVICE COMMITTEE

Sponsors: Landsman

MR. MANN

44. [202101096](#) **COMMUNICATION**, submitted by Councilmember Mann from Paula Boggs Muething, City Manager, regarding a report concerning state of CRS Pension trust and Healthcare Trust as of December 31, 2019.

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: Mann

MR. SEELBACH

45. [202101085](#) **COMMUNICATION**, submitted by Councilmember Seelbach from Maurice Wagoner, President of the Over-The-Rhine Community Council concerning Central Parkway Planning Effort.

Recommendation ECONOMIC GROWTH AND ZONING COMMITTEE

Sponsors: Seelbach

MR. SMITHERMAN

MS. KEATING

MR. GOODIN

46. [202101138](#) **MOTION**, submitted by Vice Mayor Smitherman and Councilmember Keating and Goodin, **WE MOVE** that a subcommittee of Economic Growth and Zoning be established to address matters related to small business in the City of Cincinnati.

Recommendation MAJOR PROJECTS AND SMART GOVERNMENT COMMITTEE

Sponsors: Smitherman, Keating and Goodin

MS. SUNDERMANN

MS. KEARNEY

MR. MANN

MR. GOODIN

47. [202101131](#) **MOTION**, submitted by Councilmember Sundermann, Kearney, Mann and Goodin, **WE MOVE** the Administration draft an ordinance to provide \$3,000,000 for the final gap in funding needed for the Warsaw Avenue Creative Campus in East Price Hill being developed by Price Hill Will, the premier nonprofit community development corporation serving the neighborhoods of East, West, and Lower Price Hill. The source of city revenue should be a portion of the anticipated \$291,590,000 that Cincinnati is anticipated to receive from the recently passed federal law, American Rescue Plan. (STATEMENT ATTACHED)

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: Sundermann, Kearney, Mann and Goodin

CITY MANAGER

48. [202100951](#) **REPORT**, dated 3/17/2021, submitted by Paula Boggs Muething, City Manager, regarding Special Event Permit Application for 2021 CONCOURS D' ELEGANCE.

Recommendation FILE

Sponsors: City Manager

49. [202100976](#) **ORDINANCE** submitted by Paula Boggs Muething, City Manager, on

3/17/2021, **AUTHORIZING** the renovation of the three existing buildings located at 127-129, 131, and 141 Goethe Street in the Mt. Auburn neighborhood and the construction of a new three-story building on vacant land located at 211-219 Goethe Street in the Mt. Auburn neighborhood for use as transitional housing, NOTWITHSTANDING (i) the use and density limitations contained in Chapter 1403, "Single-Family Districts," of the Cincinnati Municipal Code, (ii) the use and density limitations contained in Chapter 1405, "Residential Multi-Family Districts," of the Cincinnati Municipal Code, (iii) the parking limitations contained in Chapter 1425, "Parking and Loading Regulations," of the Cincinnati Municipal Code, and (iv) the development standards contained in Chapter 1433, "Hillside Overlay Districts," of the Cincinnati Municipal Code.

Recommendation ECONOMIC GROWTH AND ZONING COMMITTEE

Sponsors: City Manager

50. [202100979](#) **REPORT**, dated 3/17/2021 submitted by Paula Boggs Muething, City Manager, on a communication from the State of Ohio, Division of Liquor Control, advising of a permit application for DURBANS GREENHOUSE INC, 3401 Clifton Avenue, Cincinnati, Ohio 45220. (#23630010005, C1, C2, NEW) [Objections: NONE]

Recommendation FILE

Sponsors: City Manager

51. [202101054](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/17/2021, **AUTHORIZING** the City Manager to apply for, accept, and appropriate the sum of up to \$150,000 from the Ohio Environmental Protection Agency's Water Pollution Control Loan Fund for the purpose of providing financial assistance to Cincinnati homeowners with defective household sewage treatment systems; and **AUTHORIZING** the Director of Finance to deposit the grant funds into Public Health Research Fund 350.

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: City Manager

52. [202101066](#) **ORDINANCE** submitted by Paula Boggs Muething, City Manager, on 3/17/2021, **AUTHORIZING** the City Manager to apply for grant resources from the Clean Ohio Trails Fund grant program to be awarded by the Ohio Department of Natural Resources in an amount up to \$500,000 for the purpose of providing resources for the construction of Phase 6a of the Wasson Way Trail project.

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: City Manager

53. [202101067](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/17/2021, **DETERMINING** to proceed with a special assessment for the Urban Forestry Program for the calendar year 2022, for the control of blight and disease of shade trees and for planting, maintaining, trimming, and removing shade trees in the public right-of-way in the City of Cincinnati's Urban Forestry Maintenance District.

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: City Manager

54. [202101068](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/17/2021, **AUTHORIZING** the City Manager to accept and deposit a donation in an amount of \$100,000 from the Cincinnati Parks Foundation into Fund No. 430, "Parks Private Endowment," for the purpose of providing resources for the design and construction of the accessible plaza for the Ezzard Charles statue in Laurel Park; **ESTABLISHING** new capital improvement program project account no. 980x203x212009, "Ezzard Charles Statue Plaza," for the purpose of providing resources for the design and construction of the accessible plaza for the Ezzard Charles statue in Laurel Park; and further **AUTHORIZING** the transfer and appropriation of \$100,000 from the unappropriated surplus of Fund No. 430, "Parks Private Endowment," to newly established capital improvement program project account no. 980x203x212009, "Ezzard Charles Statue Plaza."

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: City Manager

55. [202101069](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/17/2021, **LEVYING** a special assessment for the Urban Forestry Program for the calendar year 2022, for control of blight and disease of shade trees and for planting, maintaining, trimming, and removing shade trees within the public right-of-way in the City of Cincinnati's Urban Forestry Maintenance District.

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: City Manager

56. [202101077](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/17/2021, **ESTABLISHING** new capital improvement program project no. 980x199x211923, "Nature Playscape - Bramble Park"; and further **AUTHORIZING** the City Manager to apply for, accept, and appropriate a grant in the amount of up to \$75,000 from the State of Ohio, Department of Natural Resources, Office of Real Estate & Land Management for the purpose of funding the design and construction of a new nature playscape at the Bramble Recreation Area, located at 6395 Bramble Avenue.

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: City Manager

57. [202101078](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/17/2021, **AUTHORIZING** the City Manager apply for, accept, and appropriate a grant in the amount of up to \$68,000 from the Ohio Attorney General; and **AUTHORIZING** the appropriation of the sum of \$60,000 to Police's General Fund personnel operating budget account no. 050X228X7100, and \$8,000 to Cincinnati Police Department General Fund non personnel operating budget account no. 050X228X7200, for the purpose of funding threat assessment training for school resource officers and conducting school building vulnerability assessments.

Recommendation BUDGET AND FINANCE COMMITTEE

Sponsors: City Manager

CLERK OF COUNCIL

58. [202101106](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Emily Ahouse/Building & Inspections/Zoning.
Recommendation FILE
Sponsors: Clerk of Council
59. [202101107](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Matthew Edwin Shad/Building & Inspections - Division Manager.
Recommendation FILE
Sponsors: Clerk of Council
60. [202101108](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Ryan Dean Welsh/MSD/Deputy Director.
Recommendation FILE
Sponsors: Clerk of Council
61. [202101109](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Angela Strunc/DOTE/Interim City Architect.
Recommendation FILE
Sponsors: Clerk of Council
62. [202101110](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Trisa Ann Wilkens/Economic Inclusion - Interim Deputy Director.
Recommendation FILE
Sponsors: Clerk of Council
63. [202101111](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Robert L Martin/Supervising Building Plans Examiner.
Recommendation FILE
Sponsors: Clerk of Council
64. [202101112](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Eugene Lackey/Building & Inspections.
Recommendation FILE
Sponsors: Clerk of Council
65. [202101113](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Brian Nicholas Gay/Office of City Manager/Office of Budget & Evaluation - Interim Division Manager.
Recommendation FILE
66. [202101114](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Art Dahlberg/Building & Inspections/Director.
Recommendation FILE

Sponsors: Clerk of Council

67. [202101115](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Edward Philip Cunningham/Building & Inspections - Deputy Director.

Recommendation FILE

Sponsors: Clerk of Council

68. [202101117](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Daniel Emil Betts/Director of CRC.

Recommendation FILE

Sponsors: Clerk of Council

69. [202101119](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Markiea Linnea Carter/Department of Community and Economic Development/Interim Director.

Recommendation FILE

Sponsors: Clerk of Council

70. [202101120](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Diana R. Christy/MSD/Director.

Recommendation FILE

Sponsors: Clerk of Council

71. [202101121](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Theodore John Nussman/Finance/Tax Commissioner.

Recommendation FILE

Sponsors: Clerk of Council

72. [202101122](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for Tiffany Reece Stewart/Division Manager.

Recommendation FILE

Sponsors: Clerk of Council

73. [202101123](#) **STATEMENT**, submitted by the Clerk of Council formally filing a copy of the Financial Disclosure Statement for John Albert Rennekamp/Sewers/Division Manager.

Recommendation FILE

Sponsors: Clerk of Council

BUDGET AND FINANCE COMMITTEE

74. [202100841](#) **ORDINANCE** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **ESTABLISHING** the salary schedule and classification title for the new employment classification of Housing Services Coordinator, and enacting Section 336 of Division 0, Chapter 307 of the Cincinnati Municipal Code, in order to establish a new salary schedule and new classification title of Housing Services Coordinator.

Recommendation PASS

Sponsors: City Manager

75. [202100921](#) **REPORT**, dated 3/10/2021, submitted by Paula Boggs Muething, City Manager, regarding Finance and Budget Monitoring Report for the Period Ending January 31, 2021.

Recommendation APPROVE & FILE

Sponsors: City Manager

76. [202100922](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **AUTHORIZING** the City Manager to accept and appropriate State of Ohio Capital Budget Grant resources in the amount of \$1,700,000 as authorized by Senate Bill 310 from the Ohio Department of Natural Resources to capital improvement program project account no. 980x203x202008, "Smale Riverfront Park Extension" for the purpose of providing resources for expansion and improvements at the Smale Riverfront Park extension on Lot 23 of the Banks; and **AUTHORIZING** the Director of Finance, upon receipt of the State of Ohio Capital Budget Grant resources in the amount of \$1,700,000, as authorized by Senate Bill 310, from the Ohio Department of Natural Resources, to return to source the amount of up to \$1,700,000 from capital improvement program project account no. 980x203x202008, "Smale Riverfront Park Extension," to the unappropriated surplus of Park and Recreation Improvement Bond Fund 860 for the purpose of partially offsetting the notes issued to fund a portion of the expansion and improvements at the Smale Riverfront Park extension on Lot 23 of the Banks.

Recommendation PASS EMERGENCY

Sponsors: City Manager

77. [202100923](#) **ORDINANCE** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **AUTHORIZING** the City Manager to apply for grant resources awarded by the Ohio Department of Transportation from the Safe Routes to School program in an amount of up to \$400,000 for the purpose of implementing various safety improvements within two miles of schools within the City of Cincinnati.

Recommendation PASS

Sponsors: City Manager

78. [202100924](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **AUTHORIZING** a payment of \$52,144.05 from the Human Resources Department's non-personnel operating budget account no. 050x121x1000x7289 to Governmentjobs.com, Inc. as a moral obligation of the City for payment of charges owed for the annual NeoGov subscription fee for the City's workforce management software.

Recommendation PASS EMERGENCY

Sponsors: City Manager

79. [202100925](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **AUTHORIZING** the City Manager to apply for, accept, and appropriate a grant in the amount of up to \$150,000 in FY 2018 Project Safe Neighborhoods funds from the Ohio Department of Public

Safety, Office of Criminal Justice Services, for assistance with building renovations for the Crime Gun Intelligence Center; and **AUTHORIZING** the Finance Director to deposit the grant funds into Law Enforcement Grant Fund 368, Project Account No. 18PSN.

Recommendation PASS EMERGENCY

Sponsors: City Manager

80. [202100926](#) **ORDINANCE** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **AUTHORIZING** the City Manager to apply for grant resources in an amount up to \$150,000,000 awarded by the United States Department of Transportation through the Infrastructure for Rebuilding America (CFDA 20.934) discretionary grant program to provide resources for the construction of the Western Hills Viaduct.

Recommendation PASS

Sponsors: City Manager

81. [202100927](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **AUTHORIZING** the City Manager to apply for and accept a grant of up to \$91,162 from the United States Department of Transportation and the Federal Aviation Administration through the recently passed Coronavirus Aid, Relief, and Economic Security Act Airport Grant program for the purpose of offsetting losses in revenue at Lunken Airport due to COVID-19 and a need to defray various costs associated with operating Lunken Airport; **AUTHORIZING** the Director of Finance to receive and deposit the grant funds into General Aviation Fund revenue account no. 104x8559; and further **AUTHORIZING** the City Manager do all things necessary to execute any agreements necessary for the receipt and administration of these grant resources.

Recommendation

PASS EMERGENCY

Sponsors: City Manager

82. [202100928](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **AUTHORIZING** the acceptance and deposit into General Fund Revenue account 050x8579 of \$130,000 from Hecate Energy LLC related to the Cincinnati Solar Array project; **AUTHORIZING** the appropriation of \$108,162 of said revenue to the Law Department's General Fund 050 non-personnel operating budget account no. 050x111x7200 for the purpose of providing funds for legal expenses related to the project; and **AUTHORIZING** the appropriation of \$21,838 of such revenue to the Office of Environment and Sustainability's General Fund 050 non-personnel operating budget account 050x104x7200 for the purpose of providing funding for an energy consultant related to the project.

Recommendation PASS EMERGENCY

Sponsors: City Manager

83. [202100929](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **AUTHORIZING** the establishment of new capital improvement program project account no. 980x203x212008, "Ault Park Wi-Fi -

State of Ohio Capital”; and AUTHORIZING the City Manager to accept and appropriate State of Ohio Capital Budget resources in the amount of \$46,000 as authorized by Senate Bill 310, which established the State of Ohio’s Capital Budget for Fiscal Years 2021 and 2022, to the newly established capital improvement program project account no. 980x203x212008, “Ault Park Wi-Fi - State of Ohio Capital.”

Recommendation PASS EMERGENCY

Sponsors: City Manager

84. [202100930](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **APPROVING AND AUTHORIZING** the City Manager to execute a *Community Reinvestment Area Tax Exemption Agreement (LEED or Living Building Challenge)* with 100 E. McMicken LLC, an affiliate of Northcrown Property LLC, thereby authorizing a 15-year tax exemption for 100% of the value of improvements made to real property located at 100 E. McMicken Avenue in the Over-The-Rhine neighborhood of Cincinnati, in connection with the remodeling of the existing building into approximately 5,277 square feet of residential rental space consisting of 6 apartments, which remodeling shall be completed in compliance with Leadership in Energy and Environmental Design Silver, Gold or Platinum standards or Living Building Challenge standards, at a total remodeling cost of approximately \$841,650.

Recommendation PASS EMERGENCY

Sponsors: City Manager

85. [202100931](#) **RESOLUTION (LEGISLATIVE) (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **DECLARING** by legislative resolution the necessity of improving Walworth Avenue by constructing an extension thereto, together with curbs, street lighting, streetscaping, sidewalks, water mains, and storm and sanitary sewer; necessary remediation of soil in the related right-of-way; installing retaining walls; acquiring land necessary to construct and install the foregoing; and acquiring, constructing, and installing other related improvements, and of assessing certain lots adjacent to Walworth Avenue, as extended, for costs of those improvements, in accordance with Chapter 727 of the Ohio Revised Code. (MS KEATING IS EXCUSED FROM VOTING ON THIS ITEM)

Recommendation PASS EMERGENCY

Sponsors: City Manager

NEIGHBORHOODS COMMITTEE

86. [202100906](#) **MOTION**, submitted by Councilmember Mann, **WE MOVE** that the City make a secondary name change to Hatch Street, between Loudon and Wareham Streets to Pat Berry Way. (STATEMENT ATTACHED).

Recommendation ADOPT

Sponsors: Mann

87. [202100932](#) **ORDINANCE (EMERGENCY)** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **DETERMINING** to proceed with the assessment of properties located on the southern side of the street between 49 and 67 Mulberry Street in the Over-the-Rhine neighborhood in the City of Cincinnati to pay for the costs of constructing a public improvement, namely a 243-foot retaining wall along Peete Street, pursuant to Ohio Revised Code Section 727.23.

Recommendation PASS EMERGENCY

Sponsors: City Manager

88. [202100933](#) **ORDINANCE** submitted by Paula Boggs Muething, City Manager, on 3/10/2021, **TO LEVY** special assessments to pay for the costs of constructing a public improvement, namely a 243-foot retaining wall along Peete Street, adjacent to certain lots located between 49 and 67 Mulberry Street on the southern side of the street in the Over-the-Rhine neighborhood in the City of Cincinnati, in accordance with the Ohio Revised Code Section 727.25.

Recommendation PASS

Sponsors: City Manager

89. [202100950](#) **MOTION**, submitted by Councilmember Sundermann and Mann, **WE MOVE** the Administration prepare a report on the feasibility of creating a Residential Parking Permit Area on Livingston Street in the West End. (STATEMENT ATTACHED)

Recommendation ADOPT

Sponsors: Sundermann and Mann

SUPPLEMENTAL ITEMS

LAW & PUBLIC SAFETY COMMITTEE

90. [202100943](#) **MOTION, (AMENDED)**, submitted by Councilmember Keating, Goodin, Mann, Kearney and Vice Mayor Smitherman, Police officers experience multiple traumatic events throughout their entire career. A study in 2015 showed that the average law enforcement officers experience 188 critical incidents over the extent of their career. In response to the trauma they see in their everyday lives, law enforcement officers can turn to negative coping mechanisms, experience symptoms of and/or develop PTSD, as well as other mental health disorders adding unneeded and additional stress to their already stressful profession. Accordingly, **WE MOVE** that the Administration provide a full report regarding the mental health services available to law enforcement officers, including but not limited to counseling services, mental health training, and emotional health training. * ~~Moreover, WE MOVE that the Administration provide an additional report on the number of officers who are currently utilizing the mental health support services available to them.~~

Recommendation ADOPT

Sponsors: Keating, Goodin, Mann, Kearney and Smitherman

ANNOUNCEMENTS

Adjournment




Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Gary Ensing to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley

for Carney



Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Jill Gabboney to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley

Dr. C. C. C.




Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Robert Harris to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley

for Carol




Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Katherine Hevener to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley

Dr. Carlson



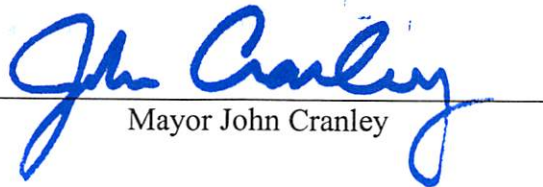
Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Robert Rogers to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley

Mr. Carlson



202100978

Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Elizabeth Whelpdale to the Cincinnati Accessibility Board of Advisors (CABA) for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley

for Charles



2021 00997

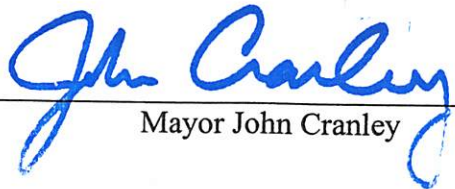
Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Kevin Powell to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



202100998

Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Maureen Reilly to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



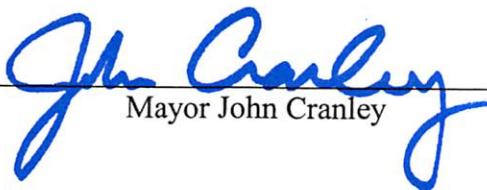
Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Uche Agomuo to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



Office of Mayor John Cranley

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Cincinnati, Ohio 45202
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Fax (513) 352-5201
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March 2021

REAPPOINTMENT

I hereby reappoint Jackie Alf to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley




Office of Mayor John Cranley

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Cincinnati, Ohio 45202
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March 2021

REAPPOINTMENT

I hereby reappoint Heath Boucher to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



202101003

Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Jennifer Roeder to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



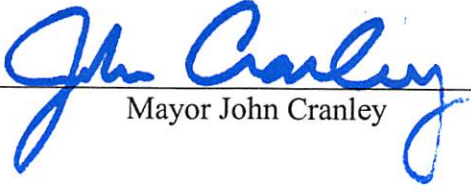
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Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Natasha Chesnut to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



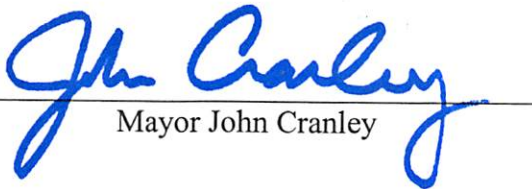
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Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Scott Conklin to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



Office of Mayor John Cranley

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Cincinnati, Ohio 45202
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March 2021

REAPPOINTMENT

I hereby reappoint Jamie D'Agostino to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



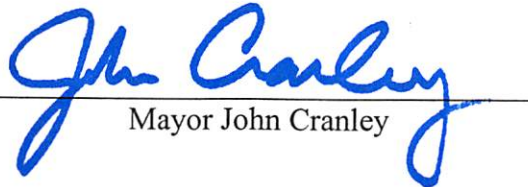
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Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Chad Day to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.


Mayor John Cranley



Office of Mayor John Cranley

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March 2021

REAPPOINTMENT

I hereby reappoint Mark Dierg to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



202101011

Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Trisha Rogers-Lowey to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



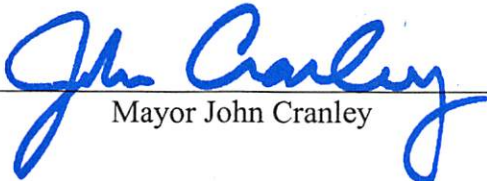
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Cincinnati, Ohio 45202
Phone (513) 352-3250
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Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Margaret Fox to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



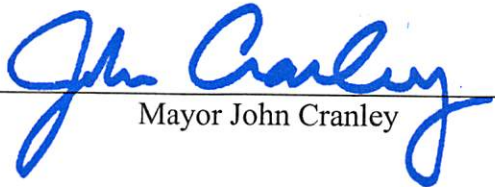
Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Chris Fridel to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



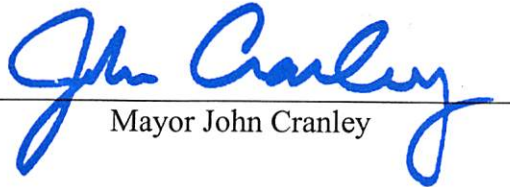
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Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Shanel Gentry to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.


Mayor John Cranley



202101015

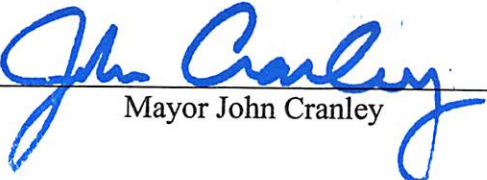
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Cincinnati, Ohio 45202
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Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Harry Snyder to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley

10/10/17

Mr. G. G. G.



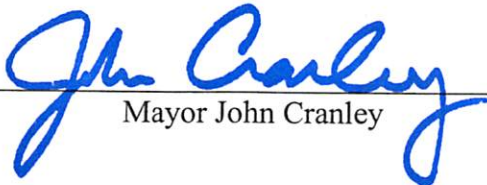
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Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Stephanie Hall to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



202101017

Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Carol Sorenson-Williams to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



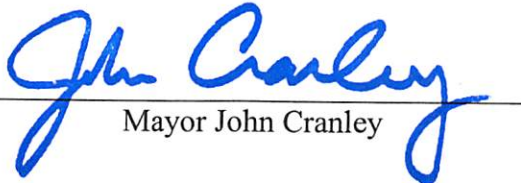
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Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Melissa Johnson to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



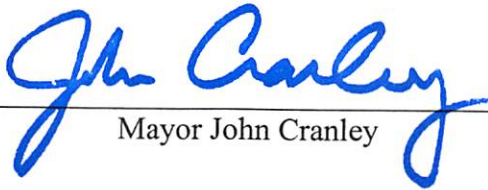
Office of Mayor John Cranley

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Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Shawntay Mallory to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley




Office of Mayor John Cranley

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Cincinnati, Ohio 45202
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Fax (513) 352-5201
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March 2021

REAPPOINTMENT

I hereby reappoint Renee McPherdan to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley



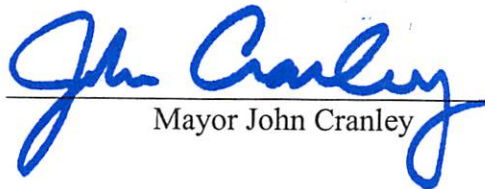
Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

December 2019

APPOINTMENT

I hereby appoint Nick Milazzo to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley

for reading



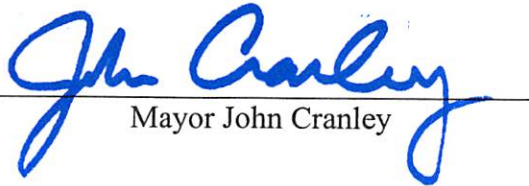
Office of Mayor John Cranley

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Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

December 2019

APPOINTMENT

I hereby appoint Denisha Porter to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This appointment is submitted to City Council for its advice and consent pursuant to its Rules.


Mayor John Cranley

Dr. Carlson




Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Jerry Porter to the Southwest Ohio Regional Workforce Investment Board (SWORWIB) for a term of one year. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley

City of Cincinnati



Mayor John Cranley

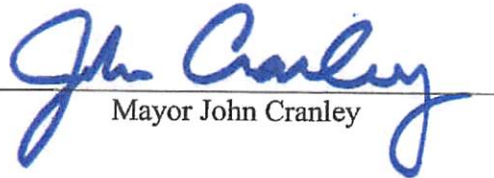
Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Adam Gelter to the Hamilton County Convention Facilities Authority (CFA) for a term of four years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.


Mayor John Cranley



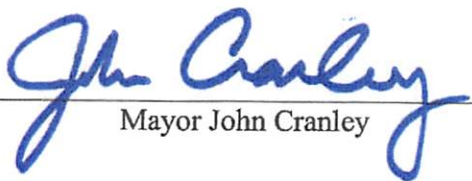
Office of Mayor John Cranley

801 Plum Street, Suite 150
Cincinnati, Ohio 45202
Phone (513) 352-3250
Fax (513) 352-5201
Email: John.Cranley@cincinnati-oh.gov

March 2021

REAPPOINTMENT

I hereby reappoint Luz Elena Schemmel to the Citizen Complaint Authority Board for a term of two years. This reappointment is submitted to City Council for its advice and consent pursuant to its Rules.



Mayor John Cranley

Date: March 10, 2021

To: Councilmember Jan-Michele Lemon Kearney, Betsy Sundermann and Liz Keating

From: Andrew Garth, City Solicitor 

Subject: Resolution – Hope Dudley Women’s History Month

Transmitted herewith is a resolution captioned as follows:

RECOGNIZING and honoring Hope Dudley for her leadership and advocacy for families who have been impacted by violent crimes, as part of the City of Cincinnati's recognition of Women’s History Month 2021 during which the City celebrates women who are making history today while bringing national attention to Cincinnati and serving our community.

AWG/LES/(lnk)
Attachment
333537

RESOLUTION NO. _____ - 2021

RECOGNIZING and honoring Hope Dudley for her leadership and advocacy for families who have been impacted by violent crimes, as part of the City of Cincinnati's recognition of Women's History Month 2021 during which the City celebrates women who are making history today while bringing national attention to Cincinnati and serving our community.

WHEREAS, March is Women's History Month and includes International Women's Day, celebrating the achievements of women who have improved our communities, our city, our nation, and our world; and

WHEREAS, Hope Dudley has dedicated her life to supporting those who have lost loved ones to violence following the murder of her son, Daniel "Chaz" Dudley in 2007; and

WHEREAS, Ms. Dudley's dissemination of bookmarks and other literature regarding unsolved homicide cases at community spaces such as libraries and churches became a model for a statewide pilot program in 2008; and

WHEREAS, in 2009, Ms. Dudley established the non-profit UCanSpeakForMe, which is a platform for peer-to-peer assistance for those who have lost someone to violence and who seek justice for their loved one; and

WHEREAS, under Ms. Dudley's leadership as Chief Executive Officer, the organization provides education for the general public about law enforcement and judicial proceedings pertaining to violent crimes; and

WHEREAS, UCanSpeakForMe creates a safe space for victims and their families to grieve through confidential support meetings and engages the community and local media to gather information that can be utilized by investigators via designing bookmarks, posters, and playing cards; and

WHEREAS, as a service partner of the Ohio Attorney General's Crime Victim Section, Ms. Dudley and her organization connect families with resources to help them cope and overcome challenges related to the loss of a loved one; now, therefore,

BE IT RESOLVED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the Mayor and this Council recognize Hope Dudley as a 2021 City of Cincinnati Women's History Month honoree for her tireless advocacy and support for victims of violent crime and their families throughout the City of Cincinnati.

Section 2. That a copy of this resolution be spread upon the minutes of Council and that a copy be provided to Ms. Dudley through the office of Councilmember Kearney.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

Submitted by Councilmembers Jan-Michele Lemon Kearney, Betsy Sundermann, and Liz Keating.

Date: March 10, 2021

To: Councilmember Jan-Michele Lemon Kearney, Betsy Sundermann and Liz Keating
From: Andrew Garth, City Solicitor 
Subject: Resolution – Judge Marily Zayas Women’s History Month

Transmitted herewith is a resolution captioned as follows:

RECOGNIZING and honoring Judge Marilyn Zayas for her judicial integrity and impactful outreach with young students as part of the City of Cincinnati's recognition of Women’s History Month 2021 during which the City celebrates women who are making history today while bringing national attention to Cincinnati and serving our community.

AWG/KKF/(lnk)
Attachment
333505

RESOLUTION NO. _____ – 2021

RECOGNIZING and honoring Judge Marilyn Zayas for her judicial integrity and impactful outreach with young students as part of the City of Cincinnati's recognition of Women's History Month 2021 during which the City celebrates women who are making history today while bringing national attention to Cincinnati and serving our community.

WHEREAS, March is Women's History Month and includes International Women's Day, celebrating the achievements of women who have improved our communities, our city, our nation, and our world; and

WHEREAS, Judge Zayas is a New York City native with parents from Puerto Rico, and she began her educational career at City College of New York where she obtained a degree in computer science; and

WHEREAS, after graduating from college, Judge Zayas moved to Cincinnati in 1988 to work for Procter & Gamble before attending the University of Cincinnati College of Law where she earned her juris doctorate in 1997; and

WHEREAS, Judge Zayas has an extensive legal background, including working for Holland & Hart LLP and launching a private practice where she practiced intellectual property, employment, juvenile, and family law; and

WHEREAS, Judge Zayas has strived for the legal system to be equitable for people regardless of birthplace and has worked with law enforcement agencies to ensure that foreign-born crime victims are able to safely report crimes and participate in the judicial system; and

WHEREAS, Judge Zayas was elected and re-elected to the First Appellate District in 2016 and 2018, respectively, and was selected by the Chief Justice of the Ohio Supreme Court to join the Supreme Court in a June 2018 case, and by holding these positions became the first Latina elected as an appellate judge in Ohio and to sit on the Ohio Supreme Court; and

WHEREAS, understanding the importance of youth empowerment and the barriers that exist in entering the legal field, Judge Zayas founded the program for high school students, "Educating Tomorrow's Leaders," which exposes students to the legal field; and

WHEREAS, Judge Zayas started a program to connect Black, Latinx, and other law students with Black and Latinx judges to show students the possibilities before them and to mentor and encourage them in their legal careers; now, therefore,

BE IT RESOLVED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the Mayor and Council hereby recognize Judge Marilyn Zayas as a 2021 City of Cincinnati Women's History Month honoree for her trailblazing legal career and youth outreach.

Section 2. That this resolution be spread upon the minutes of Council and that a copy be provided to Judge Zayas through the office of Councilmember Kearney.

Passed _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

Submitted by Councilmembers Jan-Michele Lemon Kearney, Betsy Sundermann, and Liz Keating

Date: March 10, 2021

To: Councilmember Jan-Michele Lemon Kearney, Betsy Sundermann and Liz Keating

From: Andrew Garth, City Solicitor 

Subject: **Resolution – Scarlet “Mama Scar” Hudson Women’s History Month**

Transmitted herewith is a resolution captioned as follows:

RECOGNIZING and honoring Scarlet “Mama Scar” Hudson for her extensive community outreach and anti-trafficking activism as part of the City of Cincinnati's recognition of Women’s History Month 2021 during which the City celebrates women who are making history today while bringing national attention to Cincinnati and serving our community.

AWG/CFG/(lnk)
Attachment
333535

RESOLUTION NO. _____-2021

RECOGNIZING and honoring Scarlet “Mama Scar” Hudson for her extensive community outreach and anti-trafficking activism as part of the City of Cincinnati's recognition of Women's History Month 2021 during which the City celebrates women who are making history today while bringing national attention to Cincinnati and serving our community.

WHEREAS, Ms. Hudson left her career in the cosmetics industry to follow her calling to aid women who are in crisis or at risk, and founded the Women of Alabaster in 2010, originally as a ministry; and

WHEREAS, Women of Alabaster is a non-profit, grassroots organization operating in Cincinnati and Northern Kentucky for the purpose of assisting women who are victims and survivors of sex trafficking and drug addiction; and

WHEREAS, Ms. Hudson and her faith-based organization provide vital resources that improve the physical, mental, and spiritual health of the women that they serve, including supplying food as well as hygienic and medical necessities, and connecting them with transitional housing and treatment centers; and

WHEREAS, Ms. Hudson and Women of Alabaster have worked to spread awareness about sex trafficking, participating in an array of speaking engagements, including Xavier University and Police Awareness Trainings; and

WHEREAS, Ms. Hudson served on the Response Initiative to Guide Human Trafficking Services (“RIGHTS”) taskforce that aimed to increase community awareness about sex trafficking, and to promote systemic changes in the justice system and agency responses to trafficking victims and survivors; now, therefore,

BE IT RESOLVED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the Mayor and this Council hereby recognize Ms. Scarlet “Mama Scar” Hudson as a 2021 City of Cincinnati Women's History Month honoree, for her life-saving outreach and advocacy for women impacted by trafficking and drug addiction.

Section 2. That this resolution be spread upon the minutes of Council and that a copy be provided to Ms. Hudson through the office of Councilmember Kearney.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

Submitted by Councilmember Jan-Michele Lemon Kearney, Councilmember Betsy Sundermann,
and Councilmember Liz Keating

Date: March 16, 2021

To: Councilmember Steven Goodin
From: Andrew W. Garth, City Solicitor *AWG*
Subject: **Resolution – Affordable Housing Tax Credit**

Transmitted herewith is a resolution captioned as follows:

ENCOURAGING the Congress of the United States to reintroduce and enact without delay the Affordable Housing Credit Improvement Act to increase its housing credit allocation to drive millions in private capital into the affordable housing market to address the affordable housing shortage in Cincinnati and the United States

AWG/CMZ/(lnk)
Attachment
333442

RESOLUTION NO. _____ - 2021

ENCOURAGING the Congress of the United States to reintroduce and enact without delay the Affordable Housing Credit Improvement Act to increase its housing credit allocation to drive millions in private capital into the affordable housing market to address the affordable housing shortage in Cincinnati and the United States.

WHEREAS, an estimated 10 million households nationwide spend more than half of their monthly income on rent and utilities; and

WHEREAS, the shortage of affordable units will only become greater due to the economic displacement caused by the COVID-19 pandemic; and

WHEREAS, the federal Affordable Housing Tax Credit has constituted a model public-private partnership, leading to the creation of more than 3.2 million affordable units housing 7.4 million families since the program's inception in 1986; now, therefore,

BE IT RESOLVED by the City of Cincinnati, State of Ohio:

Section 1. That the Mayor and this Council hereby call upon the Congress of the United States to reintroduce and enact without delay the Affordable Housing Credit Improvement Act, whereby the federal government would increase its housing credit allocation by 50 percent over five years, thus incentivizing the development and rehabilitation of thousands of new units and driving millions in private capital into the affordable housing market.

Section 2. That this resolution be spread upon the minutes of Council and that copies of this resolution be transmitted to Representative Steve Chabot, 2408 Rayburn House Office Building, Washington, D.C. 20515 and Representative Brad Wenstrup, 2419 Rayburn House Office Building, Washington, D.C. 20515.

Passed: _____, 2021

Attest: _____
Clerk

John Cranley, Mayor

Submitted by Councilmember Goodin



202101145

Steven P. Goodin
Councilmember

March 16, 2021

MOTION

New 5G mobile communications technology has necessitated the deployment of thousands of small cell system towers throughout the United States. Such towers are now being deployed in Cincinnati neighborhoods. Accordingly, **WE MOVE** that the Administration advise Council regarding all potential methods of regulating 5G small cell system towers under the City's Municipal Code, Administrative Code and Zoning Code.


Councilmember Steven Goodin


Betsy Sundormann


Janice L. Kears


[illegible]



202101152

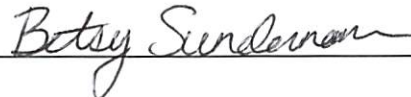
Steven P. Goodin
Councilmember

March 15, 2021

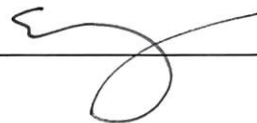
MOTION

During the COVID-19 pandemic, Cincinnati workers have adopted remote working at an amazing pace. Many routine office activities have been replaced by video conferencing and digital access to documents. While these innovations have kept our economy moving, they also present a looming crisis for Ohio's cities. More than 70 percent of Cincinnati's revenue is derived from its earnings tax, and a significant portion of that percentage is derived from non-City residents who formerly worked in downtown offices. Recent litigation and potential legislation have called into question our ability to tax those workers in the long term. These actions notwithstanding, many businesses may simply choose to close their offices or reduce their physical footprint in the City, thus shrinking the tax base over time. Accordingly, **WE MOVE** that the Administration prepare a report outlining the loss in revenue to the City per annum if, variably, 10, 20 or 30 percent of non-resident City workers would no longer be subject to the City's earnings tax.


Councilmember Steven Goodin


Betsy Sunderman


Jamichael Kearney





Jan-Michele Lemon Kearney
Councilmember

MOTION

WE MOVE for the administration to compare the Balanced Development Priorities Analysis to the Peaslee Neighborhood's Developer Questionnaire. Include in the report any information requested from developers by Peaslee's Developer Questionnaire that is not gathered by the Department of Community and Economic Development that City Council will not be provided in response to the Balanced Development Priorities Analysis and information requested by the Department of Community and Economic Development.

Councilmember Jan-Michele Lemon Kearney



Jan-Michele Lemon Kearney
Councilmember

MOTION

WHEREAS, it has been determined that the City of Cincinnati is lacking in an estimated 28,000 affordable housing units, and;

WHEREAS, the City of Cincinnati established an Affordable Housing Trust Fund in 2018 with \$700,000 from the proceeds from the sale of the Norfolk Railroad, and;

WHEREAS, the amount currently in the City's Affordable Housing Trust Fund is insufficient to meet the demand for affordable housing in the City of Cincinnati, and;

WHEREAS, the City of Cincinnati is to receive \$290 million from the American Rescue Plan, President Joe Biden's \$1.9 trillion coronavirus stimulus bill; Now, therefore:

WE MOVE that the City Administration prepare a REPORT on the feasibility of depositing a total of \$50 million from the American Rescue Plan into the City of Cincinnati's Affordable Housing Trust Fund immediately upon receipt of such funds.

STATEMENT

This motion is unrelated to the Affordable Housing Trust Fund Charter Amendment.

Councilmember Jan-Michele Lemon Kearney



202101124

Liz Keating
Councilmember

March 15, 2021

Motion

Our small businesses have suffered from the negative impacts of COVID-19 at a disproportionate level. The City of Cincinnati is to receive \$290 million from the American Rescue Plan, President Joe Biden's \$1.9 trillion coronavirus stimulus bill. **We MOVE** that the City Administration prepare a REPORT on how much money, of the \$290 million from the American Rescue Plan, that the city could feasibly set aside to aid the small business community in their COVID-19 recovery efforts. This approach needs to be a two-pronged effort that not only targets specific small businesses but also takes a blanket approach to focus on providing aid to neighborhood business districts. Therefore, **we further MOVE** that the City Administration prepare a REPORT on how much money of \$290 million from the American Rescue Plan, that the city could feasibly set aside to identify and aid the neighborhood business districts that have been most negatively impacted by the COVID-19 impact. **We further MOVE** that the City Administration prepare a REPORT on the eligibility requirements in which small businesses and neighborhood business districts would need to meet in order to qualify for relief through the city. These funds would be utilized to assist in the recovery from the losses our small businesses and communities have endured due to the COVID-19 Pandemic. We request these reports within 21 days to allocate enough time to consider these findings for the upcoming budget process.



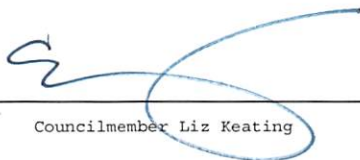
Liz Keating
Councilmember

Statement

Last week President Joe Biden released the American Rescue Plan, a \$1.9 trillion coronavirus stimulus bill. The City of Cincinnati received \$290 million dollars from this Rescue Plan. The City is receiving this money to combat the impacts that COVID-19 has had on our community as a whole.

The small business community of Cincinnati and neighborhood business districts across the city have experienced incredible loss due to the pandemic; some small businesses have had to close their doors for months at a time and many have taken massive hits to their revenue stream. When these small businesses suffer, the neighborhood business districts they reside in also suffer. Many businesses have not recovered from the impact of COVID-19, and others risk not recovering at all. These small businesses are pillars to our neighborhoods and our city as a whole.

The bill passed by President Joe Biden allocated the \$290 million dollars to the City of Cincinnati to assist with COVID-19 recovery. It is imperative that we utilize a portion of these funds to assist the small businesses and neighborhood business districts across the city that have faced economic hardships due to the pandemic. We will only recover if they do.



Councilmember Liz Keating



Greg Landsman
Councilmember

March 12, 2021

MOTION

We hereby move that the Administration provide a brief, high-level report on what it would take in terms of additional crews and funding to achieve *optimum level of public services functioning* as it relates to sanitation, road treatment, snow removal, and street paving and maintenance.

STATEMENT

The Cities’ efforts over the past few years to reinvest in public services is a long overdue project with overwhelming public support. However, more investments are needed; not least because of the increased effects of climate change on dynamic weather patterns.¹ Scientists warn of escalating levels of snowfall and rainfall in the winter, and soaring temperatures in the summer,² and it is imperative that we work to avoid public service failures ahead of time by being prepared.

Councilmember Greg Landsman

_____	_____
_____	_____
_____	_____
_____	_____

¹ “Extreme Weather gets a Boost from Climate Change” ([Environmental Defense Fund](#))
² “How Climate Change Is Fueling Extreme Weather” ([EarthJustice](#), 2021)

February 9, 2021

To: Mayor and Members of City Council

Copy: Paula Boggs Muething, City Manager

From: Cincinnati Retirement System Board of Trustees

Subject: State of CRS Pension Trust and Healthcare Trust as of December 31, 2019

This report is written to provide to the Mayor and City Council the state of the Cincinnati Retirement System (CRS) Pension Trust and Healthcare Trust based on the latest actuary report from December 31, 2019, additional updated actuarial reports prepared due to the implementation of the Early Retirement Incentive Program (ERIP), the impact to date of the Deferred Retirement Option Program (DROP) and reports from our investment consultant.

Given the current and projected funding positions of the Pension Trust, we recommend that the Mayor and City Council take the immediate step of requiring the City Manager to address the downward trajectory of the Pension Trust. In addition, we recommend that the Mayor and City Council require the City Manager to develop a funding policy for the Healthcare Trust. The Cincinnati Municipal Code requires that the City get “input and recommendations” about the Healthcare Trust funding policy from the CRS Board.

Background

The purposes of the CRS Pension Trust and Healthcare Trust are to provide retirement benefits and healthcare benefits to eligible retired city employees. As of December 31, 2019, there were 2,903 full-time active members, 4,276 pensioners receiving pension payments, and 4,926 pensioners and spouses receiving healthcare benefits.

The CRS Board of Trustees serves as an independent fiduciary on behalf of active and retired members of the retirement system. The Board is not a party to the Collaborative Settlement Agreement (CSA). The Board retains Marquette Associates, an independent investment consulting firm, and Cheiron, a pension and healthcare actuarial consulting firm, both of which specialize in public sector plans. Marquette and the Board have developed and follow a disciplined investment policy that can be found on the CRS website. Cheiron calculates the actuarial value of assets and liabilities and projects the funding status of the Trusts in future years based on professional actuarial standards and practices.

The assumed investment rate of return and discount rate for calculating liabilities is 7.5% per year as prescribed in the CSA. The actual annualized market rate of return for the past 5 and 10 years as of December 31, 2020 was 8.8% and 8.0%, respectively.

As of December 31, 2019, the total combined actuarial value of assets for both Trusts was \$2.25 billion. The table below highlights the actuarial value of assets, liabilities, and funded ratios. The actuary will use the annual rate of return for 2020 of approximately 8.9% to complete the December 31, 2020 valuation report expected to be presented to the Board in June 2021.

<u>As of 12/31/19:</u>	<u>Assets</u>	<u>Liabilities</u>	<u>Funded Ratio</u>
Pension Trust	\$1.76 billion	\$2.47 billion	71.2%
Healthcare Trust	\$488.0 million	\$376.6 million	129.6%

Pension Trust

The assumptions used in finalizing the CSA projected that the Pension Trust would be fully funded in 30 years. The status of the annual contributions and distributions is described below:

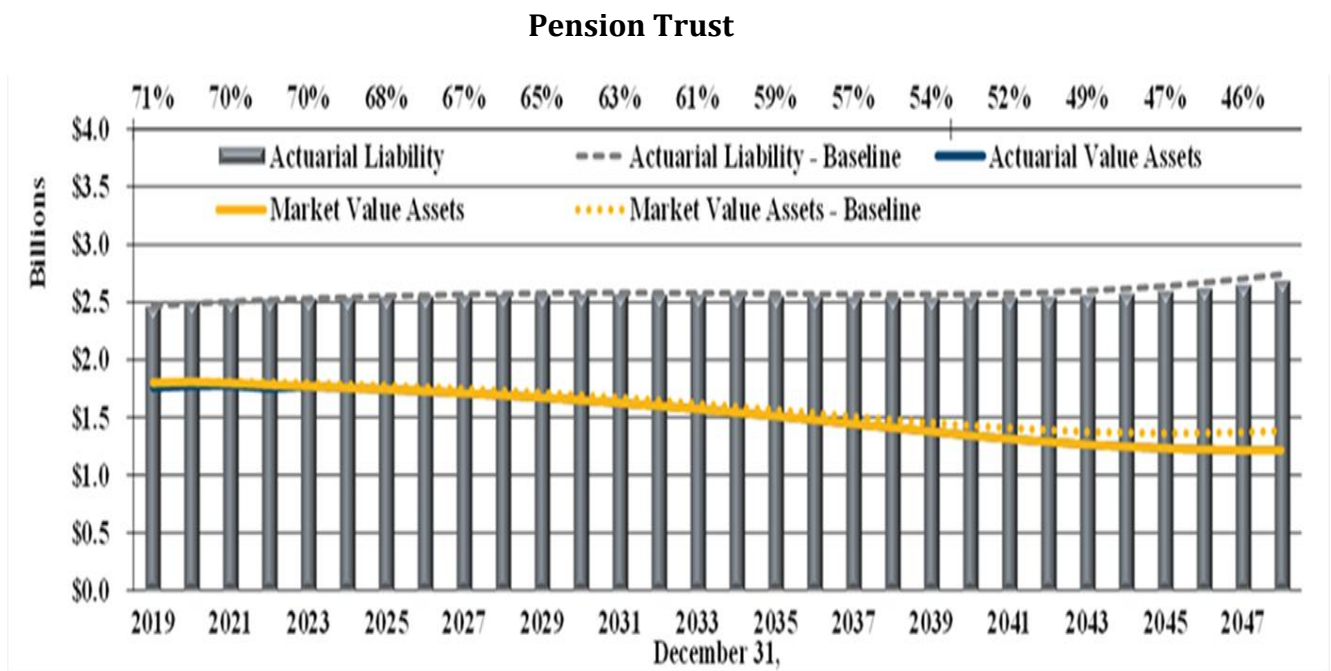
- The active employees contribute 9% of covered payroll to the Pension Trust as required by the CSA;
- The City contributes only the minimum rate per the CSA of 16.25% of full-time covered payroll to the Pension Trust. (The General Fund represents 37.5% of covered payroll and other non-general funds represent 62.5% of covered payroll);
- The Actuarially Determined Contribution (ADC) for the Pension Trust, as calculated by the actuary, is the annual contribution amount required to bring the Pension to a fully funded status in 30 years. The ADC as of 12/31/2019 was 30.67% of covered payroll for FYE 6/30/2021 compared to the City's contribution rate of 16.25%;
- Benefit payments and expenses have exceeded employer and employee contributions for several years placing CRS in the bottom quartile among other public pension funds with negative cashflows.

After the CSA was finalized the following events occurred:

- Ordinance 336, which reflects changes made in finalizing the CSA that increased liabilities, was approved by City Council in 2016;
- Revisions to actuarial assumptions (e.g., longer life span of retirees) were made as recommended by the actuary and approved by the CRS Board.
- Annualized 5-year investment returns (2016 – 2020) were 8.8% vs. the assumed 7.5%.
- The City offered an ERIP in 2020 that provided two (2) additional years of service to participants.

- The DROP has added cost to CRS according to the actuary.

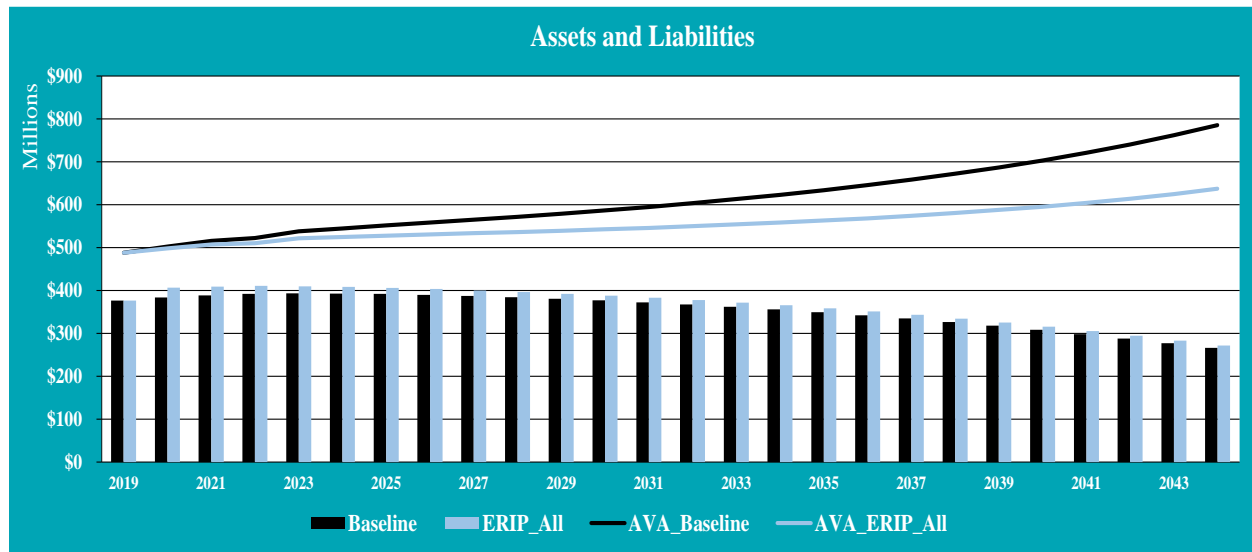
The actuary's latest revised funding progress for the Pension Trust, which includes the impact of the 2020 ERIP and DROP, projects an alarming decline in the funded ratio from 71% as of 12/31/2019 to 46% in 30 years, reaching a projected unfunded liability of \$1.5 billion. The graph reflects the City's minimum contributions of 16.25% of covered payroll for 30 years, in addition to \$2.7 million per year for the next 15 years to pay for the ERIP liabilities and assumes a 7.5% investment return for all future years.



Healthcare Trust

At the time of the CSA signing, the Healthcare Trust was fully funded, and the City was required per the CSA to establish a funding policy to keep the Trust fully funded over the lifetimes of its members. The City has yet to adopt a Healthcare Trust funding policy as required by the CSA and there have been no City contributions to the Trust since the CSA was signed. In the graph below, the bars represent liabilities and the lines represent assets before and after the ERIP.

Healthcare Trust



Investment Performance

While the simple conclusion may be to achieve higher returns or “invest our way out of this,” CRS’ investment performance has been solid relative to what the capital markets have provided. At the current level of historically low interest rates and modest economic growth, a 7.5% annualized return is a high hurdle and an optimistic assumption based on the investment consultant’s analysis. Our investment policy and portfolio allocation are already among the more aggressive pension systems in our effort to achieve the 7.5% target with an acceptable level of risk.

Our portfolio is well diversified across asset class, sector, investment managers and securities. The Board has recently changed the asset allocation as shown below with the goal of full implementation in 2021. The change in allocation is expected to maintain the projected rate of return with less volatility.

<u>Asset Class</u>	<u>Policy %</u>
Total Fixed Income	17.0%
Total U.S. Equity	27.5%
Total Non-U.S. Equity	23.0%
Risk Parity	5.0%
Real Estate	7.5%
Infrastructure	10.0%
Private Equity	10.0%

Conclusion

The CRS Pension Trust and Healthcare Trust are undoubtedly challenged in providing promised retirement benefits. At the time of the CSA, the Pension Trust and Healthcare Trust, based on assumptions at the time, were projected to be fully funded in 30 years.

Now we are headed toward less than 50% funding in 30 years on a downward trajectory for the Pension Trust. The future of the Health Care Trust is also uncertain due to the lack of a funding policy as required by the CSA.

Following are possible solutions to avert these outcomes:

1. Increase City contributions to the Pension Trust above the minimum required amount of 16.25%, as provided for in the CSA. This is still far below the Actuarially Determined Contribution of 30.67% for FYE 2021. For the Healthcare Trust, establish a policy to ensure the fund remains fully funded as required by the CSA;
2. Increase investment performance by increasing risk. Generally, there are several strategies affecting increased investment return. These include using different investment managers, making a riskier asset allocation, and attempting to lower fees. There is little we can do regarding these factors because we believe we have the appropriate managers, the appropriate asset allocation, and fees are already on the low end. With regard to asset allocation, the only way to increase expected returns in the future is to lower the fixed income allocation and add more to stocks or other “riskier” assets. Investment performance has been solid over time and the risk level of the portfolio is already aggressive relative to our peers. We and our investment consultant believe that taking any more risk would be imprudent. Conversely, taking less risk would decrease our chances of achieving the 7.5% target;
3. Reduce benefits. While unpopular and considered the last resort, reducing benefits would require re-opening the CSA; and
4. As the City has done before, explore issuing judgement bonds to reduce the unfunded actuarial liability. As of 12/31/2019, the unfunded actuarial liability for the Pension Trust was \$710 million.

Recommendation

At this time, we recommend that City Council increase the City’s employer contributions to the Pension Trust and develop and implement a funding policy for the Health Care Trust to ensure that the promises to CRS members will be met well into the future. City Council should devise a plan to consistently contribute the ADC. The ADC for FYE 2021 is \$63.4 million for the Pension Trust. The Healthcare Trust was well funded as of the 12/31/19 valuation and did not require an ADC amount. Immediate action is required. Further delays will result in higher contributions in future years.

cc: Paula Tilsley, Executive Director



Over-the-Rhine Community Council
P.O. Box 662
Cincinnati OH 45201

March 9, 2021
Cincinnati City Council
801 Plum Street
Cincinnati, OH 45202

Sent Via Email

Subject: Central Parkway Planning Effort

Dear Members of Council:

On Monday, March 9, the Over-the-Rhine Community Council issued the following statement about proposed changes to Central Parkway:

.....

We are very interested in a public process discussing possible changes to Central Parkway.

We look forward to hearing updates about proposals and ask that the city Planning Department take the lead in doing research and fully engaging the community, including residents living nearby the Parkway, to hear about needs and goals for the Parkway in the future.

As with other public works projects, The Over-the-Rhine Community Council will be happy to review and vote on any proposal from this private stakeholder group and encourages significant community engagement between now and then.

.....

Respectfully,

A handwritten signature in cursive script, appearing to read "Maurice Wagoner".

Maurice Wagoner
President
Over-the-Rhine Community Council

c: Katherine Keough-Jurs, Holly Collinsworth, OTRCC Board of Trustees

City of Cincinnati



801 Plum Street, Suite 356
Cincinnati, Ohio 45202

Phone (513) 352-3464
Email christopher.smitherman@
cincinnati-oh.gov
Web www.cincinnati-oh.gov

202101138

Christopher E. C. Smitherman
Cincinnati Vice Mayor

March 16, 2021

MOTION

WE MOVE that a subcommittee of Economic Growth and Zoning be established to address matters related to small business in the City of Cincinnati.

Vice Mayor Christopher Smitherman

Councilmember Liz Keating

COMMITTEES

Chair: Law & Public Safety • Committees: Economic Growth & Zoning • Neighborhoods

Immediate Consideration

3-16-21

§ 87(2)(b)



Betsy Sundermann
Cincinnati City Councilmember

March 16, 2021

MOTION

WE MOVE the Administration draft an ordinance to provide \$3,000,000 for the final gap in funding needed for the Warsaw Avenue Creative Campus in East Price Hill being developed by Price Hill Will, the premier nonprofit community development corporation serving the neighborhoods of East, West, and Lower Price Hill. The source of city revenue should be a portion of the anticipated \$291,590,000 that Cincinnati is anticipated to receive from the recently passed federal law, American Rescue Plan.



Betsy Sundermann



Jan-Michele Kearney

David Mann

STATEMENT

Once complete, the Warsaw Avenue Creative Campus (WACC) will become a vibrant place where youth and families can learn and grow together via arts and creative pursuits in the heart of East Price Hill. The plan for the Campus includes the large city block bounded by Warsaw, Purcell, Price, and Hawthorne Avenues. These gateway blocks are the first block of the historic Warsaw Neighborhood Business District one sees coming up the hill from downtown.

The community has prioritized the development of the Campus as a way to connect the momentum in the Incline District and Price Avenue, including ARCO - Price Hill Will's recent \$10 million renovation of the former Price Hill Masonic Lodge into a center for arts and community - with the Warsaw corridor. The Campus also contains the soon-to-reopen Price Hill Library, undergoing a \$6 million renovation and expansion; the Price Hill Recreation Center; and Dempsey Park and Pool. (see map)

The mixed-use Campus buildings will feature renovated first floor commercial spaces for family-centered activities and resident-serving retail and upper floor market-affordable apartments.

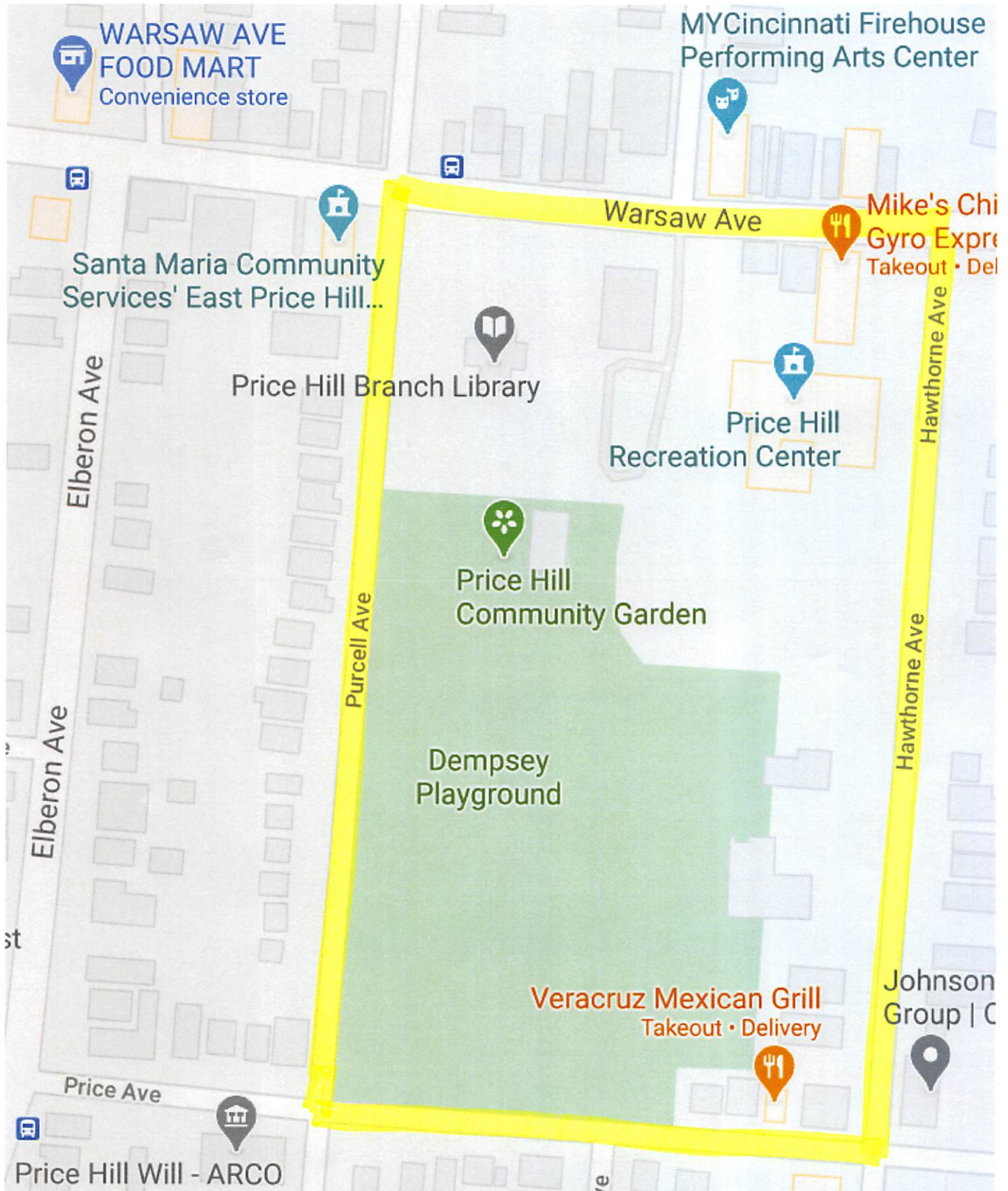
Price Hill Will (PHW) and East Price Hill Improvement Association (EPHIA) partnered to have the 3100 and 3200 blocks of Warsaw Avenue listed on both a local historic district and on the National Register of Historic Places so that historic tax credits can be accessed.

As PHW and the Model Group are finalizing funding for the heart of the Campus, the goal is to eventually expand the project to include buildings owned by The Port, which has invested over \$400,000 in historic stabilization on four buildings along Warsaw that were home to significant criminal activity and/or which were severely dilapidated. Now that The Port has saved these buildings, PHW would like to complete the renovations to create more apartments and commercial spaces.

In all, the expanded Campus will include 31 apartments and over 17,000 square feet of commercial space. An investment of \$3 million in City funds will help leverage the \$12 million in funds already raised by PHW and Model Group and allow the inclusion of additional buildings, reduce rents in commercial spaces to encourage locally owned retail, and create additional off-street parking to support redevelopment along Warsaw. PHW will own and manage the WACC buildings long-term.

Map of the Warsaw Avenue Creative Campus

Bounded by Warsaw Avenue – Purcell Avenue – Price Avenue – Hawthorne Avenue



Calendar
Dm

Date: 03/17/2021

To: Mayor and Members of City Council **202100951**
From: Paula Boggs Muething, City Manager
Subject: **SPECIAL EVENT PERMIT APPLICATION: 2021 Concours d' Elegance**

In accordance with Cincinnati Municipal Code, Chapter 765; Rob Faingold has submitted a Special Event Permit Application Form to the Chief of Police. The Special Event Permit Application has been reviewed by the following department(s): Cincinnati Police Department, Fire Department, Health Department, Parks Department, Department of Building and Inspections, Department of Community and Economic Development, Department of Finance, Department of Public Services, and Department of Transportation and Engineering. Mr. Faingold understands that under the current state and city COVID restrictions the Special Event Permit will not be approved and may require further COVID safety plans to receive approval. The only current objections to issuing the Special Event Permit are for the aforementioned COVID-19 concerns.

The particulars of the requested event are as indicated:

EVENT NAME/TITLE: 2021 Concours d' Elegance
EVENT SPONSOR/PRODUCER: Cincinnati Concours d'Elegance Foundation
CONTACT PERSON: Rob Faingold
LOCATION: 5090 Observatory Av.
DATE(S) AND TIME(S): 6/13/2021 0600-1700
EVENT DESCRIPTION: Outdoor car and art show
ANTICIPATED ATTENDANCE: 6,000
ALCOHOL SALES: ☒ YES. ☐ NO.
TEMPORARY LIQUOR PERMIT HOLDER IS: (T.B.D.)

cc: Colonel Eliot K. Isaac, Police Chief

March 17, 2021

To: Mayor and Members of City Council

From: Paula Boggs Muething, City Manager **202100976**

Subject: Notwithstanding Ordinance – Renovation and New Construction on Goethe Street (City Gospel Mission)

Transmitted is a Notwithstanding Ordinance captioned:

AUTHORIZING the renovation of the three existing buildings located at 127-129, 131, and 141 Goethe Street in the Mt. Auburn neighborhood and the construction of a new three-story building on vacant land located at 211-219 Goethe Street in the Mt. Auburn neighborhood for use as transitional housing, **NOTWITHSTANDING** (i) the use and density limitations contained in Chapter 1403, “Single-Family Districts,” of the Cincinnati Municipal Code, (ii) the use and density limitations contained in Chapter 1405, “Residential Multi-Family Districts,” of the Cincinnati Municipal Code, (iii) the parking limitations contained in Chapter 1425, “Parking and Loading Regulations,” of the Cincinnati Municipal Code, and (iv) the development standards contained in Chapter 1433, “Hillside Overlay Districts,” of the Cincinnati Municipal Code.

The City Planning Commission recommended approval of the amendment at its March 5, 2021 meeting.

Summary:

The applicant, City Gospel Mission, requests a Notwithstanding Ordinance to permit the renovation of three existing structures at 127-129, 131, and 141 Goethe Street into permanent supportive housing and the new construction of a transitional housing facility at 211-219 Goethe Street in Mt. Auburn. City Gospel Mission operates an all-women recovery network, called Having the Courage to Change, in existing structures at 127-129, 131, and 141 Goethe Street. The current structures have six units and 35 beds. City Gospel Mission has had operations on these properties for over 20 years. They are proposing to transfer and expand their existing operations to a new building to be constructed at 211-219 Goethe Street that will house 33 residents. They will then renovate the existing structures into permanent supportive housing for participants in the later phases of the Having the Courage to Change program or program graduates. The renovated structures will house 19 residents total. The existing and proposed uses are considered transitional housing 5 and/or 6 according to the Sec. 1401-01-T of Cincinnati Zoning Code because they serve residential occupants who are

recuperating from the effects of drugs or alcohol and/or readjusting to society while housed under criminal justice supervision.

The City Planning Commission recommended the following on March 5, 2021, to City Council:

APPROVE the Notwithstanding Ordinance permitting the renovation of three existing structures at 127-129, 131, and 141 Goethe Street into permanent supportive housing and the new construction of a transitional housing facility at 211-219 Goethe Street in Mt. Auburn subject to the following conditions:

- 1) The new construction must substantially conform to the project specifications outlined in this report, including:
 - a. A three-story structure
 - b. Use as a transitional housing facility as outlined in Sec. 1401-01-T in the Cincinnati Zoning Code with no more than 33 residents
- 2) The renovations at 127-129, 131, and 141 Goethe Street must substantially conform to the project specifications outlined in this report, including:
 - a. Six dwelling units at 127-129 Goethe Street with no more than seven residents
 - b. Five dwelling units at 131 Goethe Street with no more than five residents
 - c. Single-family home with no more than seven unrelated residents at 141 Goethe Street
 - d. Use as a transitional housing facility as outlined in Sec. 1401-01-T in the Cincinnati Zoning Code or as permanent supportive housing
- 3) The applicant will provide the following items for review in the building permit application:
 - a. A geotechnical report which addresses relative hillside stability and includes recommendations for foundation design.
 - b. A landscaping plan showing plant installation to promote hillside stability.
 - c. Site and grading plan stamped by civil engineer or land surveyor showing existing and proposed grades, the proposed ASL (above sea level) data for the lowest floor and with ASL data also noted and correlated to the building section design; also information on trash dumpster location.
- 4) The Director of Buildings and Inspections will conduct a final review of the construction documents and geotechnical evaluation to ensure an appropriate factor of safety in the design. This review is intended to confirm that:
 - a. The structural design substantially conforms with the Hillside Development Standards of 1433-23 of the Zoning Code to ensure harmonious relationships with adjacent buildings and the hillside environment.

- b. The design of the foundation, retaining walls, and grading are consistent with the recommendations of the geotechnical report.
- 5) The Notwithstanding Ordinance does not provide a variance from any other laws of the City of Cincinnati, and the properties shall remain subject to all other provisions of the Cincinnati Municipal Code, the SF-2, "Single-family," zoning district or RMX, "Residential Mixed," zoning district.
- 6) The use of 211-219 Goethe Street should not be considered a nonconforming use.

cc: Katherine Keough-Jurs, AICP, Director, Department of City Planning

AUTHORIZING the renovation of the three existing buildings located at 127-129, 131, and 141 Goethe Street in the Mt. Auburn neighborhood and the construction of a new three-story building on vacant land located at 211-219 Goethe Street in the Mt. Auburn neighborhood for use as transitional housing, NOTWITHSTANDING (i) the use and density limitations contained in Chapter 1403, “Single-Family Districts,” of the Cincinnati Municipal Code, (ii) the use and density limitations contained in Chapter 1405, “Residential Multi-Family Districts,” of the Cincinnati Municipal Code, (iii) the parking limitations contained in Chapter 1425, “Parking and Loading Regulations,” of the Cincinnati Municipal Code, and (iv) the development standards contained in Chapter 1433, “Hillside Overlay Districts,” of the Cincinnati Municipal Code.

WHEREAS, the City Gospel Mission (“Owner”), through its affiliated entities CURE Properties LLC and HTCTC Properties LLC, owns the three existing buildings located at 127-129, 131, and 141 Goethe Street (“Existing Buildings”) and owns the vacant land located at 211-219 Goethe Street (“Vacant Property”), which properties are all located in the Mt. Auburn neighborhood; and

WHEREAS, the Owner has operated the *Having the Courage to Change* program, an all-women recovery program, within the Existing Buildings for more than 20 years, and it now wishes to renovate those buildings and to construct a new three-story building in proximity to them on the Vacant Property (“Project”); and

WHEREAS, once the Project is completed, the Existing Buildings would continue to be used by the *Having the Courage to Change* program as permanent supportive housing, and the new building on the Vacant Property would be used by the program to provide transitional housing and related services for program participants; and

WHEREAS, the Owner has requested authorization to construct the Project notwithstanding certain zoning code provisions that may otherwise restrict it because reasonable deviations from those provisions will provide for substantial public benefits in the form of new and improved housing options for program participants as well as enhanced services for those participants; and

WHEREAS, the Existing Buildings are located in the RMX, “Residential Multi-Family,” zoning district, and the Owner seeks authorization to renovate those buildings to increase their aggregate unit total by 6 units (but decrease their aggregate bed count by 16 persons) notwithstanding the use, density, and parking restrictions applicable to the properties in that district; and

WHEREAS, the Vacant Property is located in the SF-2, “Single Family,” zoning district and the “Hillside Overlay District,” and the Owner seeks authorization to construct a new three-

story building on the property that will house up to 33 residents and provide resident amenities including a kitchen and dining area, meeting rooms, a lounge, a library, and a gym, notwithstanding the use, density, development standards, and parking restrictions applicable to the properties in those districts; and

WHEREAS, the Project reflects modifications made by the Owner following its participation in community engagement meetings in which the Mt. Auburn Community Council and other community members and stakeholders outlined concerns about the Project related to density, parking, neighborhood compatibility, and the future use of the new building on the Vacant Property; and

WHEREAS, in response to these concerns, the Owner reduced the allowable occupancy in the new building on the Vacant Property, agreed to place limitations on and proactively manage parking associated with its buildings, and redesigned its new building to be constructed on the Vacant Property to resemble three single-family townhomes and to permit its physical separation into three single-family townhomes in the event the Owner ceases operations on the Vacant Property; and

WHEREAS, the above commitments were memorialized in a document entered between the Owner and established community organizations; and

WHEREAS, the Council wishes to authorize the construction of the Project notwithstanding (i) the use and density limitations contained in Cincinnati Municipal Code ("CMC") Chapter 1403, "Single-Family Districts"; (ii) the use and density limitations contained in CMC Chapter 1405, "Residential Multi-Family Districts"; (iii) the parking limitations contained in CMC Chapter 1425, "Parking and Loading Regulations"; and (iv) the development standards contained in CMC Chapter 1433, "Hillside Overlay Districts"; and

WHEREAS, the Council finds that authorizing the Project will result in the creation of new quality housing stock and the improvement of existing historic housing stock for an underserved section of the population, and will ensure that safe and effective transitional housing-related services are available to those participating in the Owner's program; and

WHEREAS, the Council further finds that the Project will return a vacant lot to productive use and that the scale, massing, and overall appearance of the new building to be constructed in connection with the Project reflects the historic use of the property and will fit within the context of Goethe Street and the Mt. Auburn community; and

WHEREAS, the Council additionally finds that permitting the Project will not have an adverse effect on the character of the area or the public health, safety, and welfare because, among other things, it provides for a reasonable expansion of a transitional housing program that has long operated on the street, the program expansion will facilitate the delivery of enhanced services and programming to program participants that further serves to mitigate any potential negative impacts associated with the program, if any, and the topographic isolation of Goethe Street and the significant amount of vacancy on the street will drastically limit the Project's impact on adjacent properties or streets; and

WHEREAS, the City Planning Commission, at its regularly scheduled meeting on March 5, 2021, upon considering the factors set forth in CMC Section 111-5, recommended adoption of a notwithstanding ordinance permitting the construction of the Project subject to certain conditions; and

WHEREAS, a committee of Council held a public hearing on this ordinance following due and proper notice pursuant to CMC Section 111-5, and upon considering the factors in CMC Section 111-5 and the recommendation of the City Planning Commission, the committee approved the ordinance, finding that authorizing the Project notwithstanding the zoning code provisions that would otherwise restrict it will not have an adverse effect on the character of the area or the public health, safety, and welfare, and further finding that permitting the Project to proceed is consistent with the purposes of the CMC and the zoning districts in which they are located; and

WHEREAS, a legislative variance from applicable zoning code provisions related to use, density, parking, and hillside regulations to authorize the construction of the Project is consistent with the *Mt. Auburn Community Plan* (1992), including its Goal to “[r]etain existing housing stock by encouraging selected demolition, rehabilitation, and infill housing” (p. 11) and its Objective to “[e]ncourage housing in the southwest quadrant for upper, middle, and lower income groups” (p. 12); and

WHEREAS, a legislative variance from applicable zoning code provisions related to use, density, parking, and hillside regulations to authorize the construction of the Project is further consistent with *Plan Cincinnati* (2012), including the goals in the Live Initiative Area to “[p]rovide a full spectrum of housing options, and improve housing quality and affordability” (p. 164) and to “provide quality healthy housing for all income levels” (page 165); and

WHEREAS, the Council additionally finds that a legislative variance from applicable zoning code provisions related to use, density, parking, and hillside regulations to authorize the construction of the Project will not have an adverse effect on the character of the area or the public health, safety, and welfare, and it is in the best interests of the City and the public's health, safety, morals, and general welfare; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That, after its own independent review and consideration, the City Council incorporates the foregoing recitals as if fully rewritten herein, and it hereby confirms that the legislative variance criteria set forth in Section 111-5 of the Cincinnati Municipal Code are satisfied in all respects.

Section 2. That the Council specifically finds that a legislative variance authorizing the renovation of three existing buildings located at 127-129, 131, and 141 Goethe Street in the Mt. Auburn neighborhood and the construction of a new three-story building on vacant land located at

211-219 Goethe Street in the Mt. Auburn neighborhood for use as transitional housing (“Project”), which properties are depicted on the map attached hereto as Exhibit A and incorporated herein by reference, and which Project is more particularly depicted and described on the plans and materials attached hereto as Exhibits B, C, D, E, and F and incorporated herein by reference, will not have an adverse effect on the character of the surrounding area or the public's health, safety, and general welfare and that it is consistent with the purposes of the Cincinnati Municipal Code and the zoning district within which the properties are located.

Section 3. That the Council further finds that a legislative variance authorizing the construction of the Project on the Property:

- a. will provide new quality housing options that serve an underserved segment of the population; and
- b. will provide for the renovation of existing historic buildings that have provided housing for underserved segments of the population for over 20 years; and
- c. will return a vacant lot to productive use through the construction of a new infill building with a scale, massing, and overall appearance that reflects the historic use of the property and will fit within the context of Goethe Street and the Mt. Auburn community; and
- d. will not have an adverse effect on the character of the area, or the public health, safety, and welfare because it provides for a reasonable expansion of a long-existing transitional housing program, will facilitate the delivery of enhanced services and programming to participants of the program that further serves to mitigate any potential negative impacts associated with the program, if any, and the topographic isolation of Goethe Street and the significant amount of vacancy on the street will drastically limit the Project’s impact on adjacent properties or streets; and
- e. will foster a convenient, harmonious, and workable relationship among land uses.

Section 4. That the Council authorizes the construction of the Project and its use as transitional housing, subject to the terms and conditions set forth in this ordinance. This authorization is granted notwithstanding (i) the use and density limitations contained in Chapter 1403, “Single-Family Districts”; of the Cincinnati Municipal Code; (ii) the use and density

limitations contained in Chapter 1405, “Residential Multi-Family Districts,” of the Cincinnati Municipal Code; (iii) the parking limitations contained in Chapter 1425, “Parking and Loading Regulations,” of the Cincinnati Municipal Code; and (iv) the development standards contained in Chapter 1433, “Hillside Overlay Districts,” of the Cincinnati Municipal Code, and any other applicable zoning regulations that would restrict the construction of the Project and its use as transitional housing.

Section 5. That the Council authorizes the construction of the Project and its use as transitional housing subject to the following conditions:

- a. That the renovation of the existing buildings at 127-129, 131, and 141 Goethe Street and the construction of the new building at 211-219 Goethe Street must substantially conform to the project descriptions and plans set forth in Exhibits B, C, D, E and F, respectively; and
- b. That the use of the new and renovated buildings for transitional housing purposes must substantially conform to the definition of “transitional housing” set forth in Cincinnati Municipal Code Section 1401-01-T; and
- c. That, following construction and renovation, the density and occupancy levels of 127-129 Goethe Street shall not exceed six dwelling units and seven residents, the density and occupancy levels of 131 Goethe Street shall not exceed five dwelling units and five residents, the density and occupancy levels of 141 Goethe Street shall not exceed one unit and seven residents, and the occupancy level of 211-219 Goethe Street shall not exceed 33 residents; and
- d. That the building permit application for the new construction at 211-219 Goethe Street shall include the following materials in addition to other materials prescribed by law:
 - i. a geotechnical report which addresses relative hillside stability and includes recommendations for foundation design; and
 - ii. a landscaping plan showing plant installation to promote hillside stability; and
 - iii. site and grading plans stamped by a civil engineer or land surveyor showing existing and proposed grades, the proposed above sea level (“ASL”) data for the lowest floor and ASL data correlated to the building section design; and

iv. information on trash and dumpster location.

- e. That, prior to the issuance of a building permit for new construction at 211-219 Goethe Street, the Director of the Department of Buildings and Inspections shall conduct a review of the construction documents and geotechnical report for the new construction at 211-219 Goethe Street and ensure that the design of the foundation, retaining walls, and proposed grading is consistent with the recommendations of the geotechnical report and that the structural design substantially conforms with the criteria set forth in Cincinnati Municipal Code Section 1433-23.

Section 6. That this ordinance does not provide a variance from any other laws of the City of Cincinnati, and the Property shall remain subject to all other provisions of the Cincinnati Municipal Code, the SF-2, "Single-Family," zoning district, the RMX, "Residential Multi-Family," zoning district, and the Hillside Overlay District.

Section 7. That the use of the three-story building to be constructed in connection with the Project and used as transitional housing shall not be considered a nonconforming use of land.

Section 8. That the City Manager and the appropriate City officials are authorized to take all necessary and proper actions to implement this ordinance, including by issuing building permits and related approvals provided they conform to applicable building codes, housing codes, accessibility laws, or other laws, rules, or regulations.

Section 9. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

EXHIBIT A

Proposed Notwithstanding Ordinance for City Gospel Mission's Having the Courage to Change Program in Mt. Auburn

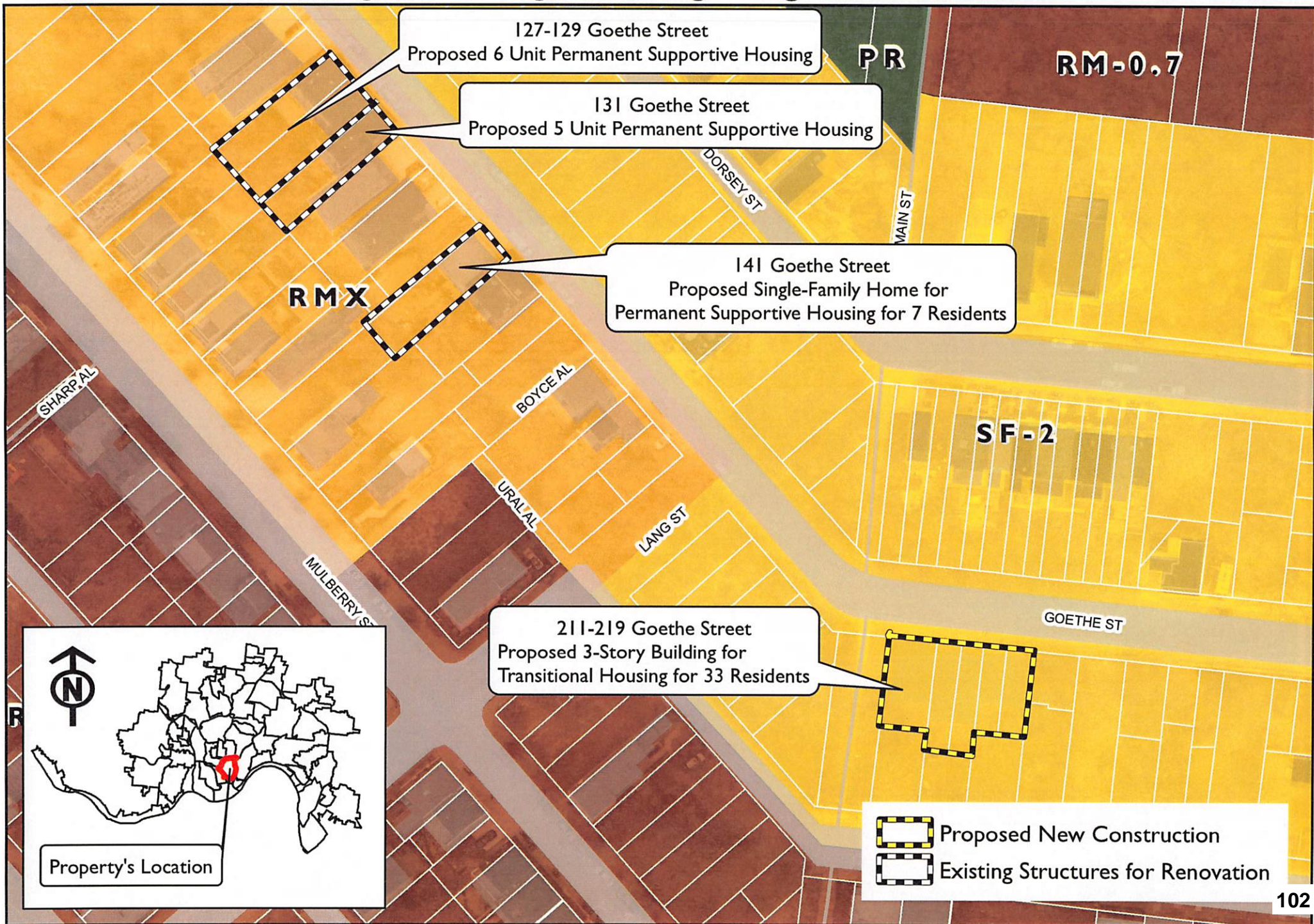
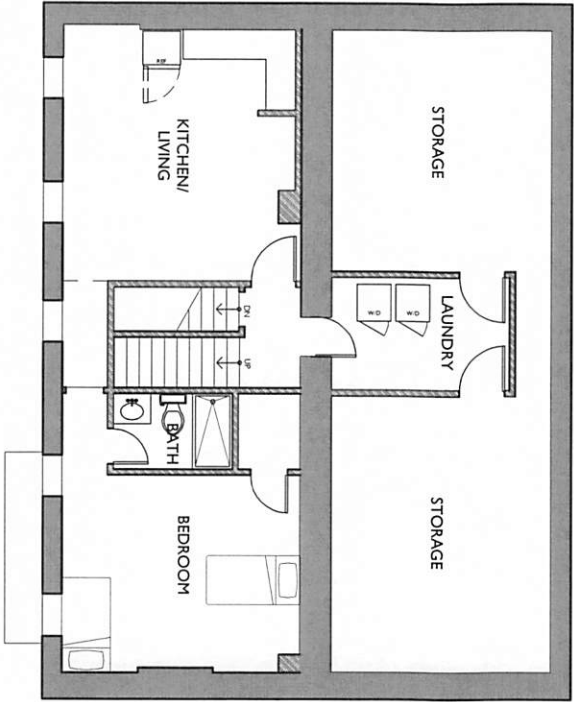
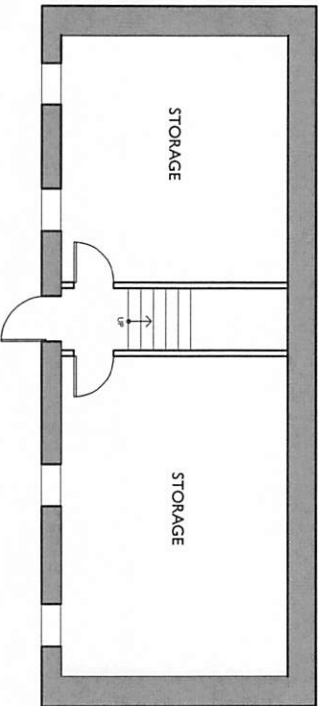


EXHIBIT B

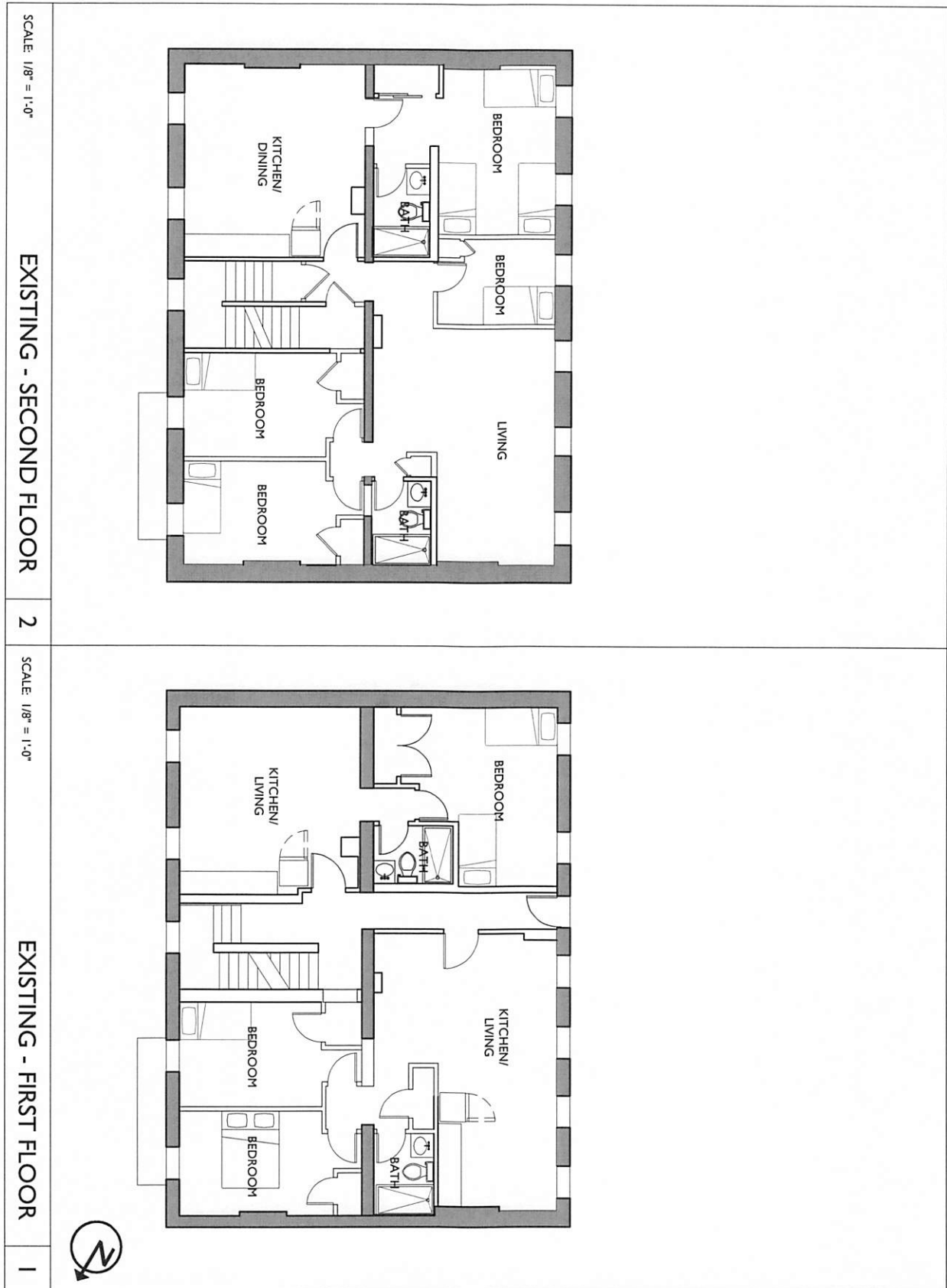
<p>SCALE: 1/8" = 1'-0"</p> <p>EXISTING PLAN - BASEMENT</p> <p>B</p>	 <p>Basement floor plan showing Storage, Laundry, Kitchen/Living, Bath, and Bedroom. The plan includes a central staircase with 'UP' and 'DN' arrows. The Kitchen/Living area is on the left, the Bath is in the center, and the Bedroom is on the right. There are two large Storage areas, one on the left and one on the right. The Laundry room is located between the two Storage areas.</p>
<p>SCALE: 1/8" = 1'-0"</p> <p>EXISTING PLAN - SUB BASEMENT</p> <p>SB</p>	 <p>Sub-basement floor plan showing two large Storage areas separated by a central staircase. The staircase has 'UP' and 'DN' arrows. A north arrow is located in the bottom right corner of the plan.</p>

RENOVATIONS FOR:
COURAGE TO CHANGE
 127-129 GOETHE

EXHIBIT C
 X1.0

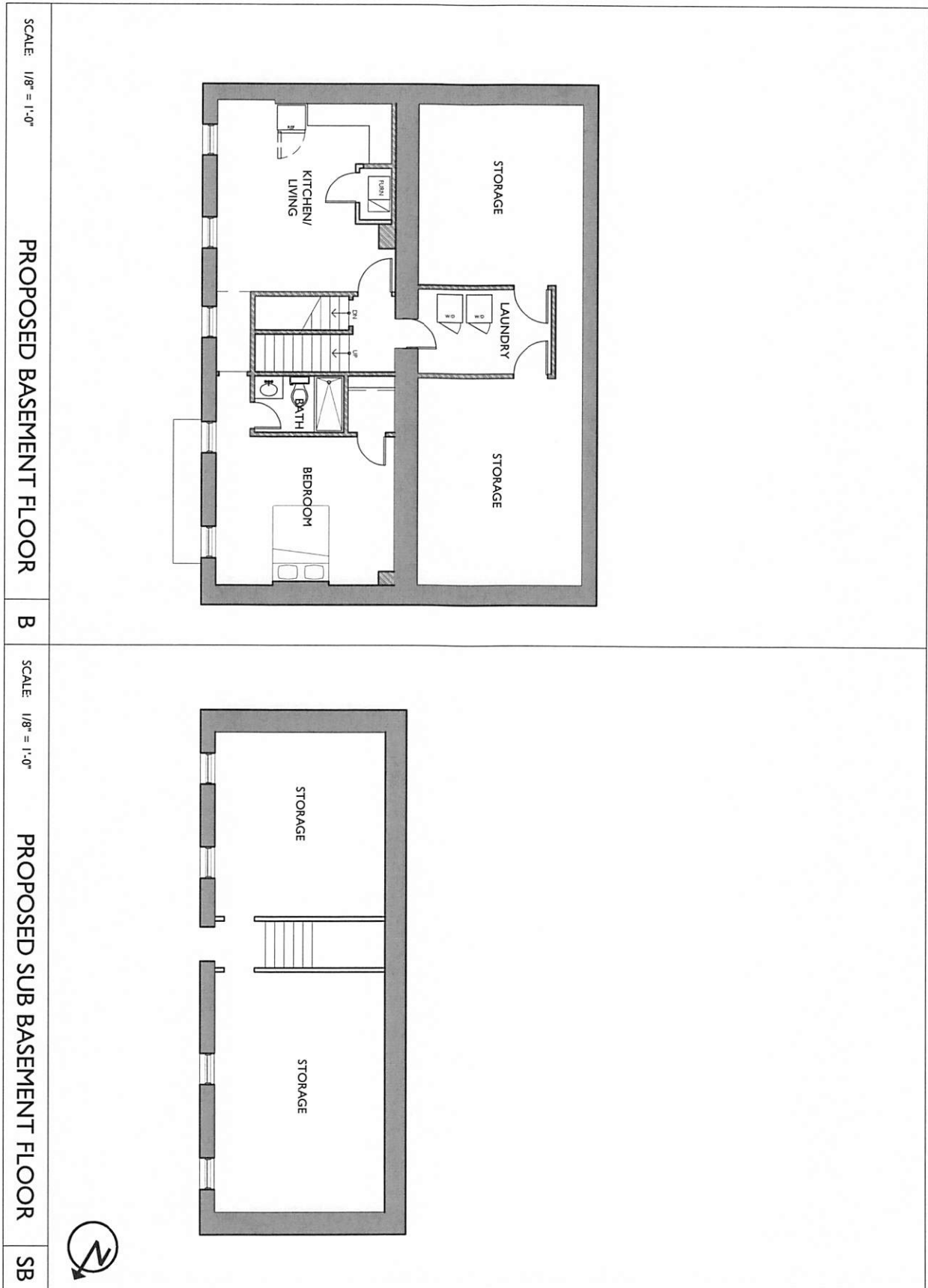
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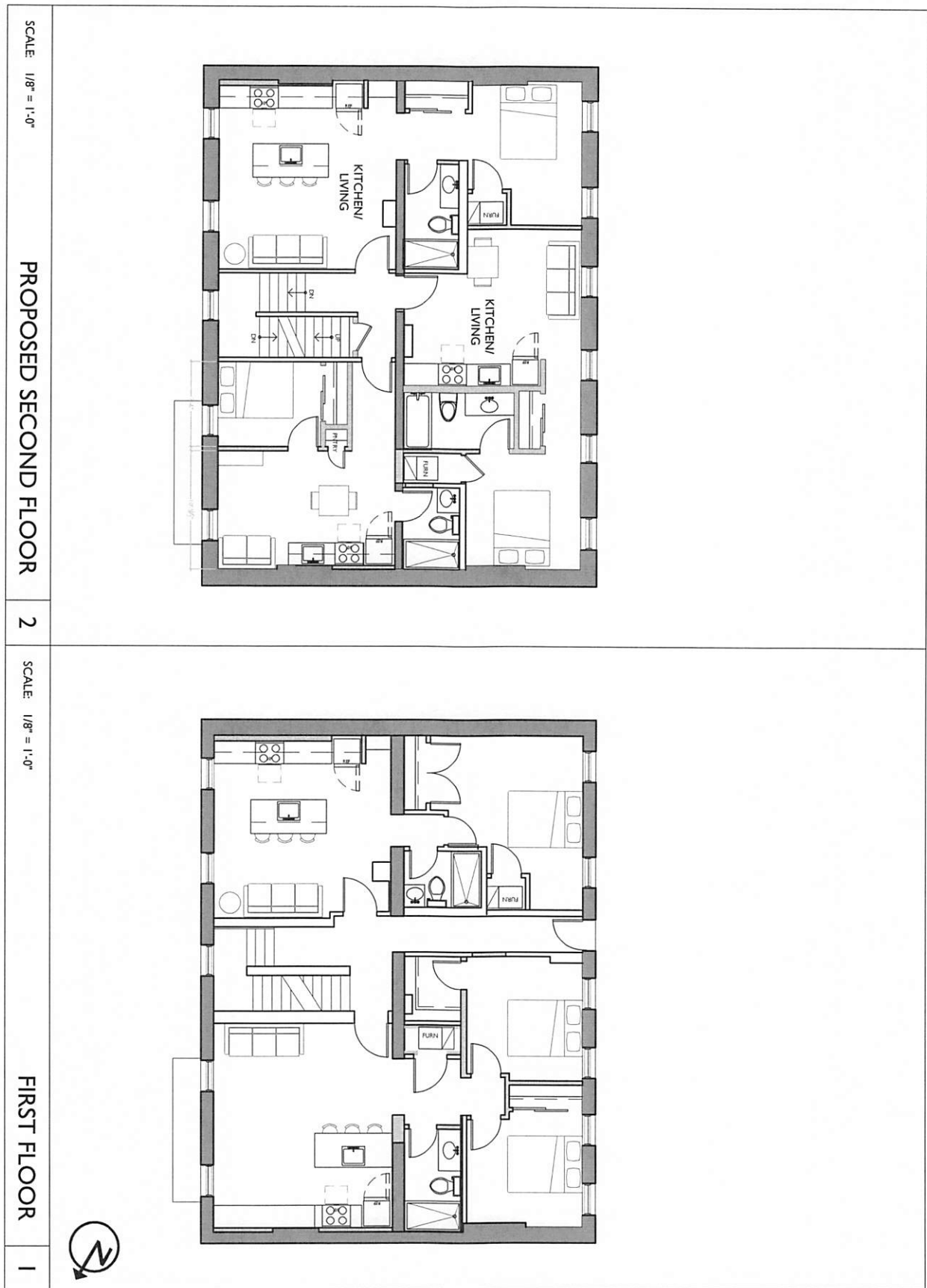
RENOVATIONS FOR:
X | I **COURAGE TO CHANGE**
127-129 GOETHE
 10.14.2020

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RENOVATIONS FOR:
A.I.O. COURAGE TO CHANGE
127-129 GOETHE
 10.14.2020

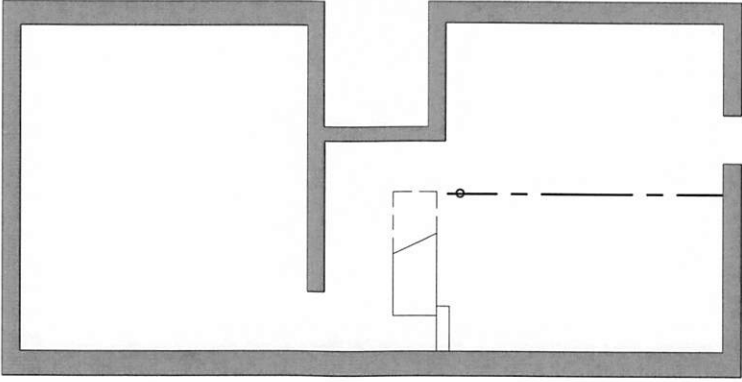
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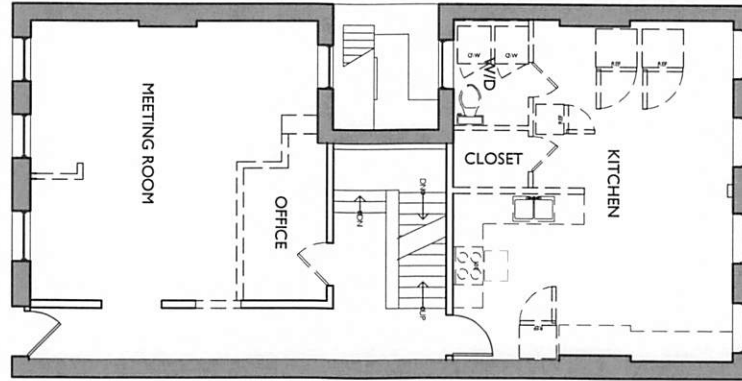
RENOVATIONS FOR:
AI.I **COURAGE TO CHANGE**
127-129 GOETHE
 10.14.2020

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EXHIBIT C

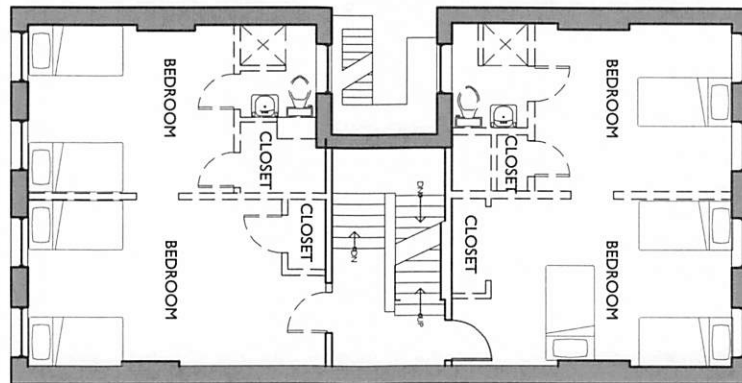
<p>SCALE: 1/8" = 1'-0"</p> <p>SUB-BASEMENT</p>	
<p>SCALE: 1/8" = 1'-0"</p> <p>PROPOSED BASEMENT PLAN</p> <p>B</p>	

EXISTING FIRST FLOOR



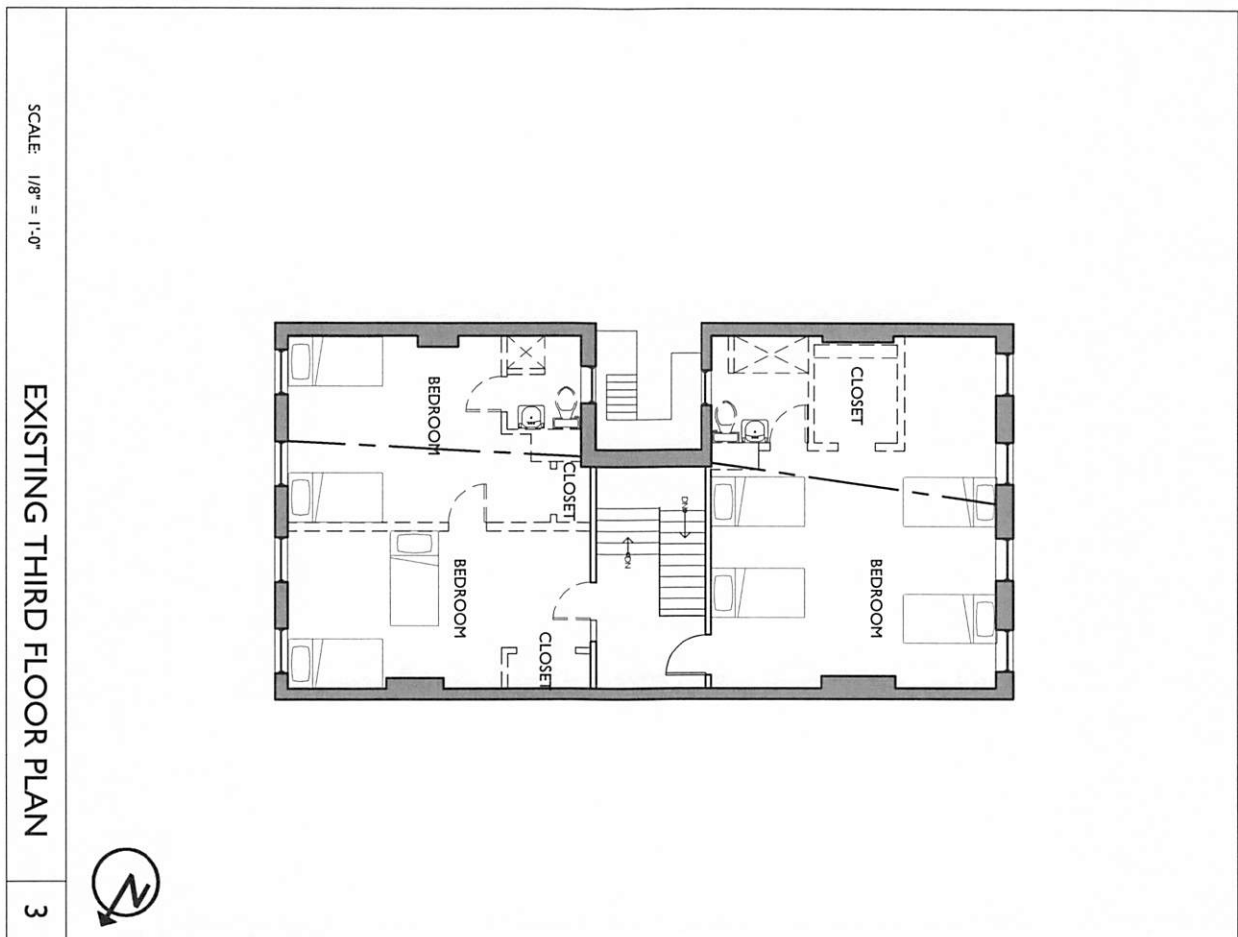
EXISTING SECOND FLOOR PLAN

2



RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
131 GOETHE ST.
10.14.2020

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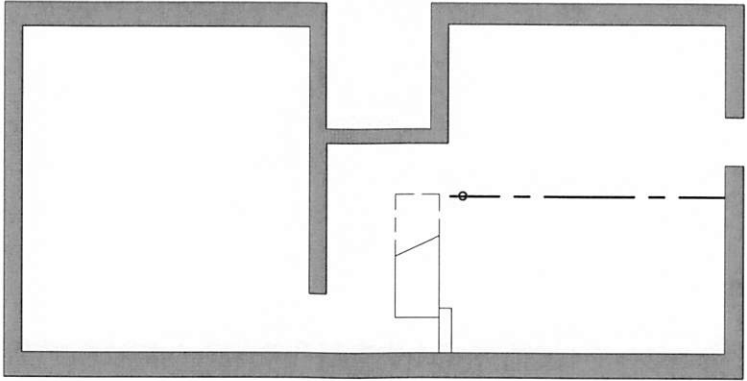
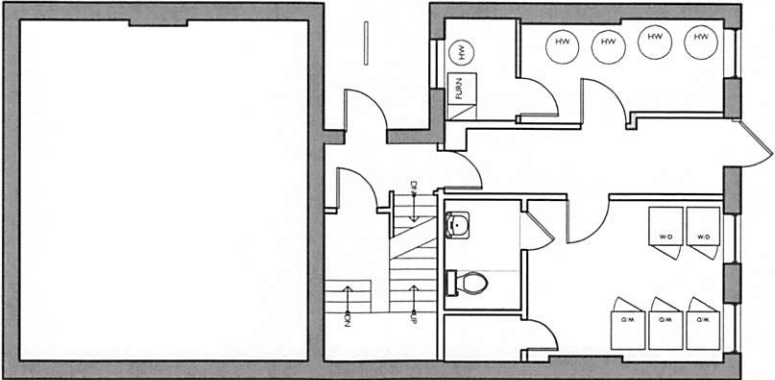


RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
 131 GOETHE ST.
 10.14.2020

X1.2

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<p>SCALE: 1/8" = 1'-0"</p> <p>SUB-BASEMENT</p>	
<p>SCALE: 1/8" = 1'-0"</p> <p>PROPOSED BASEMENT PLAN</p> <p>B</p>	

RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
AI.0 **COURAGE TO CHANGE**
 131 GOETHE ST.
 10.14.2020

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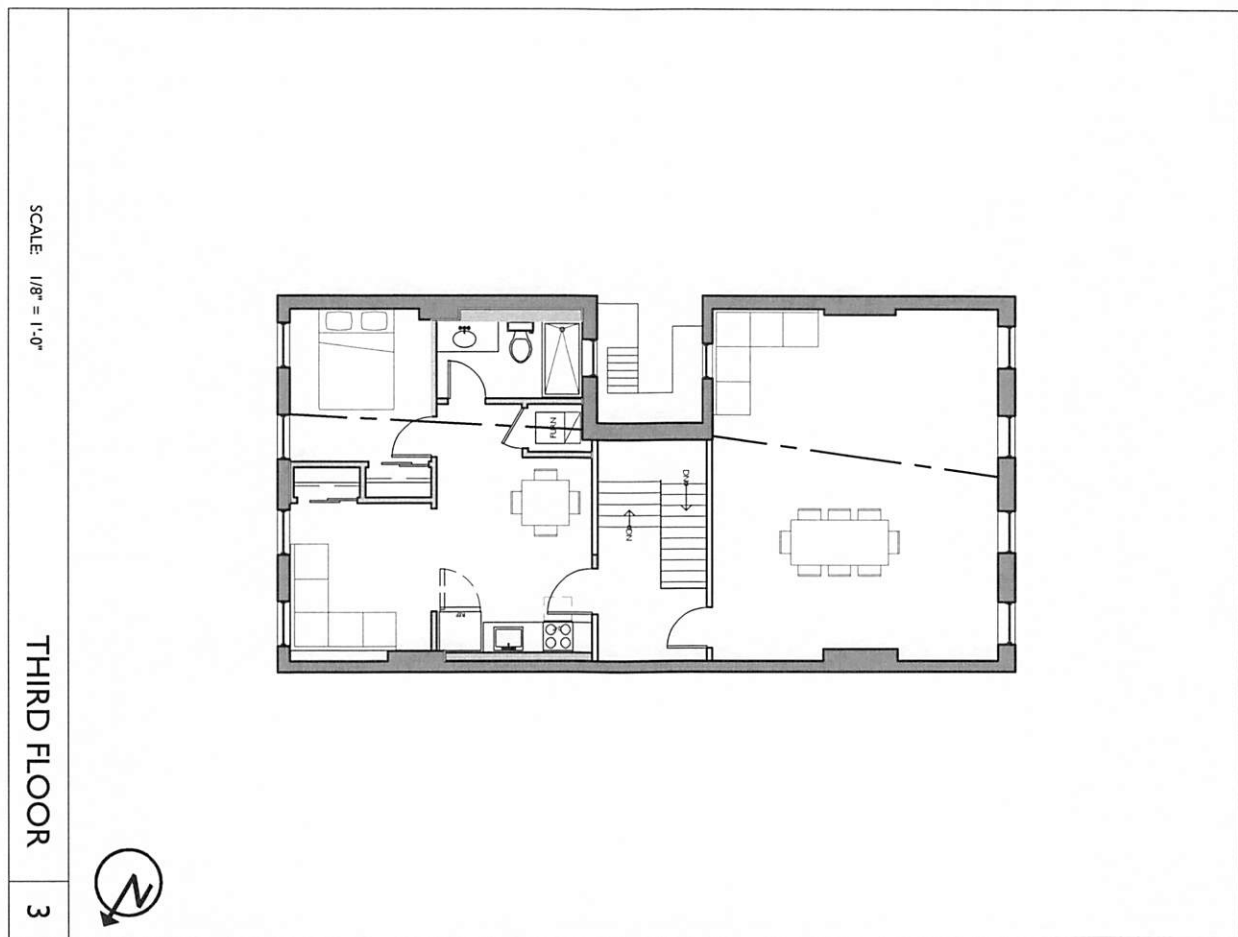
<p>SCALE: 1/8" = 1'-0"</p> <p>FIRST FLOOR</p> <p>1</p>	 <p>A detailed architectural floor plan of the first floor. The plan shows a symmetrical layout with a central hallway and stairs. On the left side, there is a living area with a sofa and a fireplace, a dining area with a table and chairs, and a kitchen with a stove and sink. On the right side, there is a living area with a sofa and a fireplace, a dining area with a table and chairs, and a kitchen with a stove and sink. The plan also includes several bedrooms, bathrooms, and a central staircase.</p>
<p>SCALE: 1/8" = 1'-0"</p> <p>SECOND FLOOR</p> <p>2</p>	 <p>A detailed architectural floor plan of the second floor. The plan shows a symmetrical layout with a central hallway and stairs. On the left side, there is a living area with a sofa and a fireplace, a dining area with a table and chairs, and a kitchen with a stove and sink. On the right side, there is a living area with a sofa and a fireplace, a dining area with a table and chairs, and a kitchen with a stove and sink. The plan also includes several bedrooms, bathrooms, and a central staircase.</p>



RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
AI.I COURAGE TO CHANGE
 131 GOETHE ST.
 10.14.2020

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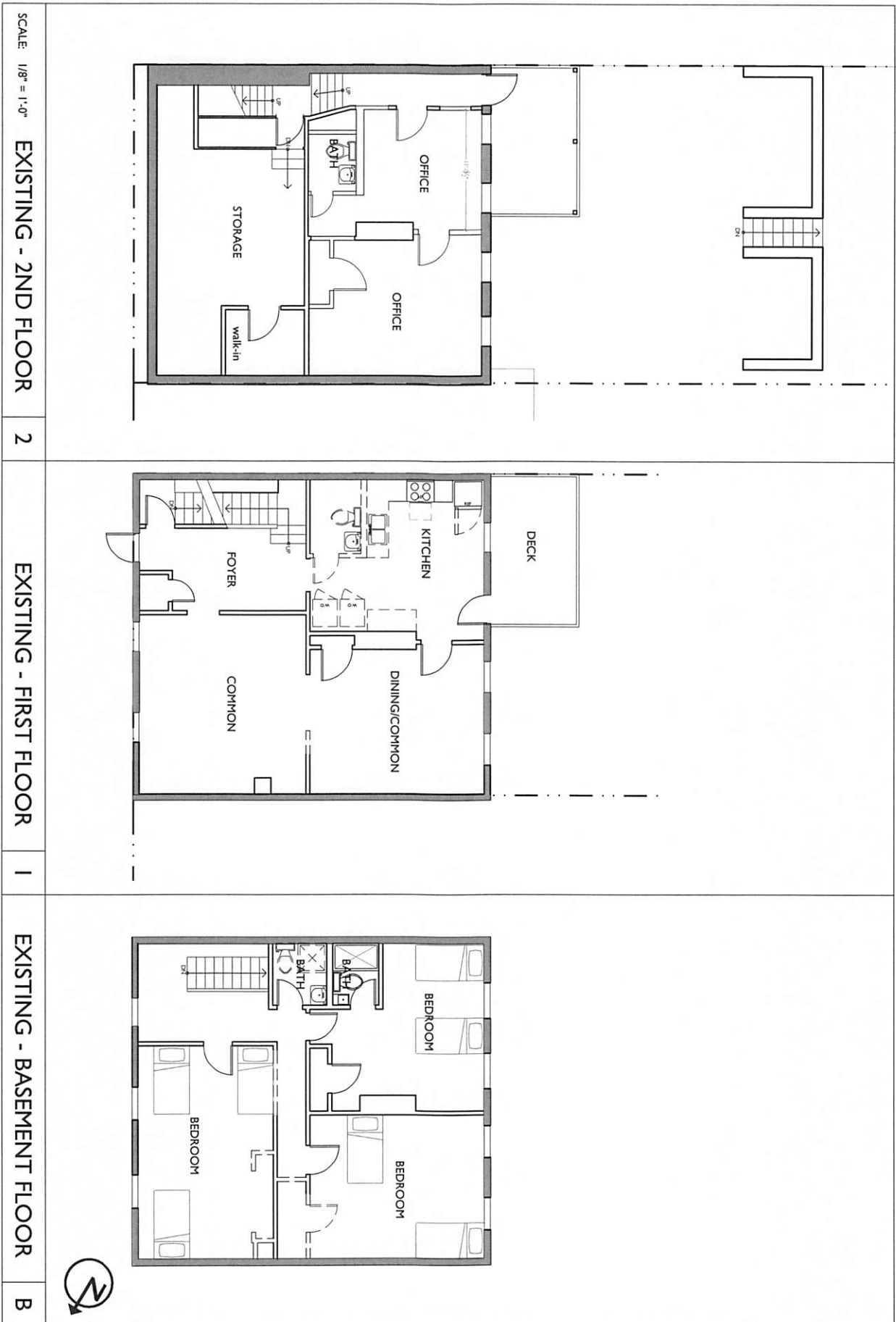


RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
 131 GOETHE ST.
 10.14.2020

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EXHIBIT D

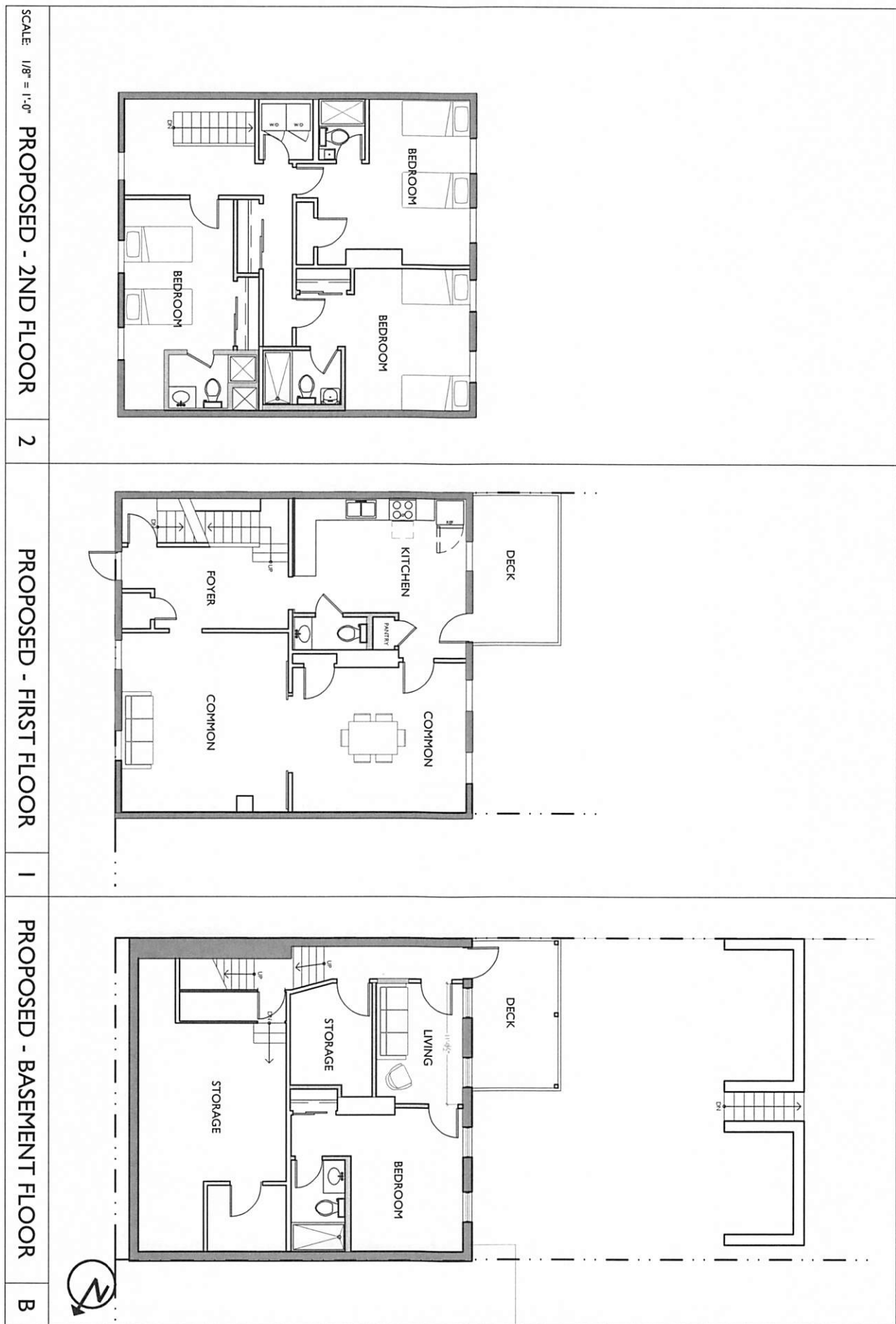


RENOVATIONS FOR:
COURAGE TO CHANGE
141 GOETHE

EXHIBIT E

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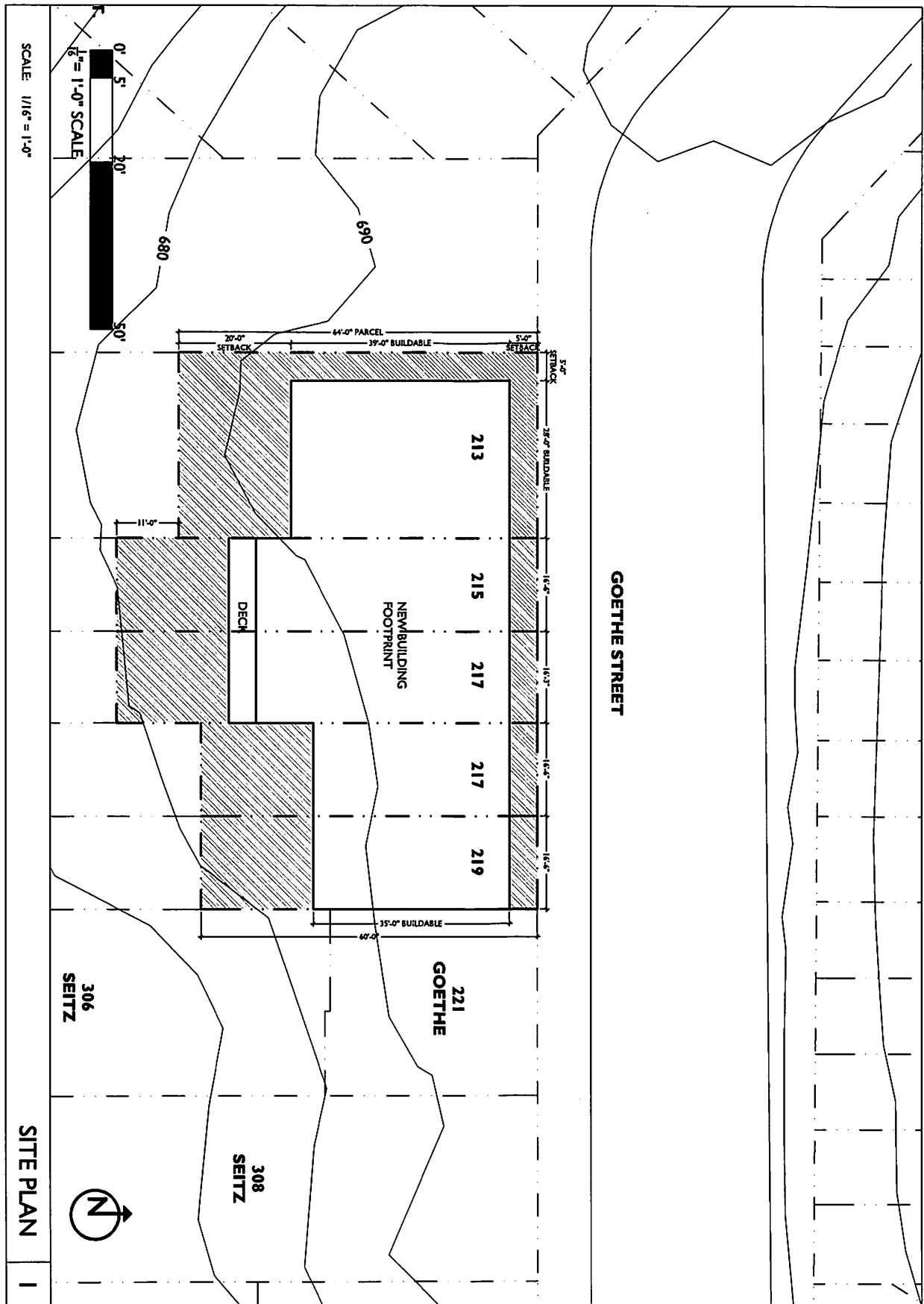
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RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
A1.0 COURAGE TO CHANGE
 141 GOETHE ST.
 10.14.2020

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EXHIBIT E



A0.01

NEW BUILDING FOR:
HAVING THE COURAGE TO CHANGE
213-219 GOETHE ST.
 2.3.2020

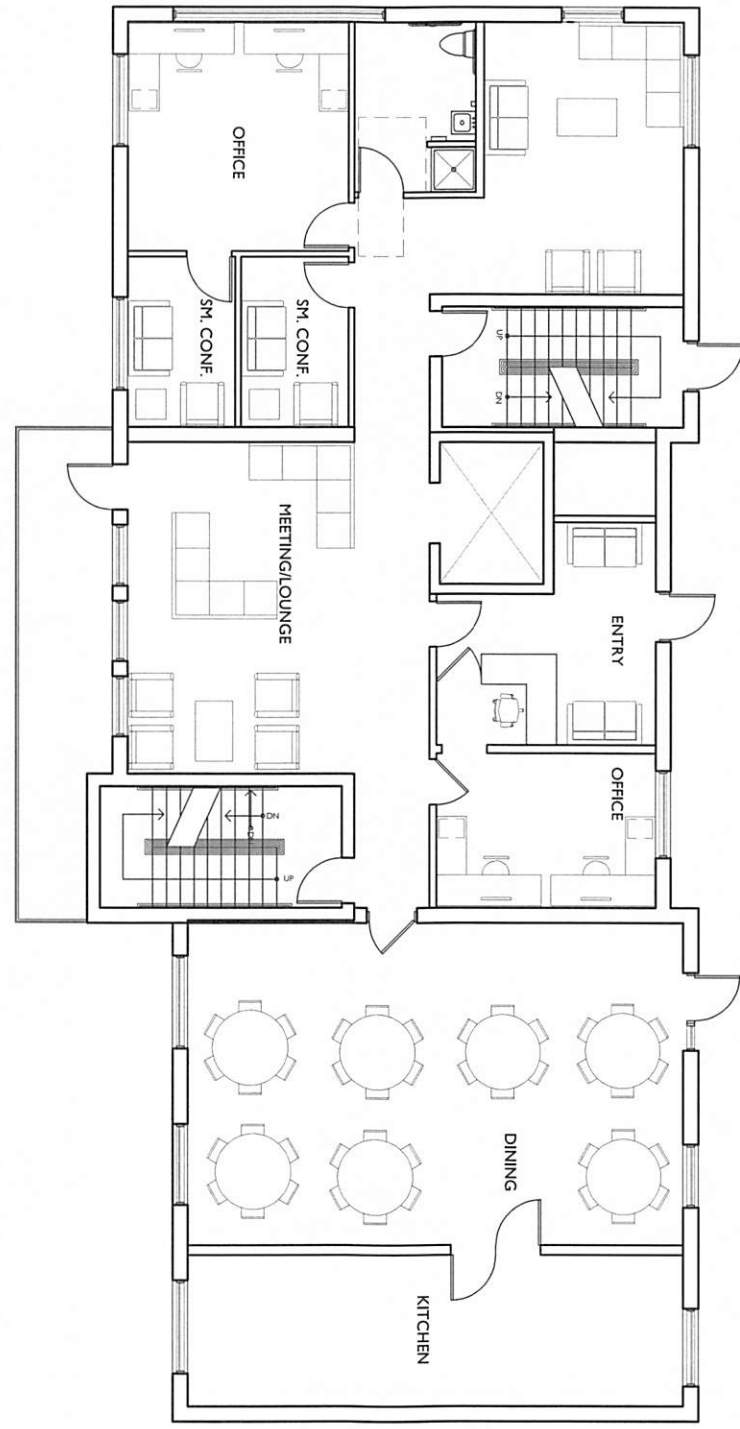
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SCALE: 1/8" = 1'-0"

FIRST FLOOR PLAN

1

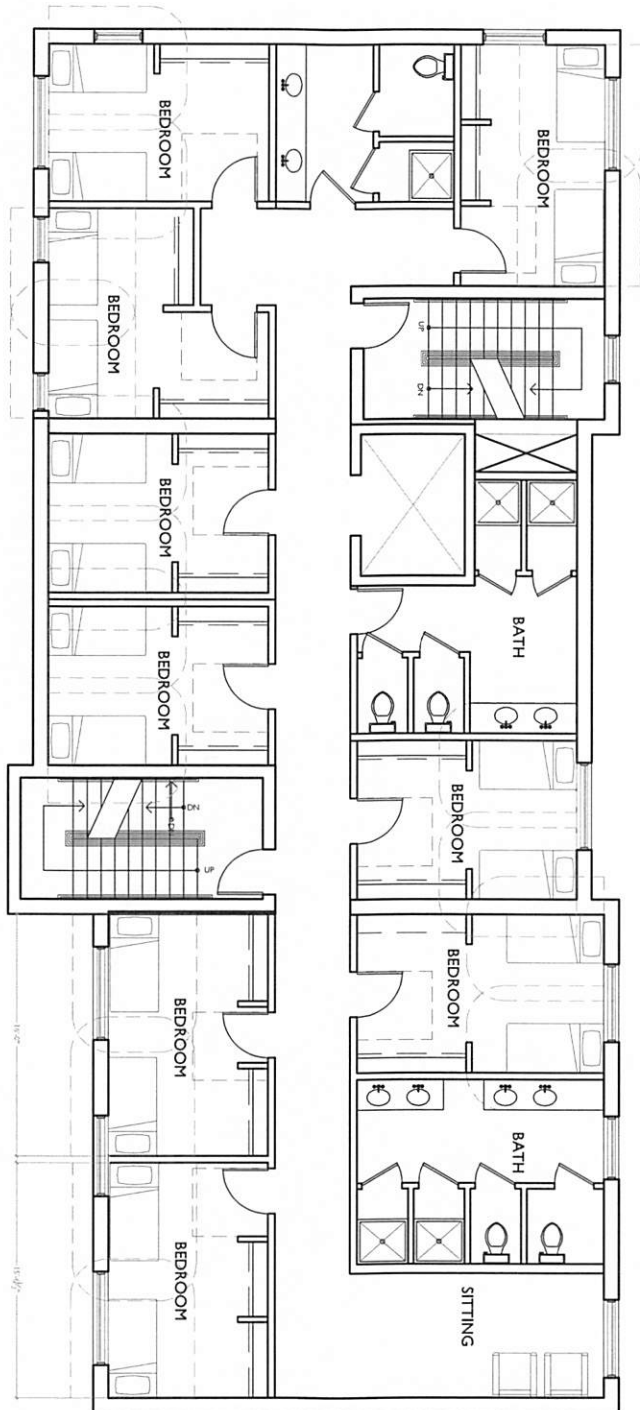


NEW BUILDING FOR:
Courage to Change
 211-219 GOETHE STREET
 2.18.2021

AI.II

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SCALE: 1/8" = 1'-0"

SECOND + THIRD FLOOR PLAN

1

NEW BUILDING FOR:
Courage to Change
 211-219 GOETHE STREET
 2.18.2021

A1.12

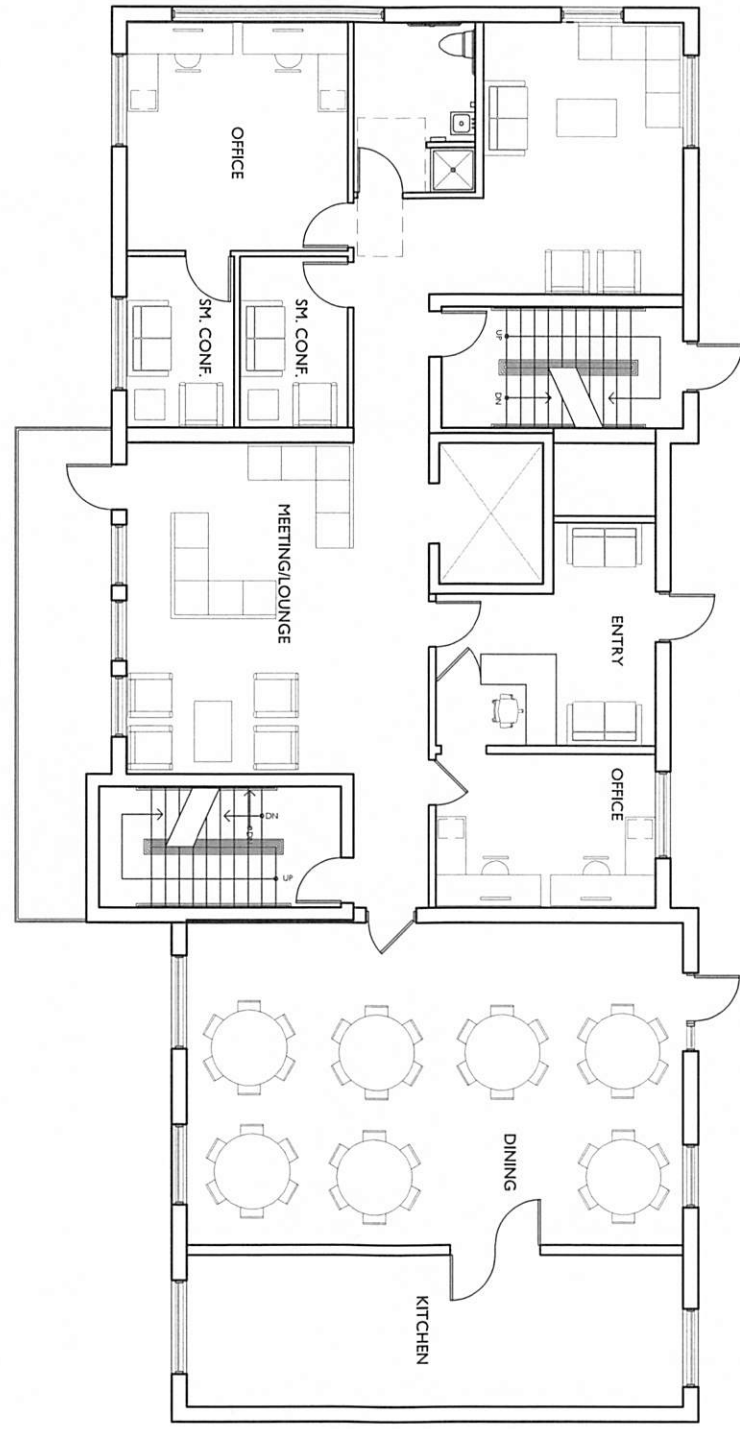
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SCALE: 1/8" = 1'-0"

FIRST FLOOR PLAN

1

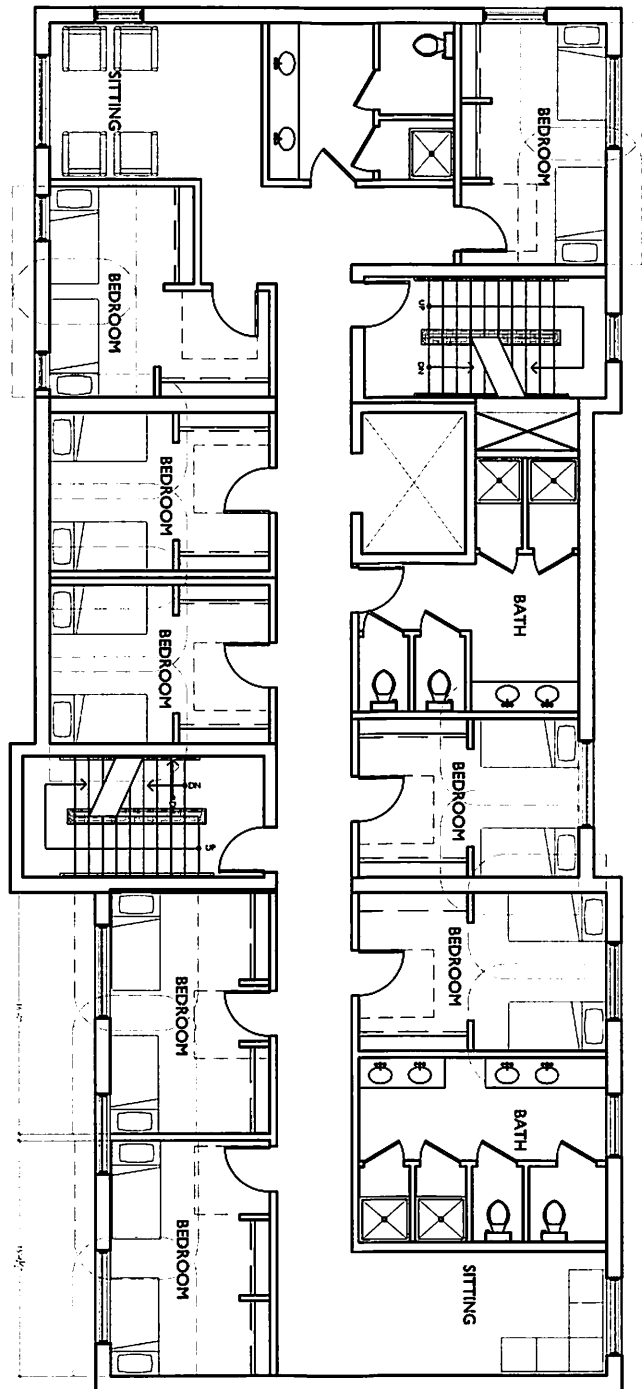


NEW BUILDING FOR:
Courage to Change
 211-219 GOETHE STREET
 3.8.2021

AI.11

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SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN

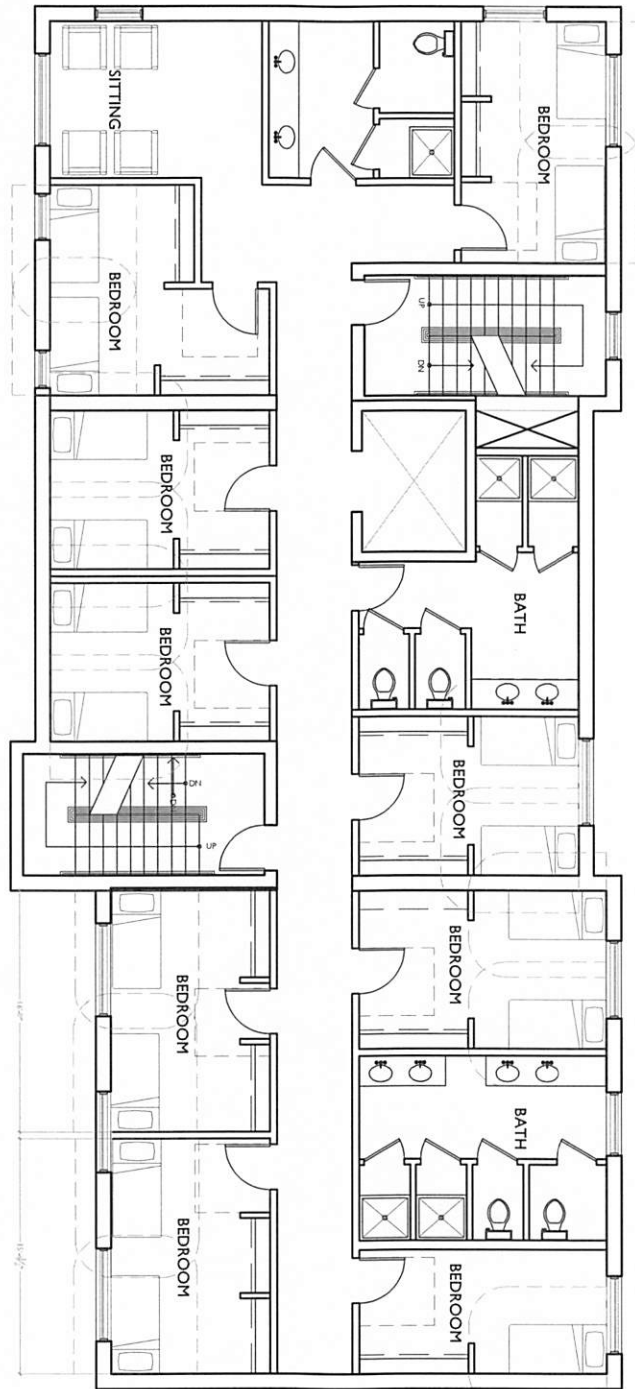
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NEW BUILDING FOR:
Courage to Change
 211-219 GOETHE STREET
 3.8.2021

A1.12

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SCALE: 1/8" = 1'-0"

THIRD FLOOR PLAN

1

NEW BUILDING FOR:
Courage to Change
 211-219 GOETHE STREET
 3.8.2021

A1.13

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EXHIBIT F

PLATTE

architecture + design

1810 CAMPBELL ALLEY | SUITE 300 | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 F: 513.871.1829

09 March 2021

Katherine Keough-Jurs
Director of the Department of City Planning
805 Central Ave.
Suite 720
Cincinnati, Ohio 45202

Ms. Keough-Jurs:

This letter is a revised request to our letter of 7 December 2020, incorporating revisions from recent Planning Commission and facilitated neighborhood meetings.

The three existing properties on Goethe Street, 141, 131 and 127-129, currently house the all-women recovery network of Having the Courage to Change, affiliated with City Gospel Mission. The recovery network has operated out of these buildings for over twenty years, and the time has come to expand to serve more people in our time of need. Goethe street is currently split into two separate zoning districts: RMX and SF-2. The existing properties at 141, 131, and 127-129 Goethe Street, at the west end, currently reside in the RMX district, while a proposed new structure at 211-219 Goethe Street would reside in the SF-2 district on the east end of the street. The proposed expansion of the program would be to move the Transitional 5-6 portion of the program to a new building at 211-219 Goethe Street, and for the existing buildings to become permanent, supportive, affordable housing for participants in the later phases of the program, or for those who have graduated the program.

The three existing buildings would be rehabilitated into permanent supportive housing, as well as one single family home with up to seven unrelated participants. 127-129 Goethe Street would be converted into 6 apartments, with one two-bedroom unit and five one-bedroom units. A laundry room will be included in the building for the tenants. 131 Goethe Street would be converted into 5, one-bedroom permanent supportive housing units with a communal gathering space, as well as on site laundry. 141 Goethe Street would remain a single-family home, that would house seven unrelated people. The current RMX district does not allow more than three dwelling units per building, which will be exceeded by both 127-129 and 131 Goethe Street. The zoning code also indicates that a single-family residence be made up of no more than 5 unrelated people living together, which would be exceeded by 141 Goethe Street. Parking for the residents of the new apartments and the single-family home with 7 unrelated people would be limited to 6 parking spaces. Due to the

density of the street and the existing nature of the buildings, on street parking is all that can be provided.

211-219 Goethe Street is proposed to be a 3-story building with walk out basement, that would house the first three phases of the 'Having the Courage to Change's' Women's recovery network. It would include classrooms, offices for staff, a large communal kitchen and dining room, and house up to 33 participants. The facility will be in an SF-2 zoned district, where level 5 and 6 Transitional Housing is not permitted. The proposed property also does not directly abut another zoning district where level 5 and 6 transitional housing is permitted, nor is the property large enough, at .147 acres, to meet the requirements for a PD district. Level 5 and 6 Transitional Housing is only permitted in OG, IR, DD, MG, CC-M, CC-A, and CG-A. To move the new facility into one of these zones would remove the participants from the established Campus and recovery network that is currently provided by the existing established buildings, and the community/support system that the neighbors on Goethe provide. The 33 possible participants, and staff, would also exceed the allowable density limitations of any of the allowable residential, or group residential uses in the area. The participants would not be permitted to have vehicles, but eight staff parking spaces will be required for the new facility, which would only be able to be provided as on street parking due to the Single-Family zone restricting parking lots.

Thank you for your time and consideration of our project, and your help in navigating this process so that City Gospel Mission can work to reach more women in their time of need.

Kurt Platte
Architect + Owner
Platte Architecture + Design

March 17, 2021

Cincinnati City Council
Council Chambers, City Hall
Cincinnati, Ohio 45202



Dear Members of Council:

We are transmitting herewith an Emergency Ordinance captioned as follows:

AUTHORIZING the renovation of the three existing buildings located at 127-129, 131, and 141 Goethe Street in the Mt. Auburn neighborhood and the construction of a new three-story building on vacant land located at 211-219 Goethe Street in the Mt. Auburn neighborhood for use as transitional housing, **NOTWITHSTANDING** (i) the use and density limitations contained in Chapter 1403, "Single-Family Districts," of the Cincinnati Municipal Code, (ii) the use and density limitations contained in Chapter 1405, "Residential Multi-Family Districts," of the Cincinnati Municipal Code, (iii) the parking limitations contained in Chapter 1425, "Parking and Loading Regulations," of the Cincinnati Municipal Code, and (iv) the development standards contained in Chapter 1433, "Hillside Overlay Districts," of the Cincinnati Municipal Code.

Summary:

The applicant, City Gospel Mission, requests a Notwithstanding Ordinance to permit the renovation of three existing structures at 127-129, 131, and 141 Goethe Street into permanent supportive housing and the new construction of a transitional housing facility at 211-219 Goethe Street in Mt. Auburn. City Gospel Mission operates an all-women recovery network, called Having the Courage to Change, in existing structures at 127-129, 131, and 141 Goethe Street. The current structures have six units and 35 beds. City Gospel Mission has had operations on these properties for over 20 years. They are proposing to transfer and expand their existing operations to a new building to be constructed at 211-219 Goethe Street that will house 33 residents. They will then renovate the existing structures into permanent supportive housing for participants in the later phases of the Having the Courage to Change program or program graduates. The renovated structures will house 19 residents total. The existing and proposed uses are considered transitional housing 5 and/or 6 according to the Sec. 1401-01-T of Cincinnati Zoning Code because they serve residential occupants who are recuperating from the effects of drugs or alcohol and/or readjusting to society while housed under criminal justice supervision.

The City Planning Commission recommended the following on March 5, 2021, to City Council:

APPROVE the Notwithstanding Ordinance permitting the renovation of three existing structures at 127-129, 131, and 141 Goethe Street into permanent supportive housing and the new construction of a transitional housing facility at 211-219 Goethe Street in Mt. Auburn subject to the following conditions:

- 1) The new construction must substantially conform to the project specifications outlined in this report, including:
 - a. A three-story structure
 - b. Use as a transitional housing facility as outlined in Sec. 1401-01-T in the Cincinnati Zoning Code with no more than 33 residents
- 2) The renovations at 127-129, 131, and 141 Goethe Street must substantially conform to the project specifications outlined in this report, including:
 - a. Six dwelling units at 127-129 Goethe Street with no more than seven residents
 - b. Five dwelling units at 131 Goethe Street with no more than five residents
 - c. Single-family home with no more than seven unrelated residents at 141 Goethe Street
 - d. Use as a transitional housing facility as outlined in Sec. 1401-01-T in the Cincinnati Zoning Code or as permanent supportive housing
- 3) The applicant will provide the following items for review in the building permit application:
 - a. A geotechnical report which addresses relative hillside stability and includes recommendations for foundation design.
 - b. A landscaping plan showing plant installation to promote hillside stability.
 - c. Site and grading plan stamped by civil engineer or land surveyor showing existing and proposed grades, the proposed ASL (above sea level) data for the lowest floor and with ASL data also noted and correlated to the building section design; also information on trash dumpster location.

- 4) The Director of Buildings and Inspections will conduct a final review of the construction documents and geotechnical evaluation to ensure an appropriate factor of safety in the design. This review is intended to confirm that:
 - a. The structural design substantially conforms with the Hillside Development Standards of 1433-23 of the Zoning Code to ensure harmonious relationships with adjacent buildings and the hillside environment.
 - b. The design of the foundation, retaining walls, and grading are consistent with the recommendations of the geotechnical report.
- 5) The Notwithstanding Ordinance does not provide a variance from any other laws of the City of Cincinnati, and the properties shall remain subject to all other provisions of the Cincinnati Municipal Code, the SF-2, "Single-family," zoning district or RMX, "Residential Mixed," zoning district.
- 6) The use of 211-219 Goethe Street should not be considered a nonconforming use.

Motion to Approve: Mr. Eby

Ayes:

Mr. Juech
Ms. McKinney
Ms. Sesler
Mr. Smitherman
Mr. Stallworth

Seconded: Mr. McKinney


THE CITY PLANNING COMMISSION



Katherine Keough-Jurs, AICP, Director
Department of City Planning

March 17, 2021

To: Sheila Andrews, Office of the Clerk of Council

From: Katherine Keough-Jurs, AICP, Director, Department of City Planning 

Copies to: Samantha McLean, City Planner, Department of City Planning

Subject: Scheduling of Notwithstanding Ordinance – Renovation and New Construction on Goethe Street (City Gospel Mission)

The above referenced Ordinance is to be scheduled for the Economic Growth and Zoning Committee. This item has been requested to be placed on the next Economic Growth and Zoning Committee meeting following the required two-week notification period.

Included in this submission are the following items:

- 1) The transmittal letter to the Mayor and City Council;
- 2) A copy of the City Planning Commission staff report dated March 5, 2021;
- 3) Additional Attachments
- 4) The Notwithstanding Ordinance;
- 5) Mailing labels for the notice of the public hearing at the Economic Growth and Zoning Committee; and
- 6) A copy of the mailing labels for your file.

March 5, 2021

**Honorable City Planning Commission
Cincinnati, Ohio**

SUBJECT: A report and recommendation on a proposed Notwithstanding Ordinance permitting the renovation of three existing structures at 127-129, 131, and 141 Goethe Street into permanent supportive housing and the new construction of a transitional housing facility at 211-219 Goethe Street in Mt. Auburn.

GENERAL INFORMATION:

Location: 127-129, 131, 141, and 211-219 Goethe Street
Cincinnati OH 45202

Petitioner: City Gospel Mission
1805 Dalton Avenue
Cincinnati, OH 45214

Owner: CURE Properties LLC and HTCTC Properties LLC
1805 Dalton Avenue
Cincinnati, OH 45214

EXHIBITS:

Provided in addition to this report are the following exhibits:

- Exhibit A Location Map
- Exhibit B Application
- Exhibit C 127-129 Goethe Street Plans
- Exhibit D 131 Goethe Street Plans
- Exhibit E 141 Goethe Street Plans
- Exhibit F 211-219 Goethe Street Plans
- Exhibit G 211-219 Goethe Street Potential Designs
- Exhibit H 211-219 Goethe Street Hillside Documentation Letter
- Exhibit I 211-219 Goethe Street Geotechnical Report
- Exhibit J Zoning Analysis Memorandum
- Exhibit K Project Overview
- Exhibit L Key Issues and Engagement Presentation
- Exhibit M Engagement Overview
- Exhibit N Memorandum of Understanding
- Exhibit O Project Funding Explanation
- Exhibit P Pre-2004 Zoning Map and Property/Density Maps
- Exhibit Q Location Selection Explanation
- Exhibit R Public Comment
- Exhibit S Coordinated Site Review Letter

BACKGROUND:

On January 15, 2021, the City Planning Commission heard a report and recommendation on a proposed Notwithstanding Ordinance for 127-129, 131, 141, and 211-219 Goethe Street. At that time, the City Planning Commission voted to hold the item to permit further community engagement. Following

additional engagement, including two community meetings (see *Public Comment and Notification* for more information), the applicant, City Gospel Mission, submitted an updated Notwithstanding Ordinance application (Exhibit B). This report provides an overview of the updated application and indicates where changes to the original were made.

The applicant requests a Notwithstanding Ordinance to permit the renovation of three existing structures at 127-129, 131, and 141 Goethe Street into permanent supportive housing and the new construction of a transitional housing facility at 211-219 Goethe Street in Mt. Auburn. The four subject properties are located along Goethe Street. Goethe Street is located just less than 0.25 miles north of Liberty Street; it commences at Sycamore Street and extends west, terminating in a dead-end. 211-219 Goethe Street is adjacent to the Main Street steps which connect Goethe Street to Mulberry Street to the south and Dorchester Street to the north. 127-129, 131, and 141 Goethe Street are zoned RMX (Residential Mixed) and 211-219 Goethe Street is zoned SF-2 (Single-family). The surrounding land use is primarily single-family residential. The subject properties are within a Hillside Overlay District.

City Gospel Mission operates an all-women recovery network, called Having the Courage to Change, in existing buildings at 127-129, 131, and 141 Goethe Street. The current buildings house 35 residents in six units. City Gospel Mission has operated on these properties for over 20 years. They are proposing to transfer and expand their existing operations to a new building to be constructed at 211-219 Goethe Street. They will then renovate the existing buildings into permanent supportive housing for participants in the later phases of the Having the Courage to Change program or program graduates. The existing and proposed uses are considered transitional housing 5 and/or 6 according to the Sec. 1401-01-T of Cincinnati Zoning Code because they serve residential occupants who are recuperating from the effects of drugs or alcohol and/or readjusting to society while housed under criminal justice supervision.

The applicant requests a Notwithstanding Ordinance because the proposed new construction and renovation are part of a coordinated effort and require relief from the Cincinnati Zoning Code.

PROPOSED NOTWITHSTANDING ORDINANCE:

City Gospel Mission requests a Notwithstanding Ordinance to permit the construction of a transitional housing facility and the renovation of three existing buildings into permanent supportive housing. The Department of Buildings and Inspections conducted a zoning analysis of the proposal (Exhibit J). This section summarizes the proposed Notwithstanding Ordinance and the provided zoning analysis.

Renovation of 127-129, 131, and 141 Goethe Street

There are three existing buildings at 127-129, 131, and 141 Goethe Street. City Gospel Mission operates transitional housing in these buildings and is proposing to renovate them into supportive housing for participants in and graduates of their Having the Courage to Change program. The existing transitional housing operations are proposed to be relocated to the new structure at 211-219 Goethe Street (see *New Construction at 211-219 Goethe Street* for more information). The proposed renovations will not alter the height or footprint of the structure nor the site grading; however, the proposed unit and bed count differs from the existing counts. There is a proposed total increase of six units and a decrease of 16 beds in the existing buildings. The following chart summarizes the existing and proposed unit counts and the height and size of buildings. Each structure will also include communal gathering space and laundry facilities. The plans are included as Exhibits C, D, and E. No changes were made to the proposed renovations between the original and updated submissions.

	127-129 Goethe St.	131 Goethe St.	141 Goethe St.
Height/Square Footage	3-stories/5,000 sq. ft.	4-stories/4,000 sq. ft.	3-stories/2,500 sq. ft.
Existing Units/Beds	4 units/12 beds	1 unit/16 beds	1 unit/7 beds
Proposed Units/Beds	6 units/7 beds	5 units/5 beds	1 unit/7 beds
Unit/Bed Difference	Increase of 2 units Decrease of 5 beds	Increase of 4 units Decrease of 11 beds	No change

The proposed renovations will permit City Gospel Mission to house 19 residents, 18 women and one child, in permanent supportive housing, as 127-129 Goethe Street will have one two-bedroom unit which they plan to reserve for a woman and her child.

The proposed renovations meet the Hillside Base Development Regulations (Sec. 1433-19 of the Cincinnati Zoning Code). However, the applicant is requesting relief through the Notwithstanding Ordinance for the following:

Use (Sec. 1405-05)

The proposed permanent supportive housing is considered a transitional housing use. Transitional housing is not permitted as a principal use in the RMX zoning district per Sec. 1405-05 of the Cincinnati Zoning Code. The proposed Notwithstanding Ordinance would formalize the permission for the existing transitional housing.

Dwelling Units (Sec. 1405-05)

The RMX zoning district permits up to three dwelling units per building according to Sec. 1405-05 of the Cincinnati Zoning Code. The applicant is proposing six units at 127-129 Goethe Street and five units at 131 Goethe Street. While the proposal increases the number of units, the number of beds would decrease (see table above).

Parking (Sec. 1425-19-A)

Per Sec. 1425-19-A of the Cincinnati Zoning Code, each site requires two parking spaces. The applicant is proposing zero off-street parking spaces. The proposed Notwithstanding Ordinance would formalize an existing condition. Due to the existing structures and nature of the subject properties, no off-street parking can be provided.

New Construction at 211-219 Goethe Street

The subject property at 211-219 Goethe Street is 0.147 acres in size and currently vacant. A photograph on Google Street View from 2007 shows that a three-story structure, similar in scale to the proposed structure, once existed on the site, but it has been vacant for approximately 10-15 years (Exhibit G). The applicant proposes a three-story, 14,000 square foot structure with a walk-out basement to a deck in the rear. The proposed structure would have 36 beds within 18 bedrooms in addition to seven bathrooms, a kitchen and dining area, meeting rooms, a lounge, a library, a gym, and offices. The plans are included as Exhibit F.

The applicant is requesting relief through the Notwithstanding Ordinance for the following:

Use (Sec. 1403-05)

The proposed transitional housing use is not permitted within the SF-2 zoning district per Sec. 1403-05 of the Cincinnati Zoning Code.

Parking (Sec. 1425-19-A)

According to Sec. 1425-19 of the Cincinnati Zoning Code, five parking spaces are required. Zero parking spaces are proposed by the applicant.

Rear Yard Setback (Sec. 1422-17-A)

The proposed new construction includes a deck in the rear of the building that situated five feet from the rear property line. A rear yard setback variance of approximately 15 feet is required.

Height (Sec. 1433-17-D and Sec. 1433-17-E)

The proposed height conforms to the height limit at the street but exceeds the limit at the mid-point of the roof by approximately three feet.

Cut/Excavation (Sec. 1433-19-G)

A cut/excavation variance of approximately seven feet is requested to allow for a 15-foot cut from the existing grade at the front façade to the bottom of the footer.

The rear yard setback, height, and cut/excavation relief identified is approximate. The submitted plans are schematic and the final foundation and retaining wall designs will be developed in accordance with the recommendations from the geotechnical report (Exhibit H). A hillside review will be required before the exact relief can be determined. The Department of Buildings and Inspections found that the proposed design is “reasonable and substantially compatible with the hillside overlay goals given the size limits of the parcel and the topography.” Per the recommendation of the Department of Buildings and Inspections, two conditions were added should the City Planning Commission recommend approval to ensure a final review of the construction drawings and geotechnical report and to confirm that the structure conforms with Sec. 1433-23, Hillside Development Standards, of the Cincinnati Zoning Code and the recommendations of the geotechnical report (see *Recommendation* number 3 and 4).

The proposal for 211-219 Goethe Street was updated following the City Planning Commission meeting on January 15, 2021, and subsequent community meetings. The proposed building footprint, height, and setbacks did not change; however, the applicant reduced the proposed occupancy of the building by 25% (from 48 residents to 36 residents) to address density concerns from community members. To address additional community members’ concerns regarding the design and future use of the building, the applicant commits to design the building exterior to resemble three single-family townhomes (potential examples are included as Exhibit G) and construct the building so that it could be renovated and sold as three separate single-family townhomes. Additionally, the applicant commits to convening a community review committee to work on the exterior façade design and materials. More information on these commitments can be found in *Public Comment and Notification*.

PUBLIC COMMENT AND NOTIFICATION:***Pre-January 15, 2021 City Planning Commission Public Comment***

Prior to the City Planning Commission meeting on January 15, 2021, the applicant engaged the community through meetings with the Mt. Auburn Community Council, mailed letters to surrounding residents, and focus groups with staff, volunteers, and nearby residents. They also participated in two meetings with community members in early January with approximately 20 individuals in attendance at both meetings. Mt. Auburn Community Council submitted a letter of support. The Mt. Auburn Community Development Corporation also expressed support.

26 letters of concern were received prior to the January 15, 2021 City Planning Commission meeting from 24 individuals, primarily from nearby residents/ property owners, but also from builders/developers and neighborhood residents. 19 letters of support from 22 individuals were received from nearby residents/property owners and project supporters, such as social service organizations and members of the recovery community. These letters were in the staff report dated January 15, 2021, and in the “Additional Attachments.”

The letters of support stated the desire to continue supporting City Gospel Mission’s work and their history of being a good neighbor. The concerns outlined in the letters were related to the proposed new construction, including lack of parking, inconsistency with surrounding neighborhood character due to density, scale, and design, lack of parking, long-term use, effect on property values and future development, and lack of community engagement.

Community Meetings and Public Comment Received After January 15, 2021

The City Planning Commission voted to hold the proposed Notwithstanding Ordinance during their January 15, 2021 meeting to permit further community engagement. Two community meetings were held, on January 28 and February 11. The applicant also engaged with nearby residents/property owners outside of these two community meetings as outlined in Exhibit M. City Staff, Mt. Auburn community leadership, and the applicants coordinated to provide notice to community members regarding the two community meetings (see *Notice* below for more details).

11 community members, including the Mt. Auburn Community Council president and Mt. Auburn CDC CEO, in addition to the applicant team and City staff, attended the meetings on January 28th and February 11th. The first community meeting was intended to be a listening session in which the applicant team could report what they had heard from community members thus far and solicit additional feedback. The second meeting provided the applicant team the opportunity to respond to the feedback through project modifications or other commitments. Exhibit L outlines the concerns and feedback they received. Below is a summary of the concerns/feedback received and how City Gospel Mission addressed the feedback:

Density

Concern: The original proposal of 48 residents in the new construction is too dense for the area.

Response: The applicant reduced the proposed occupancy in the new construction by 25% from 48 residents to 36 residents. If the City Planning Commission approves the proposed Notwithstanding Ordinance, one of the recommended conditions is that the new building cannot house more than 36 residents.

Parking

Concern: The applicant is proposing zero off-street parking spaces. Many residents expressed that off-street parking is already limited and that additional residents on the street would increase parking demand.

Response: The applicant is proposing a parking plan that would limit parking for the residents in the renovated buildings and not permit residents in the new construction to have

vehicles. Only six residents in the renovated buildings would be permitted to park on Goethe Street. This plan is outlined in a Memorandum of Understanding (MOU) between City Gospel Mission and the community.

Consistency with Surrounding Neighborhood Character

Concerns: The scale and the design of the new construction is out of character with the surrounding neighborhood. Some community members suggested an alternate site for the new construction and provided potential site and floor plans Exhibit R).

Response: The applicant proposes to redesign the exterior of the new construction to resemble three single-family townhomes and solicit the input from community review on façade design and materials. This is outlined in the MOU. The applicant did visit an alternate site and determined that property at 211-2119 Goethe Street was more appropriate for the transitional housing facility because it facilitates a sense of community, connection, and inspiration. The applicant elaborated on the location selection in Exhibit Q.

Future Use of 211-219 Goethe Street

Concern: Some community members had questions about City Gospel Mission's plan for the property long-term and what would happen if they decided to sell the property.

Response: The applicant proposes to construct the new building in a manner that would permit the building to be separated into three single-family townhomes should City Gospel Mission cease operations on the site. City Gospel Mission also commits to covering the cost to separate the buildings and parcels. This is outlined in the MOU.

During the community meetings, some community members expressed support for the proposed development, modifications, and commitments. Nearby residents/property owners spoke about their positive experience with City Gospel Mission as neighbors, as well as the desire to be a diverse neighborhood. A couple of nearby residents/property owners, as well as a developer with property on Goethe Street, still expressed concern about the scale and density of the project in its current location.

The aforementioned MOU is included as Exhibit N for reference. This agreement is between the Mt. Auburn Community Council, Mt. Auburn Community Development Corporation, City Gospel Mission, and two real estate companies owned by City Gospel Mission, CURE and HTCTC.

As of February 23, 2021, staff has received seven letters of support from six individuals and three letters with concerns, one of which elaborates on an alternate site. The letters were from nearby and adjacent residents/property owners. The sentiments outlined in the letters align with those expressed during the community meetings (Exhibit R).

Notice

Notice of the two community meetings was emailed to individuals who submitted public comment or signed-up to participate in the January 15, 2021 City Planning Commission meeting. In addition, the applicant team worked with the Mt. Auburn Community Council and Mt. Auburn Community Development Corporation to distribute the meeting notice to their boards and members, as well as four community

Facebook pages/groups.

Mailed notice on the March 5, 2021 City Planning Commission was sent to property owners within 400 feet of subject properties, the Mt. Auburn Community Council, and the Over-the-Rhine Community Council on February 19, 2021. The City Planning Commission notice was also sent via email to any individual who submitted public comment or attended the January 15, 2021 City Planning Commission meeting or one or both of the community meetings.

ANALYSIS:

The Department of City Planning has consistently taken a position to not support any Notwithstanding Ordinances because they do not comply with the Cincinnati Zoning Code that the department is charged with developing and enforcing. However, Cincinnati Municipal Code Section 111-5 establishes a list of factors by which a City Council committee may consider a notwithstanding ordinance application. As such, the City Planning Commission shall consider the following when making a recommendation on notwithstanding ordinances to City Council:

- 1) Whether the proposed application will not have an adverse effect on the character of the area or the public health, safety and welfare;

The proposed development was reviewed by the Department of Buildings and Inspections and found to be substantially compliant with applicable hillside regulations. A complete hillside review will be required prior to permitting to ensure compliance with the regulations and the recommendations of the geotechnical report. While the proposed new construction will increase density on the street, the vacant parcels were formerly the site of a three-story building, similar in scale, to the proposed building. Some community members expressed concern about the impact of the new construction on the character of the neighborhood. Additionally, some community members expressed quality of life concerns related to the proposed increased density in the residential neighborhood. To address these concerns, the applicant reduced the occupancy in the proposed new construction and outlined a plan in the MOU to limit the impact on parking pressures.

- 2) Whether the proposed application is consistent with the purposes of this code and the zoning district where the subject property is located including but not limited to:

- (a) Providing a guide for the physical development of the city.

The proposed Notwithstanding Ordinance would permit the renovation of existing structures on the street while making use of a currently vacant parcel that was previously the site of a three-story building. The proposed new construction would transform the vacant site, adjacent to the Main Street steps, creating stronger connection to the rest of the street and activating an underutilized space.

- (b) Preserving the character and quality of residential neighborhoods.

The proposed Notwithstanding Ordinance would permit the introduction of additional quality transitional housing for residents and the renovation of existing transitional housing. While the proposed new construction is larger in scale than surrounding single-family structures, it will sit on the site of a three-story building,

similar in scale to the proposed building that was demolished approximately a decade ago. Some community members expressed concern about the scale of the new construction and its consistency with the surrounding residential neighborhood. To address these concerns, the applicant submitted additional potential exterior design options and pledged to work with a community review community to refine the final exterior design as outlined in the MOU. The applicant intends for the exterior design to resemble three single-family townhomes.

- (c) Fostering convenient, harmonious and workable relationships among land uses.

The predominant land use surrounding the subject properties is single-family residential. The existing and proposed transitional housing is compatible with the residential nature of the area. While the proposed new construction will include offices, a gym, lounge, and eating area for residents, it will operate in a residential manner, rather than a mixed-use building.

- (d) Achieving the arrangement of land uses described in the comprehensive plan for the development of the city as may have been adopted by council.

The proposed Notwithstanding Ordinance is consistent with the Mt. Auburn Community Plan (1992) and Plan Cincinnati (2012) (see "Consistency with Plans" for further analysis).

- (e) Promoting the economic stability of existing land uses and protecting them from intrusions by inharmonious or harmful land uses.

City Gospel Mission has operated on Goethe Street for over 20 years. The proposed Notwithstanding Ordinance will permit them to expand their operations in a building designed to meet the needs of their residents in the early stages of the program, while renovating the existing structures into housing that is appropriate for residents in later stages of the program or graduates. Some community members and developers expressed concerns about the impact of the proposed development on property values of existing residents and future development, including plans for new townhomes on Goethe Street.

- (f) Providing opportunities for economic development and new housing for all segments of the community.

The proposed Notwithstanding Ordinance would permit a new development on a currently vacant lot, allowing City Gospel Mission to expand their existing residential and social services. By constructing a new building for the first three phases of the transitional housing program, which is currently operating in the three existing buildings, they will be able to renovate the existing structures into permanent supportive housing for graduates and residents in the later phases of the program, providing an additional type of housing for women in need.

- (g) Creating pedestrian-friendly environments to reduce reliance on the automobile for travel.

The subject properties are located within 0.25 miles walking distance of Liberty Street and within 0.5 miles of the Over-the-Rhine Main Street Business District. It is

also just over 0.5 miles from Findlay Market and nearby bus lines/stops. The subject properties are easily accessed on foot via the Main Street steps connecting Goethe Street with Dorchester Street to the north and Mulberry Street to the south.

- (h) Preventing excessive population densities and overcrowding of land or buildings.

The proposed Notwithstanding Ordinance would permit a total of 55 residents to live throughout four buildings. City Gospel Mission currently provides housing and services for 35 women in three buildings. The proposed renovations and new construction would permit housing for an additional 20 residents. This increases density on the street; however, the proposed new construction will house 36 residents in a three-story, 14,000 square foot building, similar in size to building that was on the property historically. There is vacant property to the north and the west of the proposed new construction.

- (i) Ensuring the provision of adequate open space for light, air and fire safety.

The proposed Notwithstanding Ordinance does not provide a variance from any other laws of the City of Cincinnati. The owner would need to abide by the building code and fire regulations outlined in the Cincinnati Municipal Code. Some community members expressed concern about emergency vehicle access on the dead-end street considering the proposed increased density. The proposed development was reviewed by the Fire Department during the Coordinated Site Review process and there were no concerns regarding access on the street (Exhibit S).

- (j) Ensuring that development is compatible with the environment, particularly on the hillsides and along the riverfront.

The subject properties are located within a Hillside Overlay District. 127-129, 131, and 141 Goethe Street are in compliance with Sec. 1433-19, Hillside Base Development Regulations, of the Cincinnati Zoning Code. The Department of Buildings and Inspections found that the proposed schematic plans for the new construction at 211-219 Goethe Street are compatible with the Sec. 1433-19 and a full hillside review would be conducted to ensure compliance with Sec. 1433-23, Hillside Development Standards, prior to permitting.

- (k) Promoting the conservation, protection, restoration and enhancement of the historic resources of the city.

The subject properties are not located within a historic district. The proposed Notwithstanding Ordinance would permit the renovation of existing buildings, preserving the built character on the street, and the new construction of a building similar in scale to a building that was historically on the property. The applicant notes in Exhibit P that the area was previously zoned R-6, a high-density residential zoning district, prior to the current Zoning Code which was put in place in 2004.

- (l) Lessening congestion in the public streets by providing for off-street parking and loading areas for commercial vehicles.

According to Sec. 1425-19-A of the Cincinnati Zoning Code, a total of 11 parking

spaces are required for the four sites. The proposal does not provide any off-street parking, and thus seeks relief through the Notwithstanding Ordinance. No off-street parking is currently provided at the properties with existing structures. Nearby residents expressed concern about the lack of proposed parking, stating that on-street parking in the neighborhood is already limited. The applicant intends to address this concern through a parking program for residents of the renovated buildings. The parking plan would permit six residents to park on Goethe Street and would not allow the 36 residents in the new construction to have vehicles. The plan is outlined in the MOU (Exhibit N).

- (m) Providing effective signage that is compatible with the surrounding urban environment.

Proposed signage for the renovated structures and new construction was not submitted as part of the application. However, a condition of the proposed Notwithstanding Ordinance is that the property shall remain subject to all other provisions of the Cincinnati Municipal Code, the SF-2, "Single-family," zoning district or RMX, "Residential Mixed," zoning district. This would include any signage regulations. The existing structures do not appear to have any signage beyond an address indicator.

- (n) Setting standards by which a nonconforming use may continue to function and to provide for the adaptive reuse of nonconforming buildings.

One of the recommended conditions, should the City Planning Commission approve the proposed Notwithstanding Ordinance, is that the use of the property at 211-219 Goethe Street should not be considered a nonconforming use. Should City Gospel Mission cease operations in the new construction at 211-219 Goethe Street, they commit to sell the building as three separate buildings and subdivide the parcel, as outlined in the MOU (Exhibit N).

CONCLUSIONS:

The proposed Notwithstanding Ordinance would permit a coordinated development consisting of the renovation of three existing structures for permanent supportive housing and the new construction of a three-story transitional housing facility. The proposed development preserves existing buildings while introducing new housing to the neighborhood for women in need. The requested relief through the Notwithstanding Ordinance has been found to be reasonable considering the size limits of the parcel and the topography. In the case of the proposed renovations, the Notwithstanding Ordinance would formalize the existing uses. The proposed Notwithstanding Ordinance is consistent with portions of the *Mt. Auburn Community Plan* (1992) and *Plan Cincinnati* (2012).

The applicant conducted additional community engagement with neighborhood residents and stakeholders and proposed modifications to their project based on the feedback received, including reducing the density in the proposed new construction and outlining other commitments to address design, parking, and future use in a Memorandum of Understanding.

During the community meetings and in the attached letters, a few nearby residents/property owners as well as local builders/developers still expressed concern about the scale and density of the proposed new

construction in its current location and its effect on the character of the neighborhood. However, other community members, including nearby residents/property owners, have expressed support for the proposed project, as outlined in their letters and during the community meetings.

The Department of City Planning has consistently taken the position to not support any Notwithstanding Ordinances for land use decisions because they do not comply with the zoning laws that the department is charged with developing and enforcing.

RECOMMENDATION:

The staff of the Department of City Planning recommends that the City Planning Commission take the following action:

DENY the Notwithstanding Ordinance permitting the renovation of three existing structures at 127-129, 131, and 141 Goethe Street into permanent supportive housing and the new construction of a transitional housing facility at 211-219 Goethe Street in Mt. Auburn.

- 1) The Department of City Planning cannot support any Notwithstanding Ordinances for land use decisions because the ordinances do not comply with the zoning laws that the Department of City Planning is charged with developing and enforcing.

If the City Planning Commission decides to recommend approval of the Notwithstanding Ordinance, the City Planning Commission should consider the following conditions:

- 1) The new construction must substantially conform to the project specifications outlined in this report, including:
 - a. A three-story structure
 - b. Use as a Program 5 and 6 Transitional Housing facility as outlined in Sec. 1401-01-T in the Cincinnati Zoning Code with no more than 36 residents
- 2) The renovations at 127-129, 131, and 141 Goethe Street must substantially conform to the project specifications outlined in this report, including:
 - a. Six dwelling units at 127-129 Goethe Street with no more than seven residents
 - b. Five dwelling units at 131 Goethe Street with no more than five residents
 - c. Single-family home with no more than seven unrelated residents at 141 Goethe Street
 - d. Use as a Program 5 and 6 Transitional Housing facility as outlined in Sec. 1401-01-T in the Cincinnati Zoning Code or as permanent supportive housing
- 3) The applicant will provide the following items for review in the building permit application:
 - a. A geotechnical report which addresses relative hillside stability and includes recommendations for foundation design.
 - b. A landscaping plan showing plant installation to promote hillside stability.
 - c. Site and grading plan stamped by civil engineer or land surveyor showing existing and proposed grades, the proposed ASL (above sea level) data for the

lowest floor and with ASL data also noted and correlated to the building section design; also information on trash dumpster location.

- 4) The Director of Buildings and Inspections will conduct a final review of the construction documents and geotechnical evaluation to ensure an appropriate factor of safety in the design. This review is intended to confirm that:
 - a. The structural design substantially conforms with the Hillside Development Standards of 1433-23 of the Zoning Code to ensure harmonious relationships with adjacent buildings and the hillside environment.
 - b. The design of the foundation, retaining walls, and grading are consistent with the recommendations of the geotechnical report.
- 5) The Notwithstanding Ordinance does not provide a variance from any other laws of the City of Cincinnati, and the properties shall remain subject to all other provisions of the Cincinnati Municipal Code, the SF-2, "Single-family," zoning district or RMX, "Residential Mixed," zoning district.
- 6) The use of 211-219 Goethe Street should not be considered a nonconforming use.

Respectfully submitted:



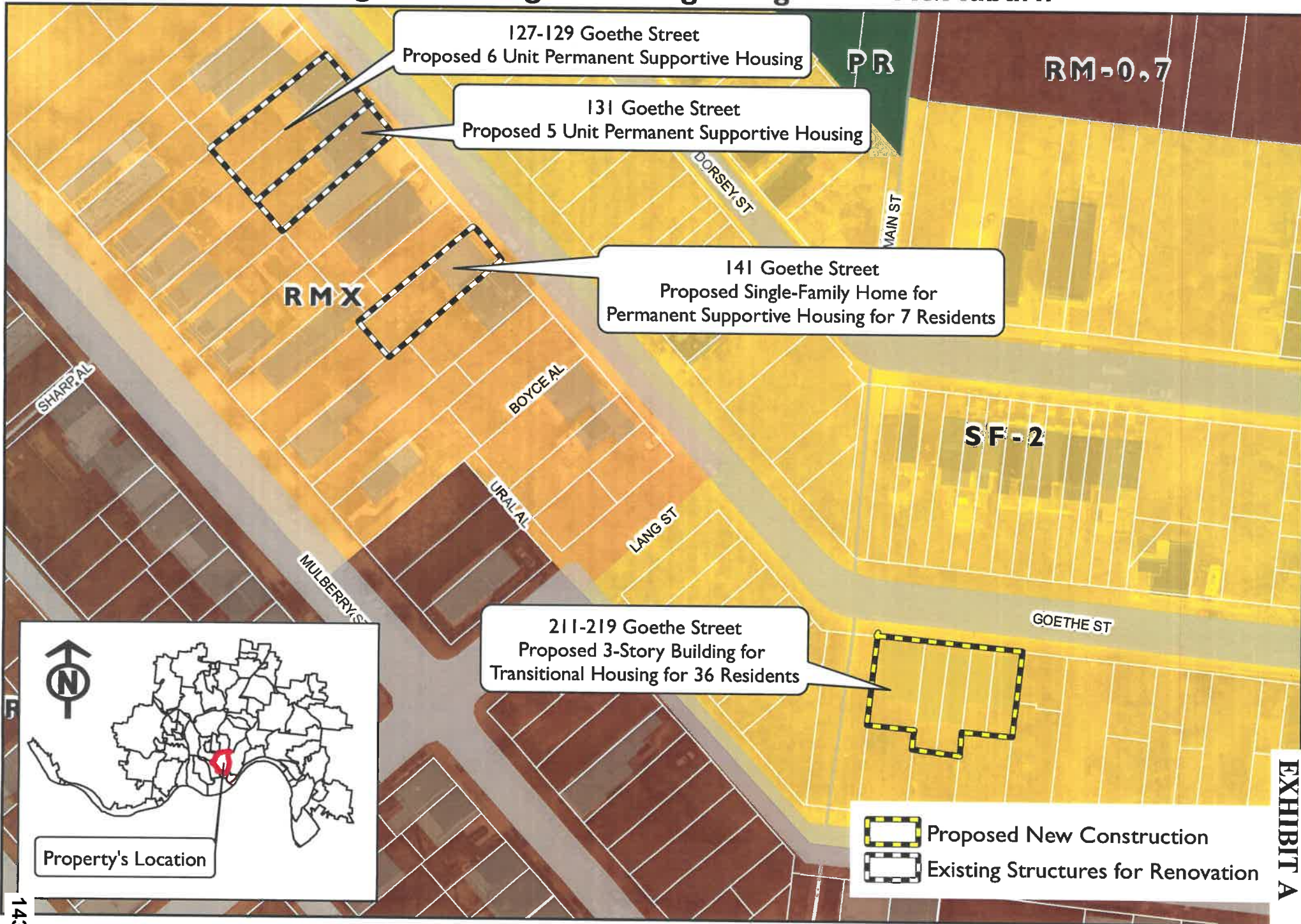
Samantha McLean, City Planner
Department of City Planning

Approved:



Katherine Keough-Jurs, AICP, Director
Department of City Planning

Proposed Notwithstanding Ordinance for City Gospel Mission's Having the Courage to Change Program in Mt.Auburn



**Notwithstanding
Ordinance Application**

INITIALIZED BY

Part A - Identification

Subject Property Address (Please print in blue or black ink only) <u>211-219 and 141 and 131 and 127-129 Goethe St. 45202</u>			
Applicant - Name (Print) <u>City Gospel Mission</u>		Phone No <u>513 345-1023</u>	E-mail Address <u>RHowell@CityGospelMission.org</u>
Street Number & Name <u>1805 Dalton Ave</u>	City / State / Zip Code <u>Cincinnati OH 45214</u>	Phone No / Fax No <u>(513) 345-1023 Fax 513 345-1049</u>	
Relationship of Applicant to Owner:			
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Lessee <input type="checkbox"/> Attorney			
Property Owner - Name (Print) <u>CURE Properties, LLC + HTCTC Properties, LLC</u>		Phone No	E-mail Address <u>(same as above)</u>
Street Number & Name <u>(same as above)</u>		City / State / Zip Code <u>(same as above)</u>	

Part B - Submission Requirements (Please provide the following for a complete application)

1. A copy of the zoning map showing the subject property. A copy may be obtained through the Zoning Administration by emailing zoninginfo@cincinnati-oh.gov or by calling (513) 352-2430.
2. A written statement outlining all of the practical difficulties created by following existing legislative and administrative procedures.
3. Submit one (1) paper copy and one (1) digital copy of the application to the Director of City Planning at 805 Central Avenue, Suite 720, Cincinnati, Ohio 45202. Payment must be included with the application. (Payable to the City of Cincinnati)

Part C - Authorization

The applicant or agent undersigned does hereby certify that the information and statements given on the application, drawings, and inspections are to the best of their knowledge, true and correct. The undersigned further certifies their authorization to grant consent to the inspection by employees of the City of Cincinnati of the described premises at any time when work on those premises is ongoing and hereby grants their consent.

Applicant's Signature

[Signature]

Date Dec. 8, 2020

FOR OFFICE USE ONLY

Reviewed By:

Samantha McLean
City Planning Staff

Processing Fee

\$1,000 - received

12/11/20

Date Application Complete

PLATTE

architecture + design

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WWW.PLATTEDESIGN.COM T: 513.871.1850 F: 513.871.1829

18 February 2021

Katherine Keough-Jurs
Director of the Department of City Planning
805 Central Ave.
Suite 720
Cincinnati, Ohio 45202

Ms. Keough-Jurs:

This letter is a revised request to our letter of 7 December 2020, incorporating revisions from recent Planning Commission and facilitated neighborhood meetings.

The three existing properties on Goethe Street, 141, 131 and 127-129, currently house the all-women recovery network of Having the Courage to Change, affiliated with City Gospel Mission. The recovery network has operated out of these buildings for over twenty years, and the time has come to expand to serve more people in our time of need. Goethe street is currently split into two separate zoning districts: RMX and SF-2. The existing properties at 141, 131, and 127-129 Goethe Street, at the west end, currently reside in the RMX district, while a proposed new structure at 211-219 Goethe Street would reside in the SF-2 district on the east end of the street. The proposed expansion of the program would be to move the Transitional 5-6 portion of the program to a new building at 211-219 Goethe Street, and for the existing buildings to become permanent, supportive, affordable housing for participants in the later phases of the program, or for those who have graduated the program.

The three existing buildings would be rehabilitated into permanent supportive housing, as well as one single family home with up to seven unrelated participants. 127-129 Goethe Street would be converted into 6 apartments, with one two-bedroom unit and five one-bedroom units. A laundry room will be included in the building for the tenants. 131 Goethe Street would be converted into 5, one-bedroom permanent supportive housing units with a communal gathering space, as well as on site laundry. 141 Goethe Street would remain a single-family home, that would house seven unrelated people. The current RMX district does not allow more than three dwelling units per building, which will be exceeded by both 127-129 and 131 Goethe Street. The zoning code also indicates that a single-family residence be made up of no more than 5 unrelated people living together, which would be exceeded by 141 Goethe Street. Parking for the residents of the new apartments and the single-family home with 7 unrelated people would be limited to 6 parking spaces. Due to the

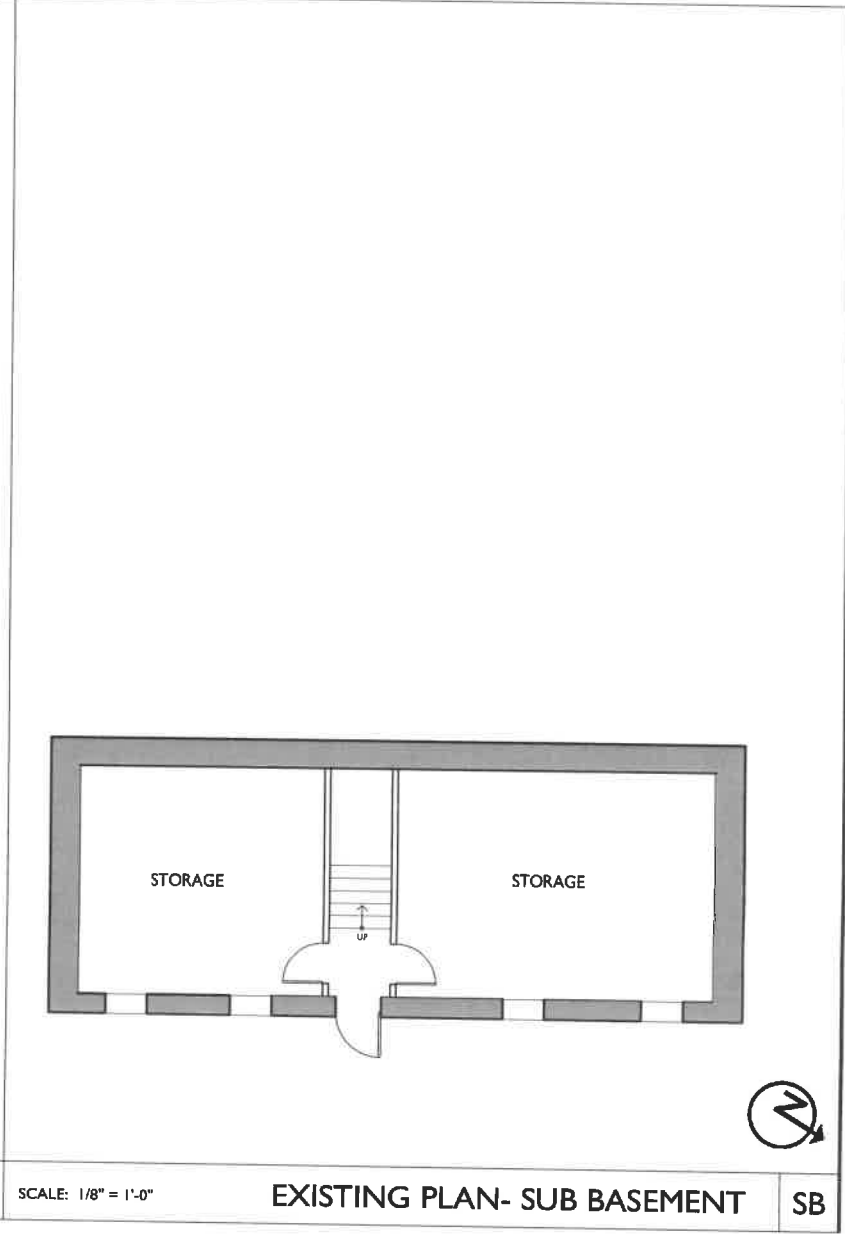
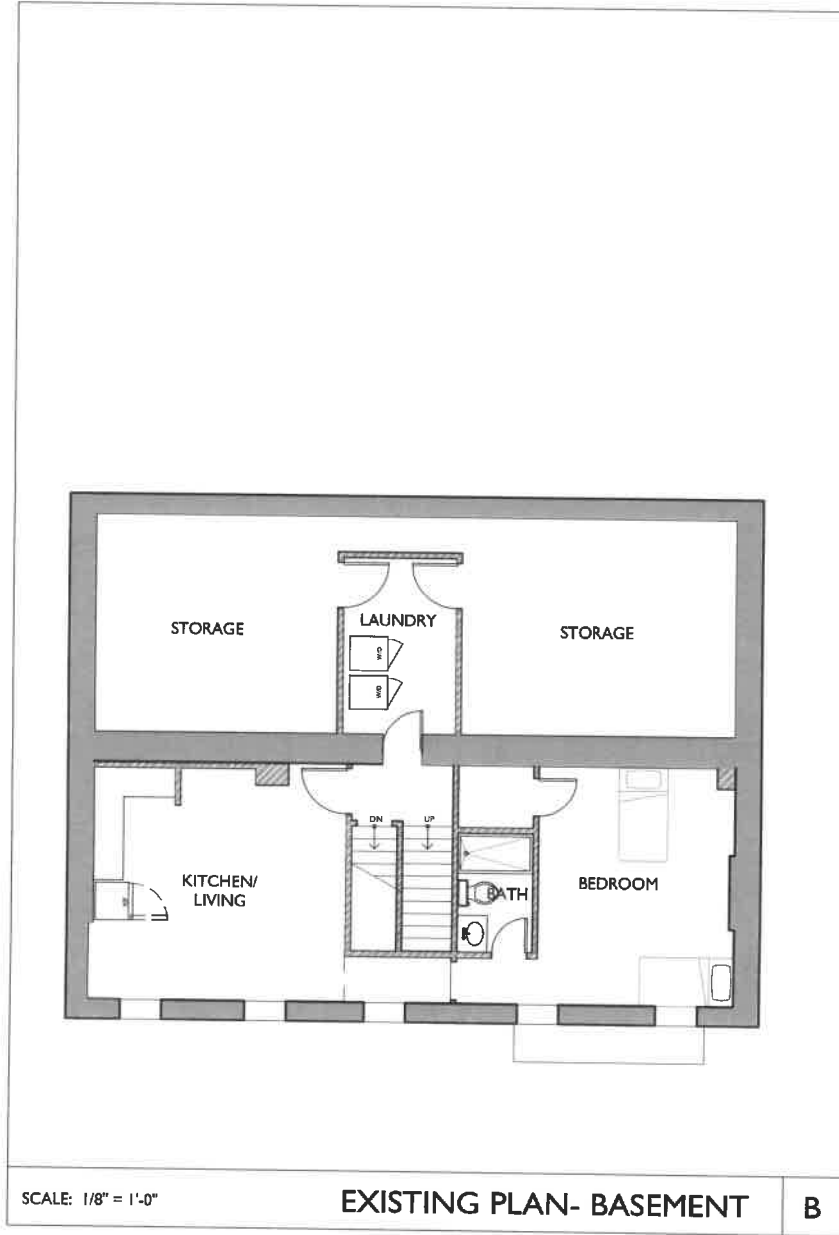
density of the street and the existing nature of the buildings, on street parking is all that can be provided.

211-219 Goethe Street is proposed to be a 3-story building with walk out basement, that would house the first three phases of the 'Having the Courage to Change's' Women's recovery network. It would include classrooms, offices for staff, a large communal kitchen and dining room, and house up to 36 participants. The facility will be in an SF-2 zoned district, where level 5 and 6 Transitional Housing is not permitted. The proposed property also does not directly abut another zoning district where level 5 and 6 transitional housing is permitted, nor is the property large enough, at .147 acres, to meet the requirements for a PD district. Level 5 and 6 Transitional Housing is only permitted in OG, IR, DD, MG, CC-M, CC-A, and CG-A. To move the new facility into one of these zones would remove the participants from the established Campus and recovery network that is currently provided by the existing established buildings, and the community/support system that the neighbors on Goethe provide. The 36 possible participants, and staff, would also exceed the allowable density limitations of any of the allowable residential, or group residential uses in the area. The participants would not be permitted to have vehicles, but eight staff parking spaces will be required for the new facility, which would only be able to be provided as on street parking due to the Single-Family zone restricting parking lots.

Thank you for your time and consideration of our project, and your help in navigating this process so that City Gospel Mission can work to reach more women in their time of need.



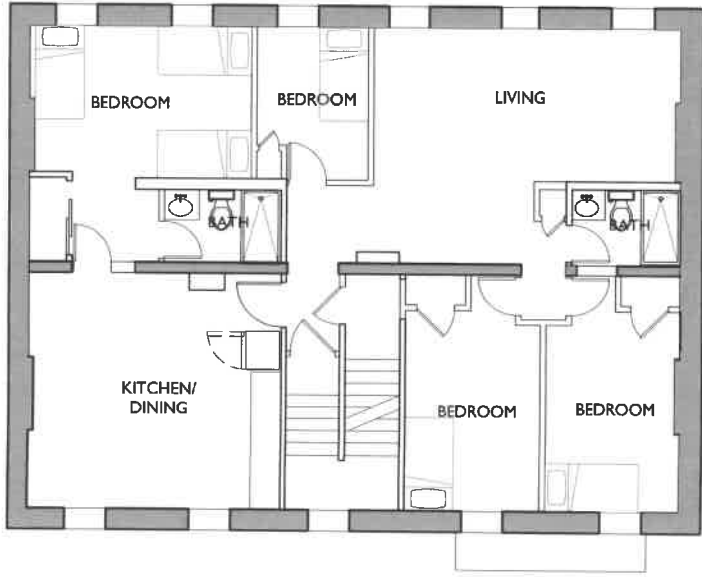
Kurt Platte
Architect + Owner
Platte Architecture + Design



RENOVATIONS FOR:
COURAGE TO CHANGE
127-129 GOETHE

PLATTE
 architecture + design
 1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
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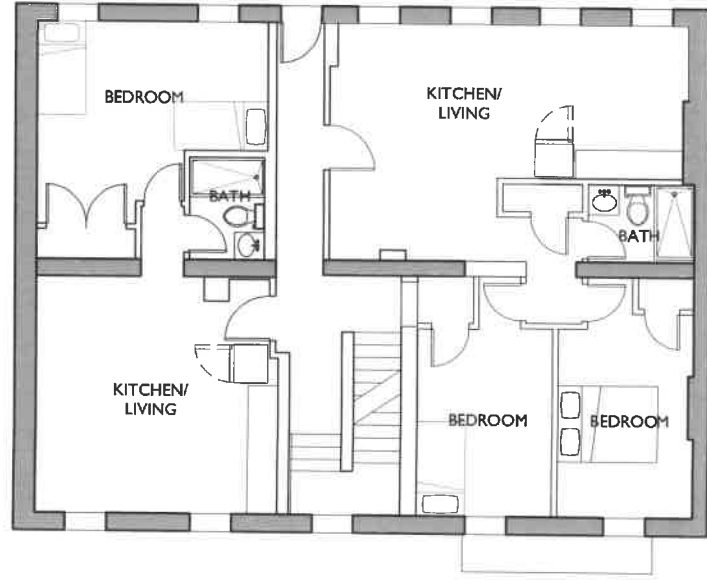
EXHIBIT C



SCALE: 1/8" = 1'-0"

EXISTING - SECOND FLOOR

2



SCALE: 1/8" = 1'-0"

EXISTING - FIRST FLOOR

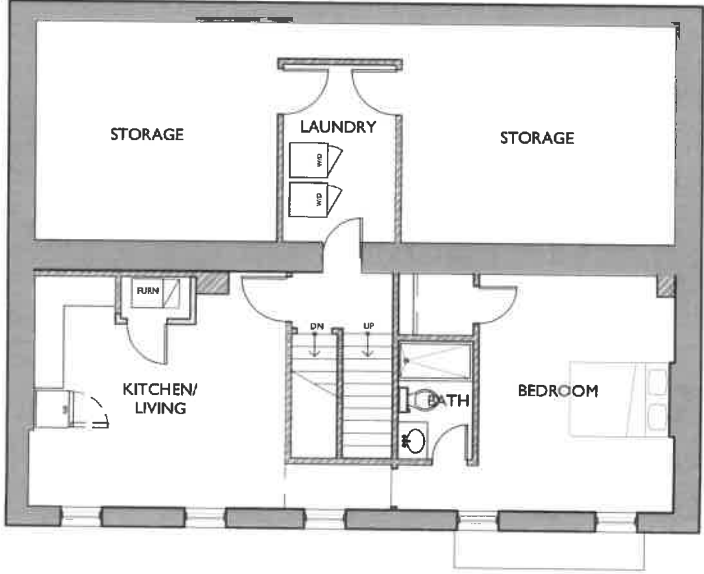
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RENOVATIONS FOR:
COURAGE TO CHANGE
127-129 GOETHE
10.14.2020

PLATTE
architecture + design

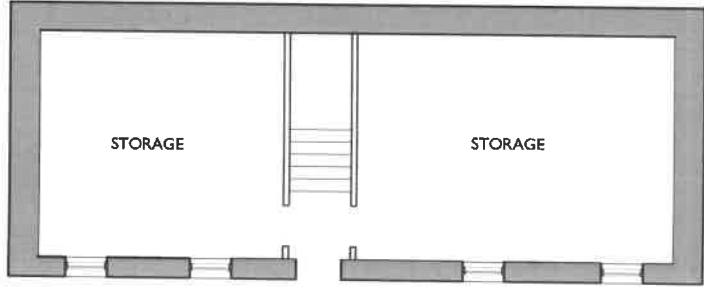
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SCALE: 1/8" = 1'-0"

PROPOSED BASEMENT FLOOR

B



SCALE: 1/8" = 1'-0"

PROPOSED SUB BASEMENT FLOOR

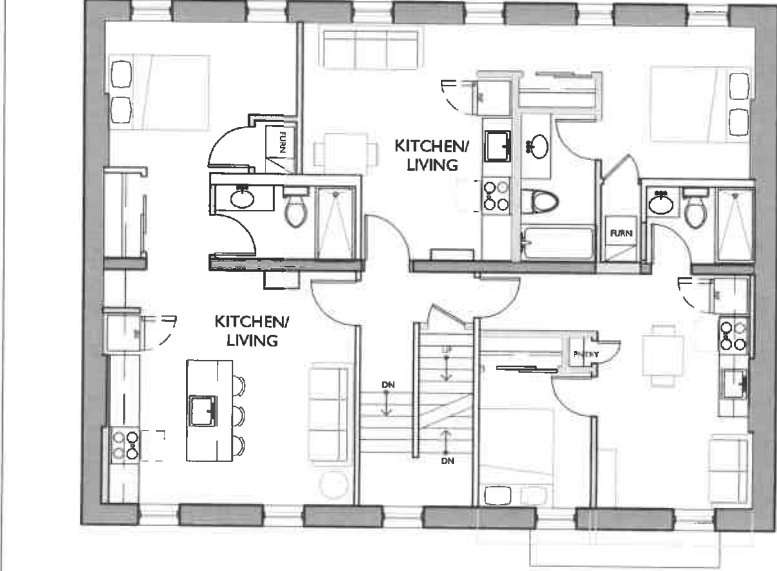
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RENOVATIONS FOR:
COURAGE TO CHANGE
127-129 GOETHE
A1.0

10.14.2020

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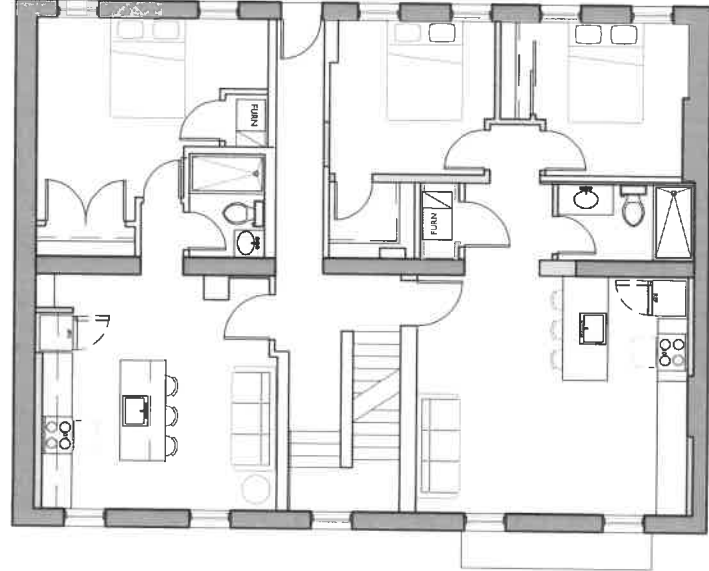
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SCALE: 1/8" = 1'-0"

PROPOSED SECOND FLOOR

2



SCALE: 1/8" = 1'-0"

FIRST FLOOR

1

RENOVATIONS FOR:
COURAGE TO CHANGE
127-129 GOETHE
A.I.

10.14.2020

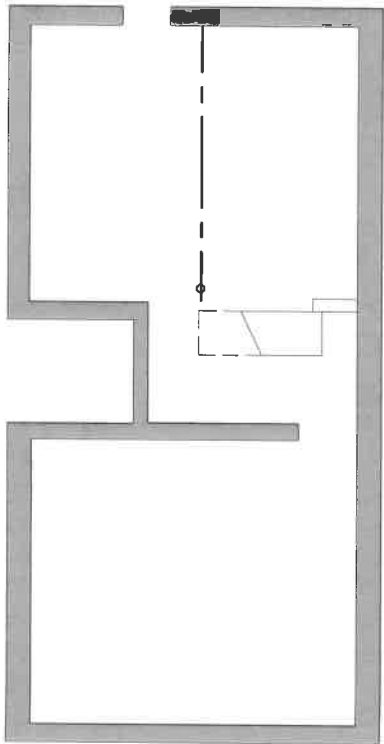
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SCALE: 1/8" = 1'-0"

SUB-BASEMENT

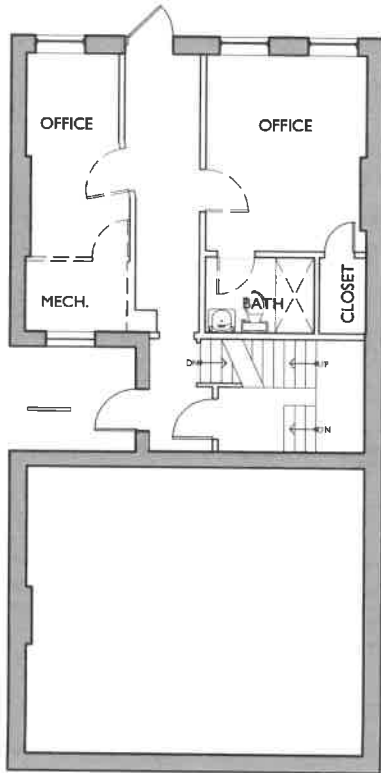
SB



SCALE: 1/8" = 1'-0"

PROPOSED BASEMENT PLAN

B



RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
131 GOETHE ST.

X1.0

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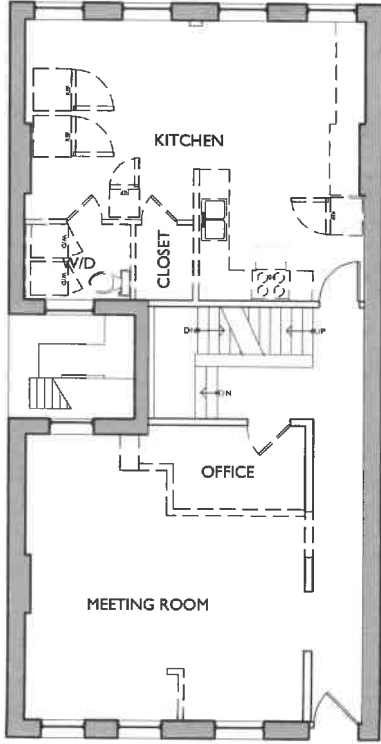
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EXHIBIT D

SCALE: 1/8" = 1'-0"

EXISTING FIRST FLOOR

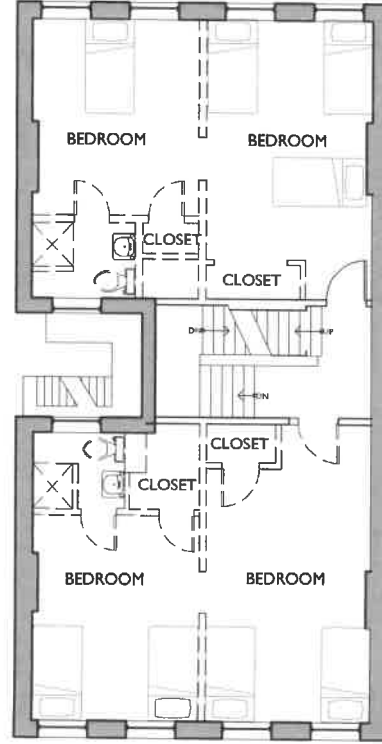
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EXISTING SECOND FLOOR PLAN

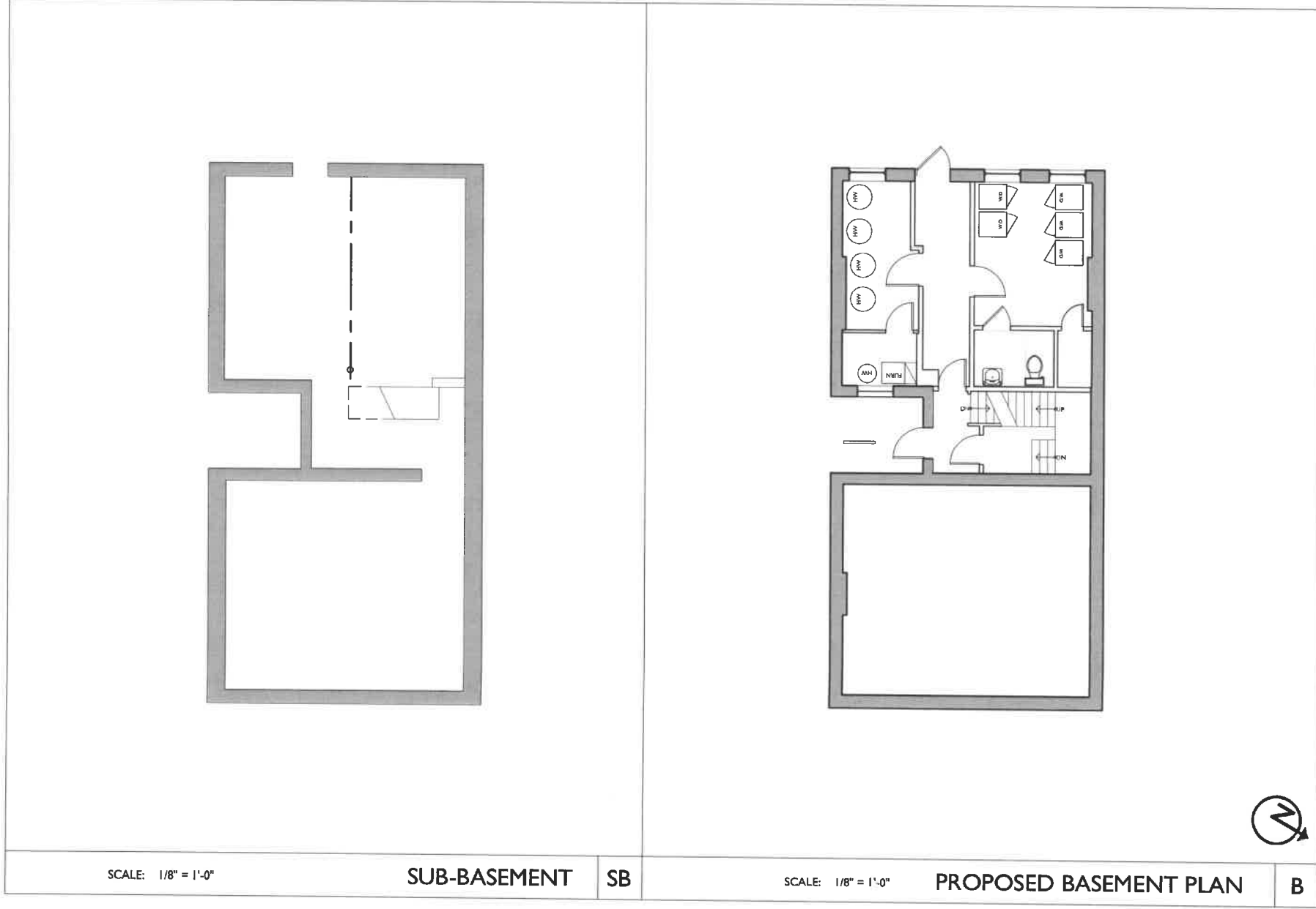
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RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
 131 GOETHE ST.
 10.14.2020

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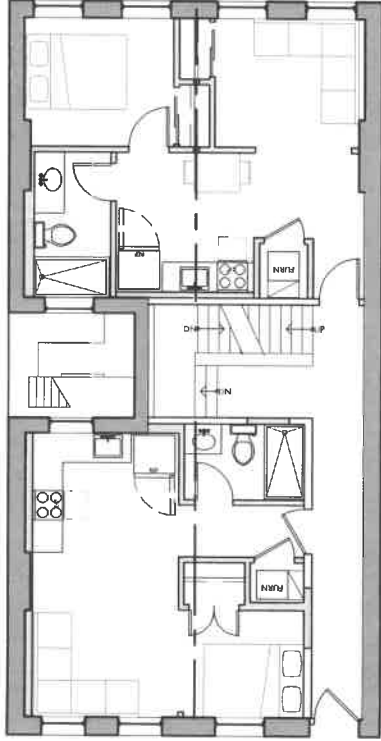


RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
 131 GOETHE ST.
 10.14.2020

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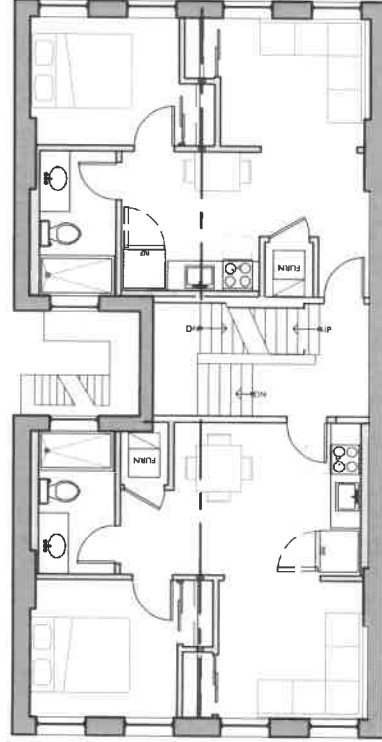
SCALE: 1/8" = 1'-0"



FIRST FLOOR

1

SCALE: 1/8" = 1'-0"



SECOND FLOOR

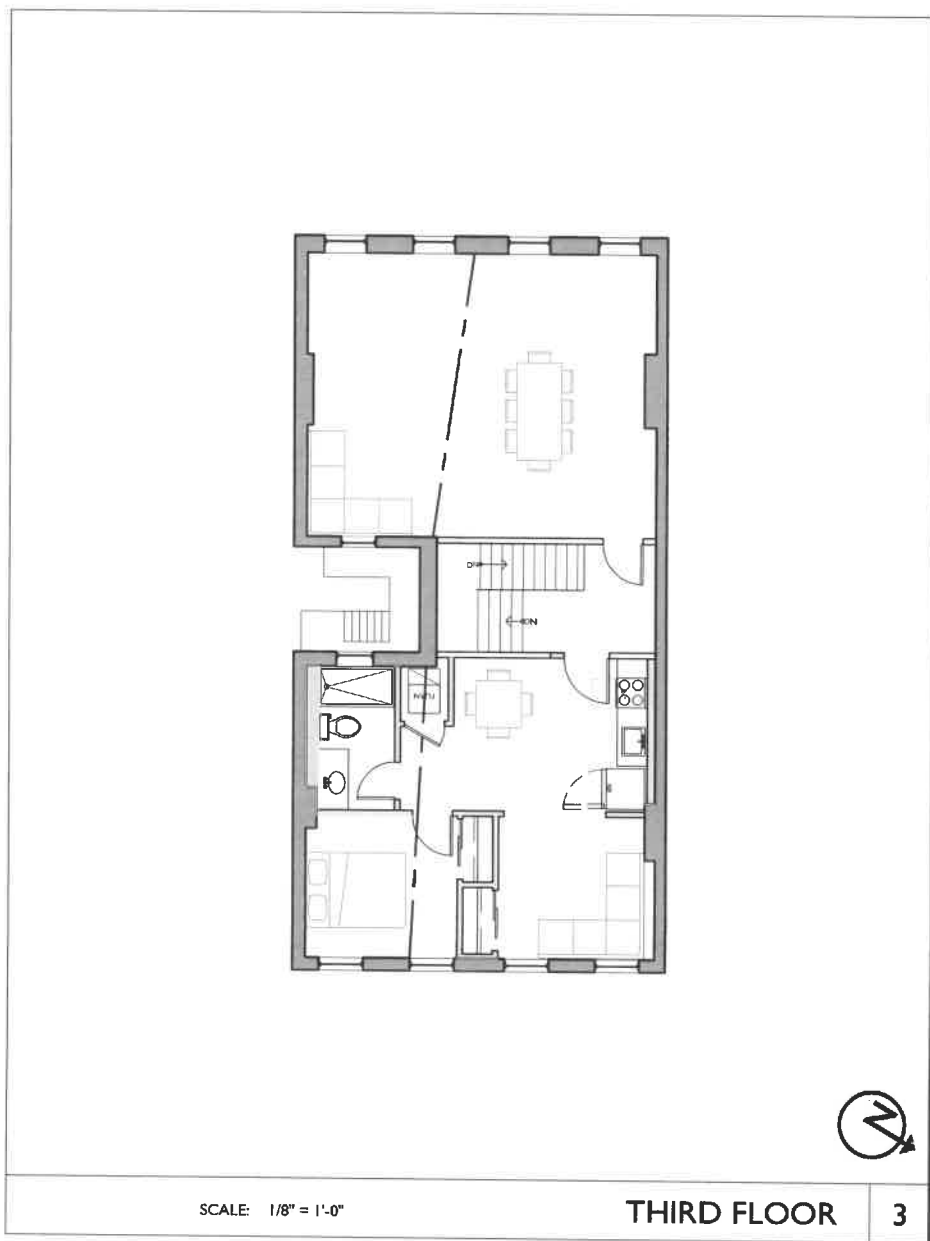
2



RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
 131 GOETHE ST.
 10.14.2020
A1.1

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SCALE: 1/8" = 1'-0"

THIRD FLOOR

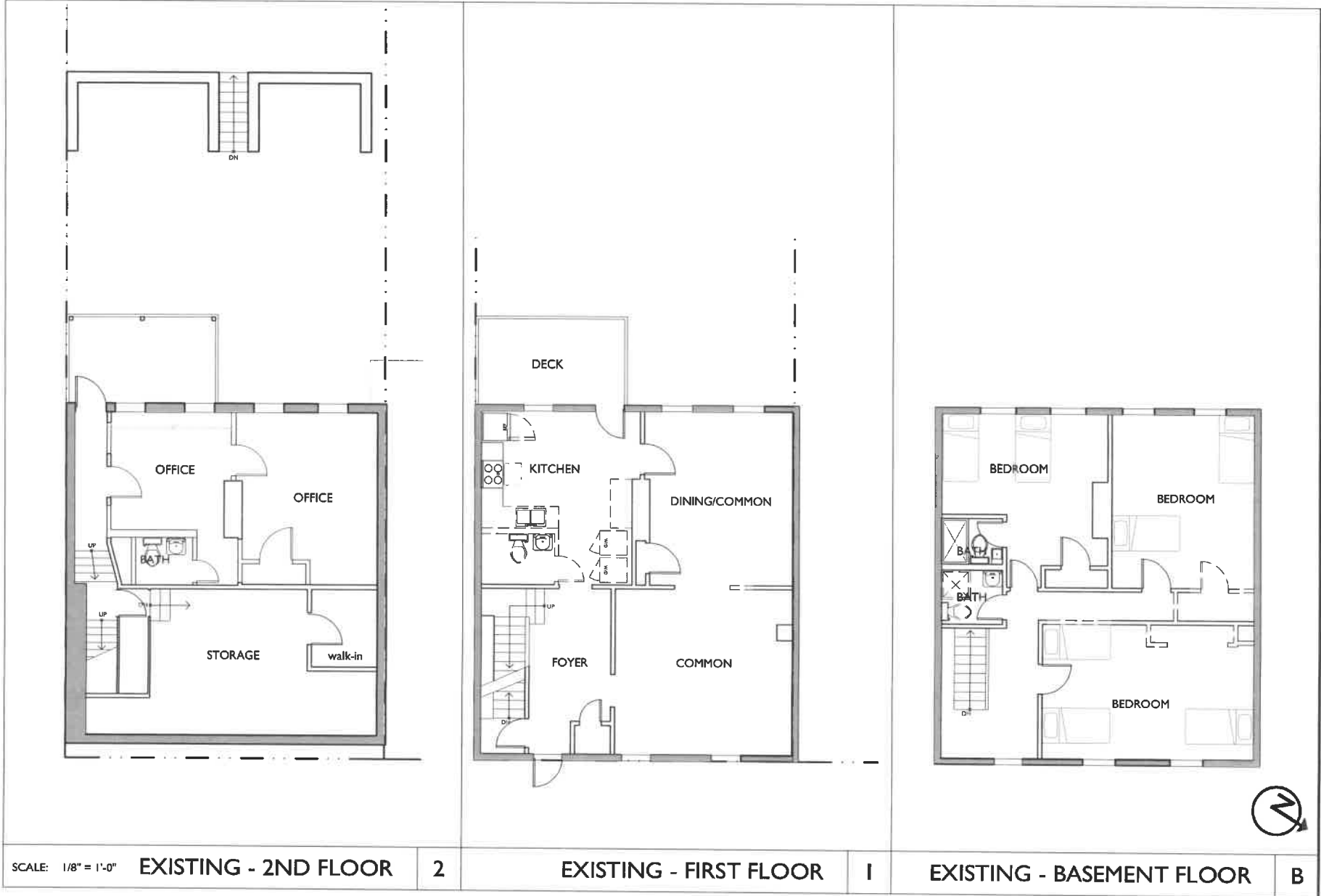
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RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
 131 GOETHE ST.
 10.14.2020
A1.2

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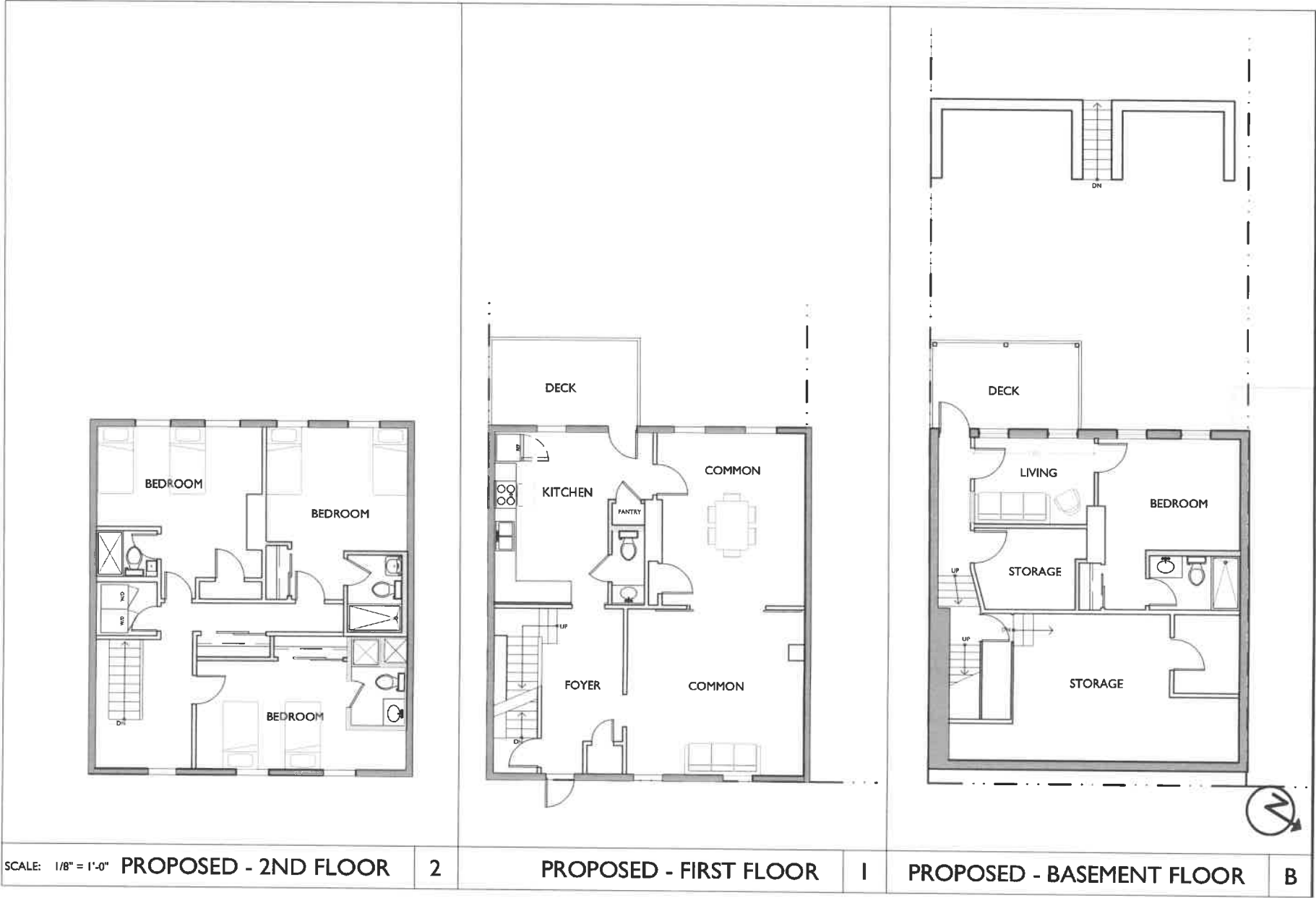


RENOVATIONS FOR:
COURAGE TO CHANGE
141 GOETHE

PLATTE
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1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
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EXHIBIT E



RENOVATIONS/ADDITIONS/NEW BUILDING FOR:
COURAGE TO CHANGE
141 GOETHE ST.
10.14.2020
A1.0

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WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829

ARCHITECT

PLATTE ARCHITECTURE + DESIGN
1810 CAMPBELL ALLEY, SUITE 300
CINCINNATI, OH 45202
(513) 871-1850

HAVING THE COURAGE TO CHANGE NEW BUILDING

213-219 GOETHE STREET
CINCINNATI, OH 45202



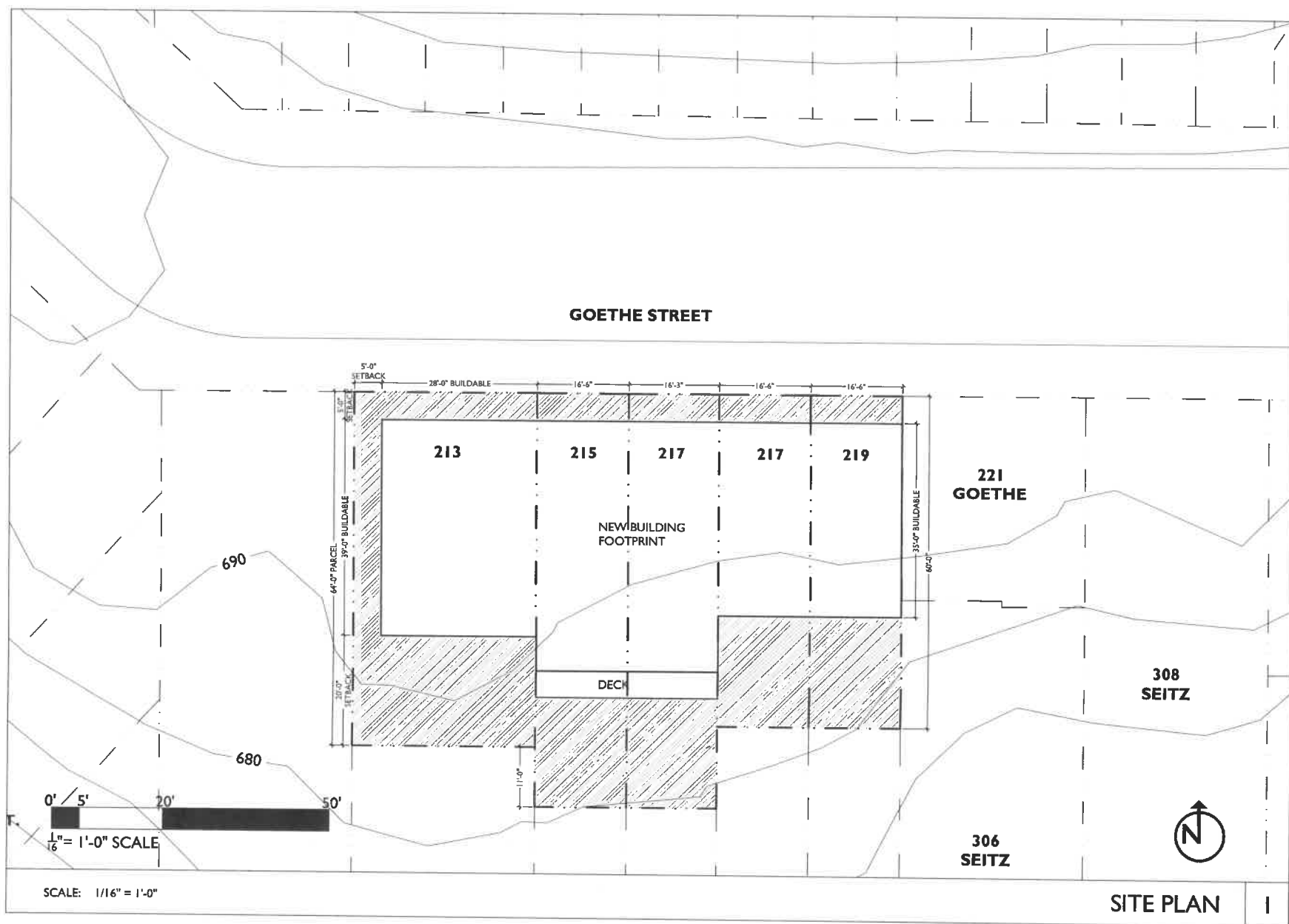
SHEET LIST

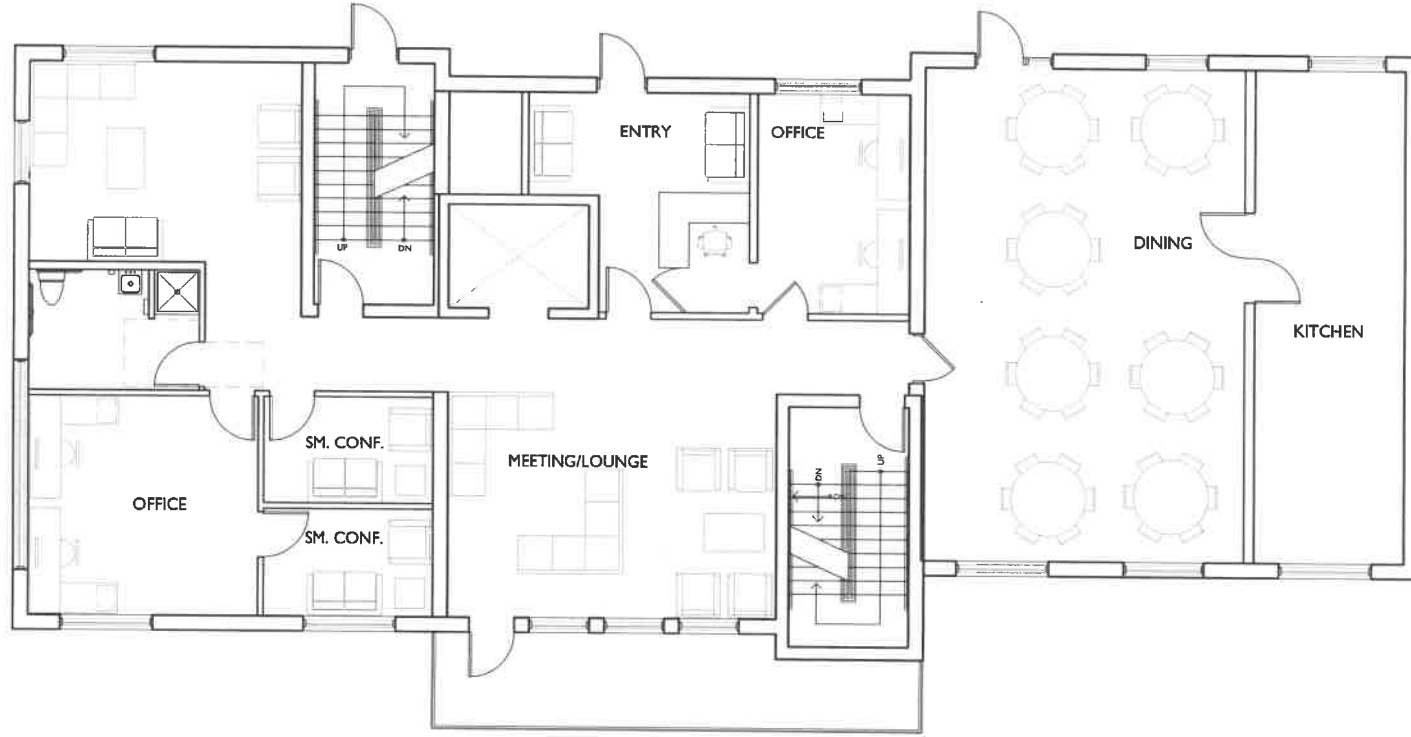
ARCHITECTURAL	
A0.00	COVER SHEET
A0.01	ENLARGED SITE PLAN
A1.0	BASEMENT FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A2.0	NORTH ELEVATION
A2.1	SOUTH ELEVATION

PLATTE
architecture + design

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WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829

NEW BUILDING FOR:
HAVING THE COURAGE TO CHANGE
213-219 GOETHE ST.
2.3.2020
A0.00





SCALE: 1/8" = 1'-0"

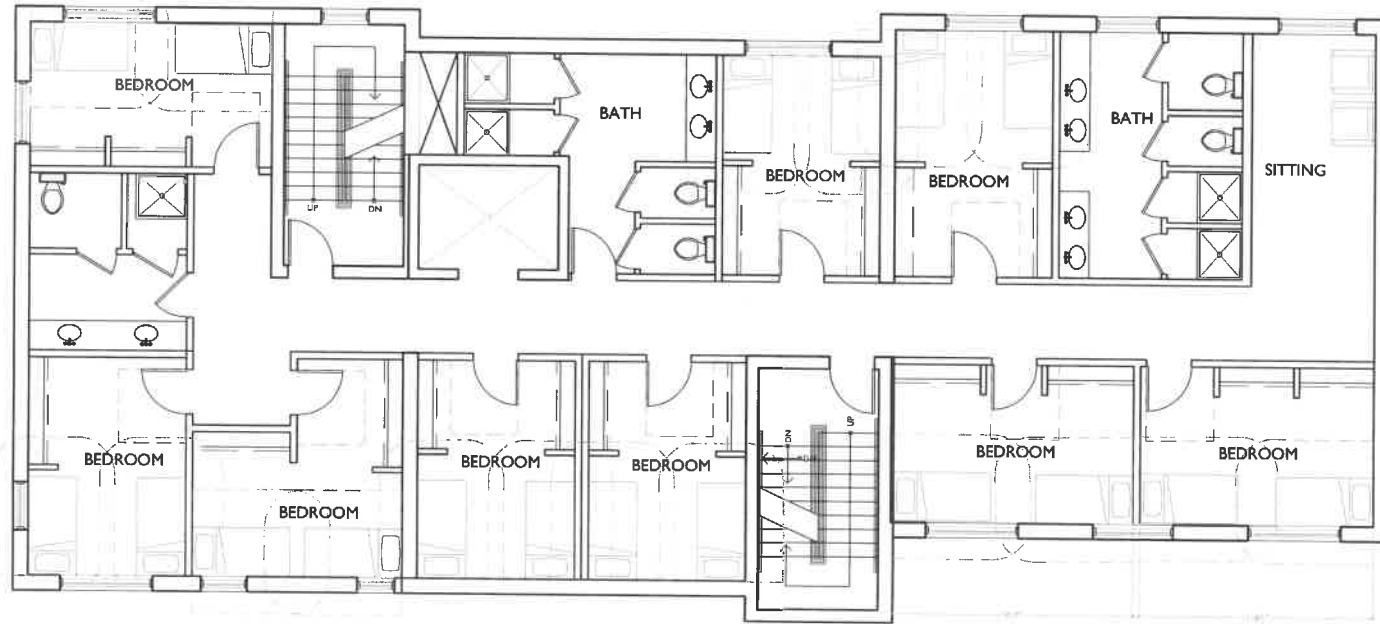
FIRST FLOOR PLAN

1

NEW BUILDING FOR:
Courage to Change
 211-219 GOETHE STREET
 2.18.2021
AI.II

PLATTE
 architecture + design

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SCALE: 1/8" = 1'-0"

SECOND + THIRD FLOOR PLAN

I

NEW BUILDING FOR:
Courage to Change
 211-219 GOETHE STREET
 2.18.2021
AI.12

PLATTE
 architecture + design

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 WWW.PLATTEDESIGN.COM | T: 513.871.1859 | F: 513.871.1829

Having the Courage to Change

City Gospel Mission
211-219 Goethe Street



211-219 Goethe Street - 2003

Owned and Operated by City Gospel Mission | Demolished after 2003



211-219 Goethe Street - Proposed

New building

EXHIBIT G









PLATTE

architecture + design

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To Whom it may Concern,

The below information is in regard to the proposed building at 211-219 Goethe Street in the Hillside Overlay District. The building would be a new facility for the first three phases of the *Having the Courage to Change*, an all women recovery network affiliated with City Gospel Mission. The proposed building, in an SF-2 zoned district, would be one building, that looks like three townhouses. The building is proposed to house up to 36 participants, as well as offices for staff, classrooms, and a large communal kitchen and dining room.

- Maximum Building Envelope according to 1433-17, and identify any proposed variances from it in the design –
 - *HS Rear Yard Setback.* Average rear yard setback of abutting structures on both sides; or the required rear yard setback of the underlying district if no abutting structure(s) exists. – **There are no adjacent structures. Rear yard setback is to be determined by SF-2. 20'-0"**
 - *The proposed building maintains the 20'-0" minimum rear yard setback. No exceptions are needed.*
 - *HS Side Yard Setback.* Average side yard setback of abutting structures on both sides; or the required least width side yard setback of the underlying district if no abutting structure(s) exists. – **There are no adjacent structures. Side yard setback is to be determined by SF-2. 0'15"**
 - *The proposed building maintains the minimum 0'15" side yard setbacks.*
 - *HS Front Yard Setback.* Average front yard setback of abutting structures on both sides; or the required front yard setback of the underlying district if no abutting structure(s) exists. – **There are no adjacent structures. Front yard setback is to be determined by SF-2. 5'-0"**
 - *The proposed building maintains the 5'-0" minimum front yard setback.*
 - *HS Height of Front.* Maximum height of the front of the structure; either the maximum height of the underlying zoning district or the average height of the front of abutting structures having the same street frontage as measured from the finished grade of the front of each abutting structure, whichever is greater. – **There are no adjacent structures. Maximum height is to be determined by SF-2. 35'-0"**

- *The maximum height of the proposed front of the building will not exceed the 35'-0" Maximum height.*
 - *HS Height of Rear.* Maximum height of the rear of the structure; either the maximum height of the underlying zoning district or the average height of the rear of abutting structures having the same street frontage as measured from the average grade, whichever is greater. – ***There are no adjacent structures. Maximum height is to be determined by SF-2. 35'-0"***
 - *The proposed rear of the building currently exceeds the maximum 35'-0" height limitation by 10'-0" and would require a variance to proceed with the current design.*
 - The maximum building envelope is the solid defined by vertical planes constructed at the HS rear, side and front yard setbacks and the plane between the HS height of front and the HS height of rear. – ***The maximum building envelope is not to exceed 135,957.50 cubic feet.***
 - *The proposed building envelope is 145,372.5 cubic feet and would exceed the maximum 135,957.50' cubic feet building envelope and would require a variance to proceed with the current design.*
- Demonstrate the Cumulative excavation and fill on the site, the existing proposed grades
 - **Excavation would be ~ 738.2 Cubic Feet/ 27.34 Cubic Yards. The excavation would be used to create relatively flat grades at the immediate rear side of the building.**
- Demonstrate and proposed retaining wall heights.
 - **Due to the sloping grade of the site, both from front to back and side to side, the proposed retaining wall heights would range from 1'-0" to 8'-0".**

Thank you for your time and review of the project at 211-219 Goethe Street, Cincinnati, OH 45202.

Kurt Platte
Architect + Owner
Platte Architecture + Design



Alt & Witzig Engineering, Inc.

6205 Schumacher Park Drive • West Chester, Ohio 45069

Phone: (513) 777-9890 • www.altwitzig.com

January 13, 2021

Platte Architecture + Design
1810 Campbell Alley, Suite 300
Cincinnati, Ohio 45202
Attn: Mr. Kurt Platte

RE: Subsurface Investigation &
Geotechnical Recommendations
Goethe Building
213-219 Goethe Street
Cincinnati, Ohio
Alt & Witzig File: 20CN0370

In compliance with your request, Alt & Witzig Engineering has completed a subsurface investigation for the above referenced project. The purpose of this subsurface investigation was to determine the various soil profile components and soil engineering characteristics for use to offer guidance on the design and construction for the new 3-story structure. The location of the borings are shown in Figure 1 below.

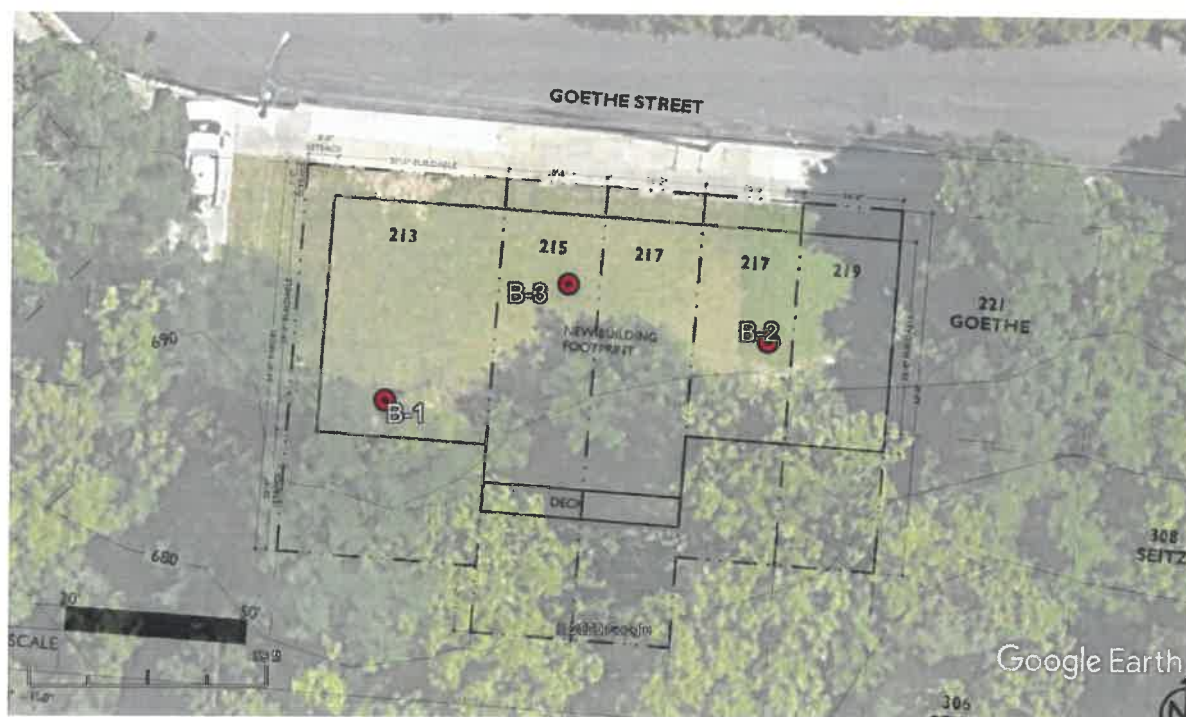


Figure 1: Boring Locations

Site Location/Description

The site is located at 213 through 219 Goethe Street in Cincinnati, Ohio. The approximate location of the site is shown on the enclosed *Site Location Map* presented in the appendix of the report.

The property consists of greenspace and wooded terrain towards the southern end of the property. A former structure occupied the site but was demolished in 2009. The site is relatively flat towards Goethe Street but starts sloping downwards from north to south towards Seitz Street at the rear of the property. The elevations across the proposed building pad vary from approximately 696 to 685 sloping north to south. However, the site continues to slope downward beyond the property towards Seitz Street from approximate elevations 685 to 650. The slope varies in inclination between 2.5 (H:V) and 1.5 (H:V).

The new structure will be 3-stories in height with a walkout basement to the south. However, the finished floor elevation has not been established at this time. Once a grading plan is developed, it should be provided to Alt & Witzig Engineering for review and to confirm the recommendations provided in the report.

General Soil Conditions

The borings encountered 2.0 to 3.0 inches of topsoil. Beneath the surface materials, existing fill soils were encountered. Possible fill soils were encountered in boring B-1 to approximately 1.5 feet and existing fill soils were encountered in borings B-2 and B-3 to approximately 7.5 feet. The existing fill soils encountered in borings B-2 and B-3 consisted of dark brown and brown clay with varying amounts of construction debris (brick, asphalt, concrete). Beneath the possible fill soils in boring B-1, native brown clay with varying amounts of limestone was encountered. Brown/gray weathered shale bedrock was encountered in the borings between 6.0 and 7.5 feet below the existing ground surface. Auger refusal on the shale bedrock was encountered at approximately 16.0 feet in each of the borings.

Site Preparation

At no time should any spoils be placed upon the existing slope without the approval of the soil engineer. All spoils should be removed to reduce the risk of over-loading the slope inducing failure. Any changes in conditions such as cuts in the slope, redirected drainage patterns, and construction activities will have a direct influence on the performance of the slope. It will be necessary to use proper erosion control methods (temporary and permanent). All drainage such as roof drains, road drains, and sump pumps should be channeled to the side property line. Erosion control such as riprap protection at the end of the downspouts and sump pump lines should be considered.

Foundation Recommendations

Due to the sloping nature south of the property, a drilled pier foundation system will be required to support the structure. Drilled piers should have a minimum diameter of 24 inches, a minimum length of 10 feet, and a minimum socket of 5 feet into the brown and gray weathered shale. A net allowable bearing pressure of 15,000 psf can be utilized to design the drilled piers. Piers must be reinforced with full length reinforcement cages to account for the lateral pressures of the slope. Prior to placement of concrete, the material from the bottom of the caisson should be inspected by a representative of Alt & Witzig Engineering. This inspection is to verify that each caisson is being founded on adequate bearing materials and drilled to the proper length. **Lateral pressures can be finalized once further development plans are generated. A slope stability analysis of the proposed conditions will be required to finalize the geotechnical recommendations and lateral design parameters.**

Seismic Parameters

An evaluation of the seismic site class has been performed for this site. The Ohio Building Code indicates that the seismic site class is determined by averaging soil conditions within the top 100 feet with respect to the shear wave velocity. This evaluation is based on data obtained on soil to termination of the borings and knowledge of soils in the area. Based on the field and laboratory tests performed on the encountered subsurface materials to boring termination, this site should be considered a Site Class B in accordance with the current Ohio Building Code. Seismic acceleration parameters of $S_s=0.145g$ and $S_1=0.077g$ can be utilized for design, assuming the building has risk category of 1, 2, or 3.

Lateral Earth Pressures on Basement Walls

The new structure will include below grade walls for the walkout basement. The basement walls must be designed to resist the lateral earth pressures applied by the soils on the exterior of the residence. The sidewalls of the home can be designed as a pinned connection at the top and bottom of the wall. However, the northern basement wall (front) should be designed being pinned at the base and not pinned at the top. This is due to the lack of reaction force (backfill) on the southern end of the residence due to the walkout basement.

Eighteen (18) inches or more of a well graded granular fill between natural soils and the walls. The backfill material should be clean sand and gravel containing less than 12 percent fines by weight. To minimize the potential of precipitation entering into this system, it is recommended that a cohesive clay cap be constructed from the surface to 18 inches below final grade.

Assuming the unit weight of the backfill is 120 pcf, a $k_o = 0.50$ would correspond to an equivalent fluid pressure of 60 pcf per foot of wall height. This equivalent fluid pressure would increase linearly from 0 psf at ground surface to a maximum at the bottom of the basement. The above pressures are applicable during a fully drained condition.

If loads such as parking, floor slab or footing loads are placed adjacent to the walls, then the structural design of the walls must include these surcharge loads in addition to the lateral earth pressure.

A permanent subsurface drainage system should be installed around the perimeter of the basement. The perimeter drainage system should consist of a 4-inch perforated drain tile placed adjacent to the footings for the basements. Twelve (12) inches of clean gravel must be placed around the drain tile. The fill material placed adjacent to the basement walls should be a free draining granular fill material. Gravity drainage is the most cost-efficient method of removing groundwater, however, if the perimeter drain system cannot have a gravity outlet, a sump pit should be installed to capture and remove water collected with the drain. All basement areas should be waterproofed to minimize potential seepage of groundwater into the basement area.

The recommendations provided herein were based on our understanding of the project and the results of field and laboratory testing. If we can give further service in these matters, please contact us at your convenience.

Respectfully Submitted,
ALT & WITZIG ENGINEERING, INC.

Kyle Spoelker

Kyle Spoelker, P.E.
Project Engineer

Dustin Horn

Dustin M. Horn, P.E.
Principal Engineer



APPENDIX

RECOMMENDED SPECIFICATIONS FOR COMPACTED FILLS AND BACKFILLS

All fill shall be formed from material free of vegetable matter, rubbish, large rock, and other deleterious material. Prior to placement of fill, a sample of the proposed fill material should be submitted to the soil engineer for his approval. The fill material should be placed in layers not to exceed eight (8) inches in loose thickness and should be sprinkled with water as required to secure specified compactions. Each layer should be uniformly compacted by means of suitable equipment of the type required by the materials composing the fill. Under no circumstances should a bulldozer or similar tracked vehicles be used as compacting equipment. Material containing an excess of water so the specified compaction limits cannot be attained should be spread and dried to a moisture content that will permit proper compaction. All structural fill should be compacted to 98% of the maximum density obtained in accordance with ASTM density Test D-698. Should the results of the in-place density tests indicate that the specified compaction limits are not obtained, the areas represented by such tests should be reworked and retested as required until the specified limits are reached.

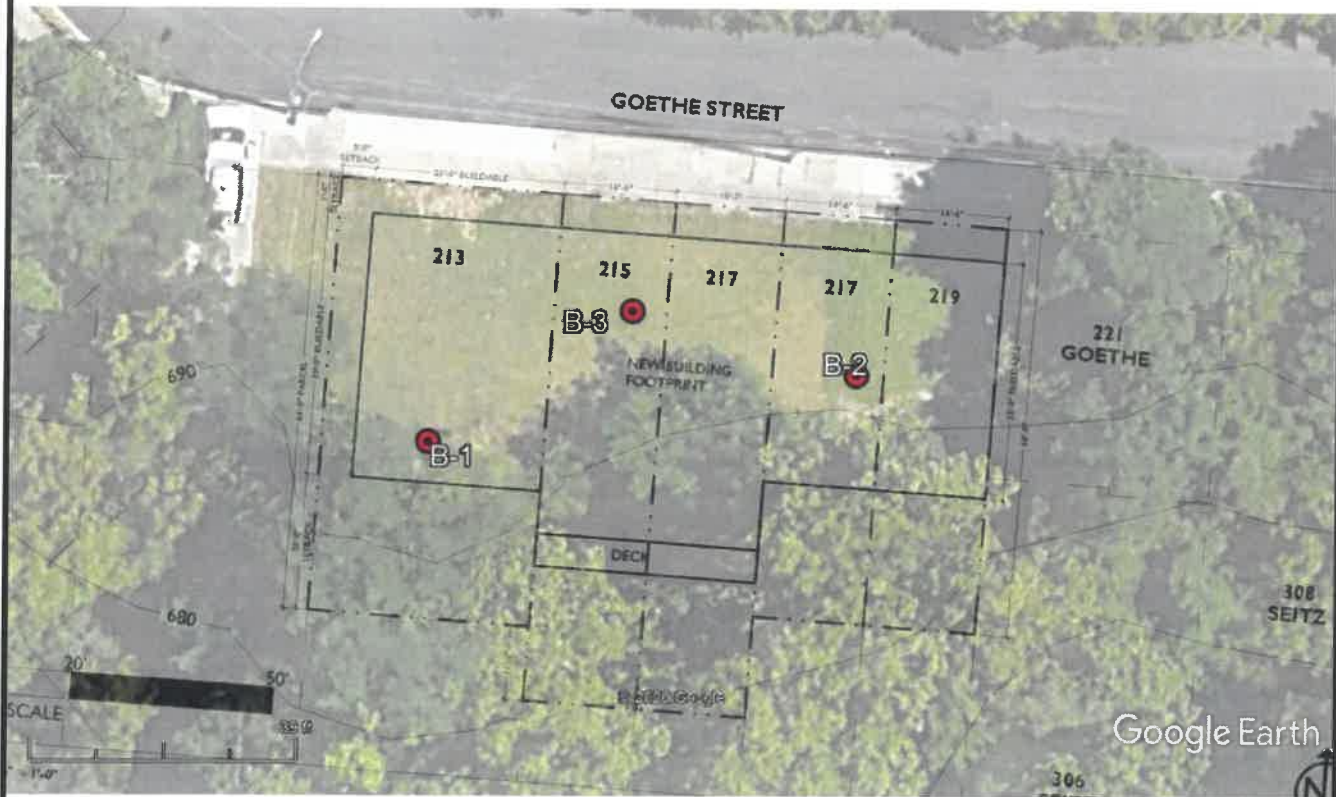
SITE LOCATION MAP



PROJECT: 213-219 Goethe Building
LOCATION: Cincinnati, Ohio
CLIENT: Platte Architecture + Design
Alt & Witzig Engineering File No.: 20CN0370

AW Alt & Witzig Engineering, Inc.
6205 Schumacher Park Drive
Cincinnati, OH 45069
TEL (513) 777-9890 • FAX (513) 777-9070
www.altwitzig.com

BORING LOCATION MAP



PROJECT: 213-219 Goethe Building
LOCATION: Cincinnati, Ohio
CLIENT: Platte Architecture + Design
Alt & Witzig Engineering File No.: 20CN0370

Alt & Witzig Engineering, Inc.
 6205 Schumacher Park Drive
 Cincinnati, OH 45069
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BORING LOG

Alt & Witzig Engineering, Inc.

CLIENT **Platte Architecture + Design**

BORING # **B-1**

PROJECT NAME **Goethe Building**

ALT & WITZIG FILE # **20CN0370**

PROJECT LOCATION **Cincinnati, Ohio**

DRILLING and SAMPLING INFORMATION

Date Started **1/7/21** Hammer Wt. **140** lbs.

Date Completed **1/7/21** Hammer Drop **30** in.

Boring Method **HSA** Spoon Sampler OD **2** in.

Driller **J. Roark** Rig Type **D-50 Track ATV**

TEST DATA

STRATA ELEV.	SOIL CLASSIFICATION	Strata Depth	Depth Scale	Sample No.	Sample Type	Sampler Graphics Recovery Graphics	Ground Water	Standard Penetration Test, N - blows/foot	Qu-1sf Unconfined Compressive Strength	PP-1sf Pocket Penetrometer	Moisture Content % Dry Unit Weight (pcf)	Remarks
	TOPSOIL 3.0"	0.3										
	Brown Silty CLAY with Organics (Possible Fill)	1.5										
				1	SS			50/3		4.5	9.3	
	Brown CLAY with Limestone Cobble											
			5	2	SS			50/4				
		6.0										
	Brown Weathered Shale with Limestone Cobble			3	SS			77		4.5	14.9	
		10.0										
	Brown/Gray Weathered Shale with Limestone Cobble		10	4	SS			63		4.5	13.3	
		14.5		5	SS			50/5		4.5		
	Gray Weathered Shale	16.0	15									
	Auger Refusal @ 16.0' End of Boring at 16 feet											

Sample Type

SS - Driven Split Spoon
ST - Pressed Shelby Tube
CA - Continuous Flight Auger
RC - Rock Core
CU - Cuttings
CT - Continuous Tube

Groundwater

○ During Drilling Dry ft.
▽ At Completion Dry ft.

Boring Method

HSA - Hollow Stem Augers
CFA - Continuous Flight Augers
DC - Driving Casing
MD - Mud Drilling



BORING LOG

Alt & Witzig Engineering, Inc.

CLIENT **Platte Architecture + Design**

BORING # **B-2**

PROJECT NAME **Goethe Building**

ALT & WITZIG FILE # **20CN0370**

PROJECT LOCATION **Cincinnati, Ohio**

DRILLING and SAMPLING INFORMATION

Date Started **1/7/21** Hammer Wt. **140** lbs.

Date Completed **1/7/21** Hammer Drop **30** in.

Boring Method **HSA** Spoon Sampler OD **2** in.

Driller **J. Roark** Rig Type **D-50 Track ATV**

TEST DATA

STRATA ELEV.	SOIL CLASSIFICATION SURFACE ELEVATION	Strata Depth	Depth Scale	Sample No.	Sample Type Sampler Graphics Recovery Graphics	Ground Water	Standard Penetration Test, N - blows/foot	Qu-tsif Unconfined Compressive Strength	PP-tsif Pocket Penetrometer	Moisture Content % Dry Unit Weight (pcf)	Remarks
	TOPSOIL 2.0"	0.2									
	Dark Brown CLAY with Organics, Brick, Concrete (FILL)			1	SS		18		2.0	24.2	
			5	2	SS		12				
		7.5		3	SS		29		4.5	9.8	
	Brown Weathered Shale with Limestone Cobble		10	4	SS		83		4.5	9.8	
		13.5									
	Brown/Gray Weathered Shale		15	5	SS		50/4				
	Auger Refusal @ 16.0' End of Boring at 16 feet	16.0									

Sample Type

SS - Driven Split Spoon
ST - Pressed Shelby Tube
CA - Continuous Flight Auger
RC - Rock Core
CU - Cuttings
CT - Continuous Tube

Groundwater

○ During Drilling Dry ft.
▽ At Completion Dry ft.

Boring Method

HSA - Hollow Stem Augers
CFA - Continuous Flight Augers
DC - Driving Casing
MD - Mud Drilling



BORING LOG

Alt & Witzig Engineering, Inc.

CLIENT **Platte Architecture + Design**

BORING # **B-3**

PROJECT NAME **Goethe Building**

ALT & WITZIG FILE # **20CN0370**

PROJECT LOCATION **Cincinnati, Ohio**

DRILLING and SAMPLING INFORMATION

Date Started **1/7/21** Hammer Wt. **140** lbs.

Date Completed **1/7/21** Hammer Drop **30** in.

Boring Method **HSA** Spoon Sampler OD **2** in.

Driller **J. Roark** Rig Type **D-50 Track ATV**

TEST DATA

STRATA ELEV.	SOIL CLASSIFICATION SURFACE ELEVATION	Strata Depth	Depth Scale	Sample No.	Sample Type	Sampler Graphics Recovery Graphics	Ground Water	Standard Penetration Test, N - blows/foot	Qu-tsif Unconfined Compressive Strength	PP-tsif Pocket Penetrometer	Moisture Content % Dry Unit Weight (pcf)	Remarks
	TOPSOIL 2.0"	0.2										
				1	SS			21				
	Brown CLAY with Limestone Cobble, Concrete, Asphalt, Brick (FILL)		5	2	SS			20				
		7.5		3	SS			35		4.5	12.1	
			10	4	SS			50/5		4.5	12.9	
	Brown Weathered Shale			5	SS			50/3		4.5	11.6	
		15.5	15	6	SS			81		4.5	12.3	
	Brown/Gray Weathered Shale Auger Refusal @ 16.0' End of Boring at 16 feet	16.0										

Sample Type

SS - Driven Split Spoon
ST - Pressed Shelby Tube
CA - Continuous Flight Auger
RC - Rock Core
CU - Cuttings
CT - Continuous Tube

Groundwater

○ During Drilling Dry ft.
⚡ At Completion Dry ft.

Boring Method

HSA - Hollow Stem Augers
CFA - Continuous Flight Augers
DC - Driving Casing
MD - Mud Drilling

GENERAL NOTES

SAMPLE IDENTIFICATION

The Unified Soil Classification System is used to identify the soil unless otherwise noted.

SOIL PROPERTY SYMBOLS

- N: Standard "N" penetration: Blows per foot of a 140 pound hammer falling 30 inches on a 2 inch O.D. split-spoon.
- Qu: Unconfined compressive strength, TSF
- Qp: Penetrometer value, unconfined compressive strength, TSF
- Mc: Water content, %
- LL: Liquid limit, %
- PL: Plastic limit, %
- Dd: Natural dry density, PCF
- : Apparent groundwater level at time noted after completion

DRILLING AND SAMPLING SYMBOLS

- SS: Split-spoon - 1 3/8" I.D., 2" O.D., except where noted
- ST: Shelby tube - 3" O.D., except where noted
- AU: Auger sample
- DB: Diamond bit
- CB: Carbide bit
- WS: Washed sample

RELATIVE DENSITY AND CONSISTENCY CLASSIFICATION

<u>TERM (NON-COHESIVE SOILS)</u>	<u>BLOWS PER FOOT</u>
Very loose	0 - 4
Loose	5 - 10
Firm	11 - 30
Dense	31 - 50
Very Dense	Over 50

<u>TERM (COHESIVE SOILS)</u>	<u>Qu (TSF)</u>
Very soft	0 - 0.25
Soft	0.25 - 0.50
Medium	0.50 - 1.00
Stiff	1.00 - 2.00
Very Stiff	2.00 - 4.00
Hard	4.00+

PARTICLE SIZE

Boulders	8 in.(+)	Coarse Sand	5 mm-0.6 mm	Silt	0.075 mm - 0.005 mm
Cobbles	8 in. - 3 in.	Medium Sand	0.6mm-0.2 mm	Clay	0.005mm(-)
Gravel	3 in. - 5 mm	Fine Sand	0.2mm-0.075 mm		



February 22, 2021

To: Katherine Keough-Jurs, Director of City Planning

From: Art Dahlberg, Director of Buildings and Inspections

Subject: Notwithstanding Ordinance Application 127-129, 131, 141, and 211-219
Goethe Street

This memorandum serves as an analysis of the zoning relief required for the proposed renovation and new construction at 127-129, 131, 141, and 211-219 Goethe Street. The proposed work is intended to improve and expand the existing transitional housing recovery network located on Goethe Street, Having Courage to Change, affiliated with City Gospel Mission.

Existing Conditions:

The subject property is comprised of four different sites on Goethe Street. Three of the sites have existing structures that currently contain a total of six units and 35 beds, and one site is a vacant parcel.

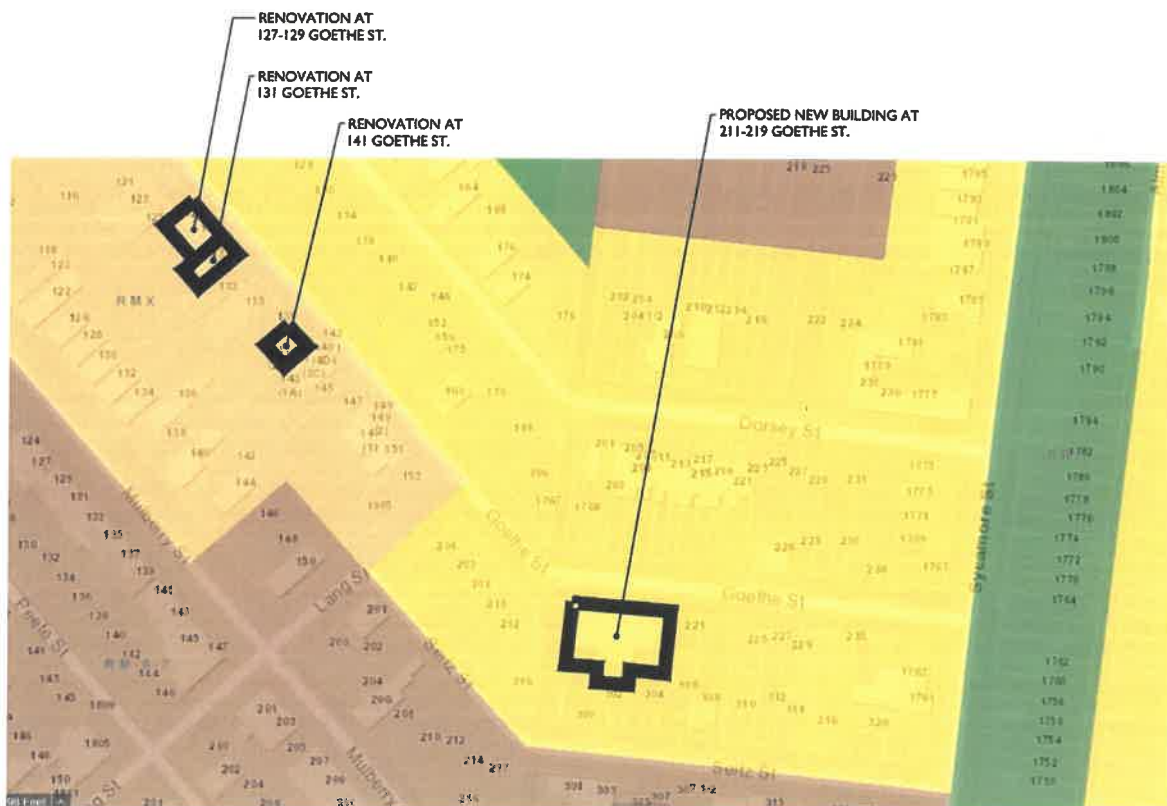
The three existing structures are zoned RMX and in the hillside overlay. The surrounding zoning of these three sites is single family to the north and RMX to the south. The vacant site is zoned SF-2 and is also in the hillside overlay. The surrounding zoning for the vacant site is single family on all four sides.

The surrounding existing land uses along Goethe Street are single family homes with several new single family homes built recently. The topography for all four sites slopes downward from the street towards the rear of each parcel with a slope of approximately 25%.

Please see the following images on the next page with the subject properties highlighted.



Aerial showing subject property outlined in red. Four separate properties on the south side of Goethe Street. Sycamore Street is on the right side of the aerial.



Zoning map showing subject properties outlined in black. Four separate properties on the south side of Goethe Street.

Details of Zoning Relief Required and Analysis for each site

The properties are located within the Hillside Overlay District. For the existing buildings at 127-129, 131, and 141 Goethe Street, the proposed renovations do not expand the existing footprint or height of the building, nor do any grading, and as such the proposed renovations meet the Hillside Base Development Requirements of 1433-19. For the proposed new construction at 211-219 Goethe Street, a geotechnical evaluation was prepared by Alt & Witzig Engineering Inc. and is provided in the application materials. The technical review of the Hillside Standards will occur during the building permit review, once foundation and retaining wall designs have been finalized. The Hillside analysis included in this memorandum is approximate and based on the available information.

The provided plans are schematic in nature, and elements such as refuse storage and fencing are not illustrated and no analysis could be completed to determine if they meet the Zoning Code or will require relief.

127 – 129 Goethe – Existing structure - Zoned RMX and Hillside Overlay

Section 1405-05 - Use variance from the RMX zoning district's permitted land uses to allow a transitional housing use (T 5 and/or T 6) in the RMX zone as a principal use. Transitional housing is permitted as an accessory use to a public or semi-public use, but the RMX zoning district prohibits transitional housing as a principal use. Currently, the parcel is a four unit structure with 12 beds within a three story 5,000 SF building. RMX zoning only permits up to three dwelling units per building, and six units of transitional housing with seven beds are proposed.

The proposal formalizes the permission for the existing transitional housing use as a principal use and permits the proposed renovation of the structure into a six unit structure with seven beds. This is an increase of two additional units, but a decrease in beds. The reconfigured units customize the space into a more useful configuration which aligns with the applicant's mission.

Section 1425-19 part A - Parking variance of two spaces based on the one space per facility plus one space per eight beds. Based on the proposed seven beds, a total of two spaces would be required and zero spaces are provided. The parking variance formalizes the existing situation of using on-street parking for residents.

The subject property contains two separate addresses and two separate parcels. Consolidation of two existing parcels into one parcel so the structure does not straddle a parcel line, or another approved means which satisfies building code requirements, will be required so one of the parcels does not get sold independently of the other parcel.



Street view of 127- 129 Goethe Street, the red brick building.

131 Goethe – Existing structure - Zoned RMX and Hillside Overlay

Section 1405-05 - Use variance from the RMX zoning district's permitted land uses to allow a transitional housing use (T 5 and/or T 6) in the RMX zone as a principal use. Transitional housing is permitted as an accessory use to a public or semi-public use, but the RMX zoning district prohibits transitional housing as a principal use. Currently, the parcel is a one unit structure with 16 beds within a four story 4,000 SF building. RMX zoning only permits up to three dwelling units per building, and five units with five beds are proposed.

The proposal formalizes the permission for the existing transitional housing use as the principal use, and permits the proposed renovation of the structure into five units and five beds. This is an increase of four additional units but a decrease in beds. The reconfigured units customize the space into a more useful configuration which aligns with the applicant's mission.

Section 1425-19 part A - Parking variance of two spaces based on the one space per facility plus one space per eight beds. Based on the five beds, a total of two spaces would be required and zero spaces are provided. The parking variance formalizes the existing situation of using on-street parking for residents.



Street view of 131 Goethe Street, the yellow brick building.

141 Goethe – Existing structure - Zoned RMX and Hillside Overlay

Section 1405-05 - Use variance from the RMX zoning district's permitted land uses to allow a transitional housing use (T 5 and/or T 6) in the RMX zone as a principal use. Transitional housing is permitted as an accessory use to a public or semi-public use, but the RMX zoning district prohibits transitional housing as a principal use. Currently, the parcel is a one unit structure with seven beds within a three story 2,500 SF building.

The proposal formalizes the permission for the existing transitional housing use as a principal use and permits the proposed renovation of the structure as one unit and seven beds. This does not increase the number of units or beds. The current parcel is one parcel totaling 29' x 100' = 2,900 SF and conforms to the RMX lot size requirement to have one unit on the parcel.

Section 1425-19 part A - Parking variance of two spaces based on the one space per facility plus one space per eight beds. Based on the seven beds, a total of two spaces would be required and zero spaces are provided. The parking variance formalizes the existing situation of using on-street parking for residents.



Street view of 141 Goethe Street.

211- 219 Goethe - Vacant parcel - Zoned SF-2 and Hillside Overlay

Section 1403-05 – Use variance from the SF-2 zoning district's permitted land uses to allow a transitional housing use (T 5 and/or T 6) in the SF-2 single family zone. Single family zoning districts prohibit transitional housing. The proposed transitional housing facility has 36 beds within 18 bedrooms, 7 bathrooms, a kitchen and dining area, meeting rooms, lounge area, library, gym and offices.

Section 1425-19 part A – Parking variance of five spaces based on the one space per facility plus one space per eight beds. Based on the 36 beds, a total of five spaces would be required and zero spaces are provided.

Hillside Review is required for the following items:

Section 1433-17 part A – Rear Setback Variance of approximately 15' to allow a rear setback of approximately five feet to a deck that extends out from the building façade at the first floor.

Section 1433-17 part D and E – Height Variance of approximately 3' at the mid-point of the roof. Height is measured from the existing grade at the front façade (696 ASL) and rear façade (685 ASL) and has a 35' limit at those two points with a line struck between those two points that is the top of the building envelope. Based on the existing grades noted, the top of the building envelope slopes between approximately 720 ASL at the rear

façade up to approximately 731 ASL at the front facade. The roof at the rear façade is at approximately 726 ASL and at the front is approximately 731 ASL with the mid-point of the roof being approximately 728 ASL. The difference between the top of the envelope and the mid-point of the sloped roof is approximately three feet (top of envelope at mid-point location is approximately 725 ASL). The height at the front façade appears conforming to the 35' height limit.

Section 1433-19 part G – Cut/Excavation Variance of approximately 7' to allow a 15' cut from the existing grade of approximately 696 ASL at the front façade to the bottom of the footer at approximately 683 ASL. This is at the front façade location which is the largest amount of cut. Overall, the cut ranges from about two or three feet at the rear façade to the 15' cut at the front façade. The rear of the footprint does not need any fill.

Please note, the drawings provided are schematic and a geotechnical analysis was prepared in January. Final foundation designs and retaining walls will be developed in accordance with the recommendations of the geotechnical report. The relief identified above is approximate, and may vary with the final foundation and retaining wall design.

Hillside Review Analysis

Section 1433-19 Base Hillside Development Requirements and 1433-23 Hillside Development Standards.

Consideration of the following standards is required to ensure harmonious relationships with adjacent buildings and the hillside environment as noted in the hillside overlay code. The following analysis is regarding the proposed new 14,000 SF four story structure at 211-219 Goethe Street.

- (a) Avoid cuts in the hillside if they would leave cliff-like vertical slopes and excessively high retaining walls.

Any redevelopment on the site would most likely require a cut/fill variance due to the 25% slopes, which is a steep slope. The design minimizes the cut needed to provide a basement level which is by default a part of the foundation. This is an appropriate design to stabilize the hill.

- (b) Design buildings to fit into the hillside rather than altering the hillside to fit the buildings.

The proposed location of the structure is below the brow of the hill and built into the hillside and up against the existing street. The 25% slope requires that any structure proposed on this lot would require a cut/fill variance. There is a slight stepping effect as far as height of the structure with the sloped roof and with the deck on the rear.

- (c) Hillside development should be designed to minimize excavation required for foundations, parking and access drives.

The proposed building's schematic design minimizes the fills/cuts at any one location and is an appropriate design to stabilize the street and hill by having the building abut the street right of way and the sidewalk along Goethe Street.

Foundation and retaining wall designs are still being developed. There is no parking on the site and thus no impact on the hillside due to parking.

- (d) Maintain a clear sense of the hillside brow by locating buildings back from the brow of the hill.

This standard is met by the location of the proposed structure abutting the Goethe Street right of way and the proposed setbacks.

The proposed building conforms to the building height/building envelope at the street, but exceeds the building envelope's height limit at the mid-point of the roof by approximately three feet. The three foot height variance is a result of a design without a full stepping of the mass of the building, but the roof does have a stepping effect due to the downward slope of the roof. The roof does in effect step slightly with the slope of the top of the building envelope. The approximately three foot variance is a reasonable request given the relatively shallow lot depth of approximately 65 feet. The shallow lot depth limits the depth of the building and thus limits the opportunity to fully step the building's massing. As a result of this, the upper floors match the footprint of the lowest level. The building's design has a central hallway parallel to the street on each floor with bedrooms or other rooms on both sides of the hallway, which is a very efficient design and maximizes the space available given the footprint. The 35' building depth is the least amount of dimension that would reasonably allow for this efficient design for all four floors.

The proposed building conforms to the building envelope on the front and both sides, but needs a rear setback variance of approximately 15 feet to allow a 5' rear setback to the deck. A cut variance of approximately seven feet at the front façade is proposed.

No retaining walls are shown on the drawings submitted, other than small landscaping walls around the patio. It is anticipated that any necessary retaining wall design will occur after the geotechnical report is developed, and this may increase the amount of excavation and fill required. The applicant has stated that retaining wall heights are not anticipated to exceed the permitted height of 8 ft.

The hillside overlay requires landscaping to promote hillside stability. A landscaping plan has not been submitted.

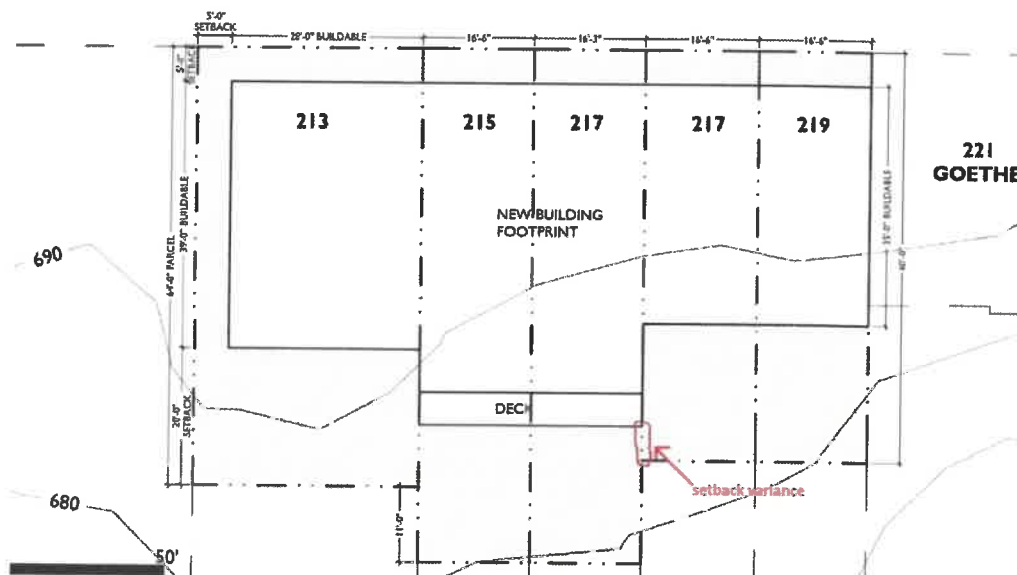
A geotechnical report was prepared by Alt & Witzig Engineering Inc. and is provided in the application materials. It should be noted that there was a building on this site until about 15 years ago, so the excavation for the proposed basement would most likely be removing fill soil that filled in the previous building's basement.

Overall, the proposed design is reasonable and substantially compatible with the hillside overlay goals given the size limits of the parcel and the topography.

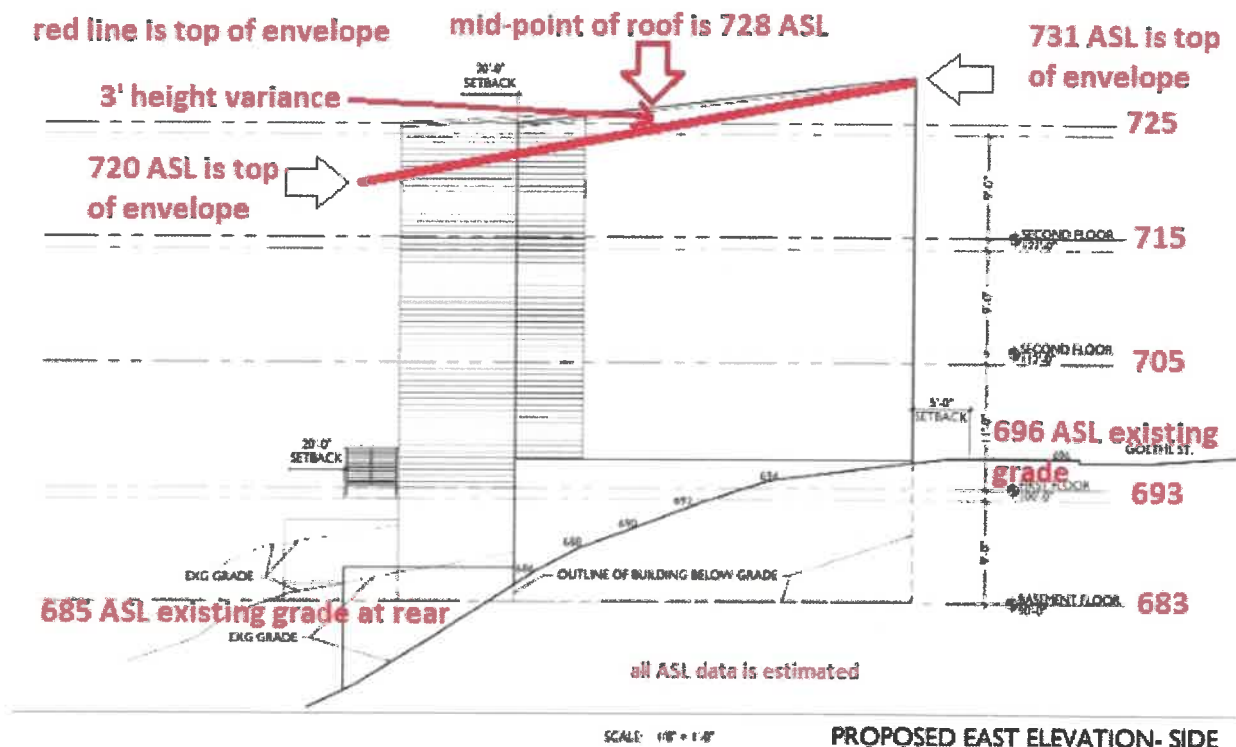


Google street view of 211 – 219 Goethe Street, showing existing condition of vacant lot.

GOETHE STREET



Proposed conceptual site plan. A rear setback variance is needed as noted in red.



Side section showing conceptual height, existing grades and top of building envelope shown as red line. A height variance of approximately three feet is noted at the mid-point of the roof and a cut variance of at least 7' from existing grade of 696 ASL to below the footer at approximately 683 ASL (15' total cut with 8' allowed = 7' variance).



Circa 2007 Google street view of 213 Goethe- showing a building on the site prior to it being demolished. The site has been vacant for 10 to 15 years.

Recommendation:

If the City Planning Commission decides to recommend approval of the Notwithstanding Ordinance, the City Planning Commission should consider including the following conditions:

- 1) The applicant will provide the following items for review in the building permit application:
 - a. A geotechnical report which addresses relative hillside stability and with recommendations for foundation design.
 - b. A landscaping plan showing plant installation to promote hillside stability.
 - c. Site and grading plan stamped by civil engineer or land surveyor showing existing and proposed grades, the proposed ASL (above sea level) data for the lowest floor and with ASL data also noted and correlated to the building section design; also information on trash dumpster location.
- 2) The Director of Buildings and Inspections will conduct a final review of the construction documents and geotechnical evaluation to ensure an appropriate factor of safety in the design. This review is intended to confirm that:
 - a. The structural design substantially conforms with the Hillside Development Standards of 1433-23 of the Zoning Code to ensure harmonious relationships with adjacent buildings and the hillside environment.
 - b. The design of the foundation, retaining walls and grading are consistent with the recommendations of the geotechnical report.

ENLARGE THE PLACE OF YOUR TENT

*Having the Courage to Change
Expansion 2019*



211-219 Goethe Street | Goethe Street Facade



PLATTE
architecture + design



PROPOSED
213-219 GOETHE STREET
 PHASE 0 INTAKE/ORIENTATION
 PHASE 1 STABILIZATION
 PHASE 2 RESTORATION



PROPOSED
141 GOETHE STREET
 PHASE 3 PREPARATION



PROPOSED
131 GOETHE STREET
 PHASE 4 TRANSITION



PROPOSED
127-129 GOETHE STREET
 PHASE 5 LIVING



SITE MAP

GOETHE STREET

SYCAMORE STREET

ENLARGE THE PLACE OF YOUR TENT

MISSION

*Enlarge the Place of Your Tent*¹, is an initiative to significantly improve the facilities of the City Gospel Mission Having the Courage to Change women's recovery program. The project entails renovating HTCTC's three aging buildings and construction of a new building to increase overall program capacity and create a campus more closely matched to the phases of program. Land for the new building is owned by City Gospel Mission. Total project cost including hardscape and furnishings is estimated at \$5,000,000.

VISION

To create a campus and community fully fitted to the transformational mission and structured program of Having the Courage to Change.

DESIGN

The project has been informed by four design objectives:

- Facilities and furnishings communicate to participants the value God sees in them. Jeremiah 29:11
- Floor plans facilitate "family" life and community. Psalm 68:6
- Campus in total provides a progression of living environments consistent with program phases. Colossians 1:28
- Exterior design and hardscape foster community and makes Goethe Street a great, diverse neighborhood in which to live. II Corinthians 2:15

CURRENT FACILITIES

Having the Courage to Change, currently serves 35 participants, in three buildings on Goethe Street which were built between 1865 and 1900 as family homes. While the buildings have been carefully stewarded by City Gospel Mission, they are beset by the following limitations:

- Multiple participants per room;
- Inadequate and outdated bathroom facilities;
- Inadequate rooms for classes, meetings and group counseling;
- Absence of welcome/reception space for prospective participants and participants' guests;
- Inability to signify the phased progression from intake to independent living.

EXPANSION FACILITIES

The improvements and expansion of the Having the Courage to Change campus will deliver the following benefits:

- Almost doubling capacity from 35 to 68 participants;
- Appropriate room occupancy and level of staff oversight appropriate to each phase of the program;
- Upgraded bathrooms scaled to the number of participants;
- Common areas more typical of family living and conducive to informal, supportive interactions among participants and volunteers;
- Adequate classroom and meeting needs;
- Adequate offices for staff and counseling sessions;
- A degree of physical separation for participants as they progress through program phases without losing the overall sense of community. Arrangements of the successive houses will signify a participant's graduation from phase to phase and progress toward individual responsibility and independent living.

The project takes its name from Isaiah 54:2

*"Enlarge the place of your tent, and let the curtains of your habitations be stretched out;
do not hold back; lengthen your cords and strengthen your stakes."*



***"I just want to thank everyone
who sowed into my life,"***

-recovery grad Charmayne.

In October 2018, Charmayne was one of 10 women along with 12 men who took the next step in their long journey of healing by taking part in our annual recovery program commencement. For most, it took over a year, and some took two years. They all kept the faith by setting a goal and reaching it. For Charmayne, it took multiple times leaving the program and returning. In 2018, her mother brought her back to the program from Arkansas because she knew City Gospel Mission was the only place where she was going to get her life back on track. While Charmayne was here, her mother and family pitched in to help look after her children. They were all there when she received the More Than A Conqueror Award, given to those in recovery who have shown exceptional progress.

*"I just want to thank everyone who sowed into my life.
I'm glad I can sow into my kids' lives now the way others have sowed into mine."*

211-219 GOETHE STREET | NEW CONSTRUCTION

Structural Community Living

Orientation Phase:

Participants are exposed to the essence of the program phases while learning the basics of spiritual growth, recovery, and informed decision making.

Phase 1| Stabilization:

Participants complete an assessment with a counselor while working toward an individualized holistic treatment plan. They continue to work on physical and mental health issues.

Phase 2| Restoration:

Participants learn tools to build a new life by attending core addiction therapeutic groups. They learn to identify and start the process of healing of unhealthy behaviors.

"Orientation"

will increase from 5 to 16 participants

Phase 1 "Stabilization"

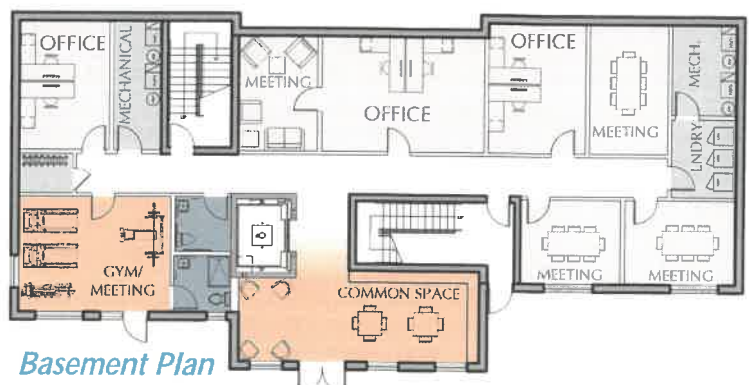
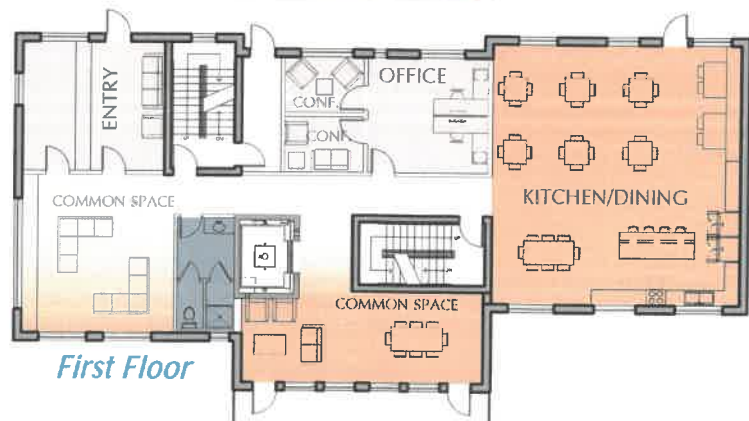
will increase from 6 to 16 participants

Phase 2 "Restoration"

will increase from 5 to 16 participants

KEY

- Bedroom
- Bathroom
- Common Space
- Meeting/Office Spaces
- Utility



141 GOETHE STREET | RENOVATION

Preparing Towards Independent Living

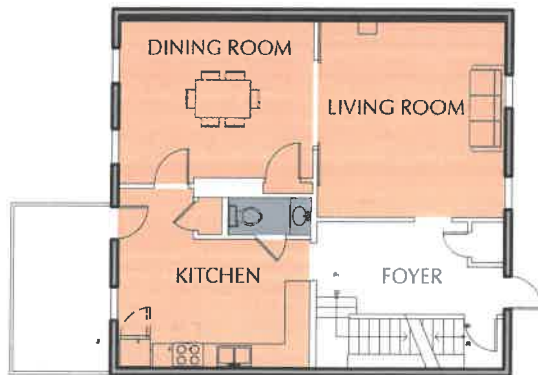
Second Floor



Phase 3| Preparation

Participants practice using tools to create new thoughts, emotions, and behaviors for recovery and healthy living. They begin the building of a solid support system for transitional living.

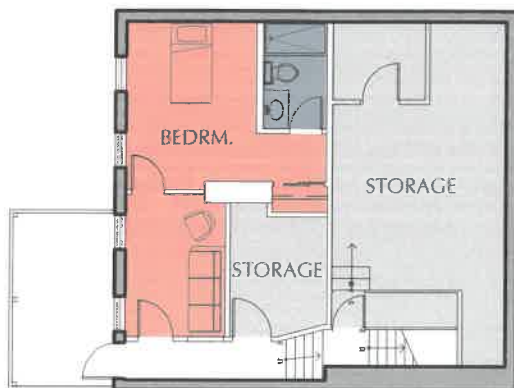
First Floor



Phase 3 "Preparation"

will increase from 5 to 7 participants

Basement Plan



KEY

Bedroom	Red circle
Bathroom	Grey circle
Common Space	Orange circle
Meeting/Office Spaces	Yellow circle
Utility	Light grey circle

131 GOETHE STREET | RENOVATION

Transitioning into Independent Living

Phase 4| Transition

Participants develop a relapse prevention program while working toward a holistic practice for successful independent living.

Phase 4 "Transition"

will decrease from 6 to 5

participants while gaining 5 individual apartments to help participants successfully "transition" into independent living

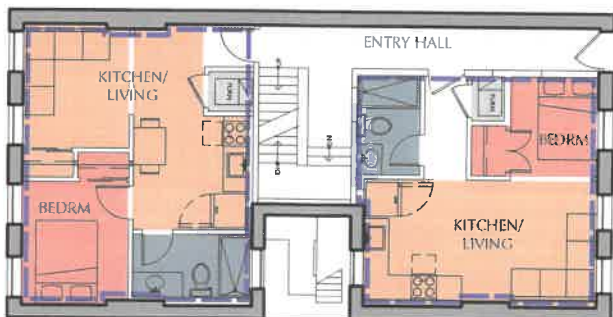
Third Floor



Second Floor



First Floor



Basement Plan



KEY

Bedroom

Bathroom

Common Space

Meeting/Office Spaces

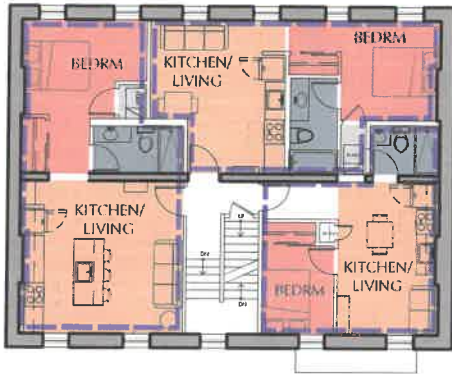
Utility

Unit Boundary

127-129 GOETHE STREET | RENOVATION

Aftercare Apartments

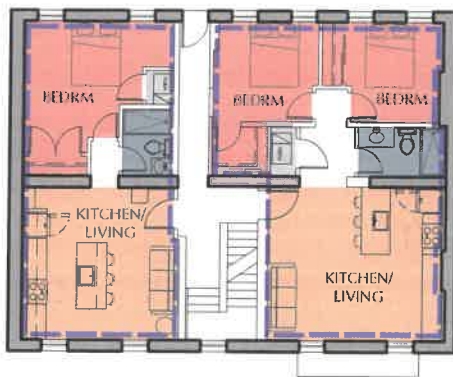
Second Floor



Phase 5| Living

Life is arranged around the disciplines that keep participants sober and close to Jesus.

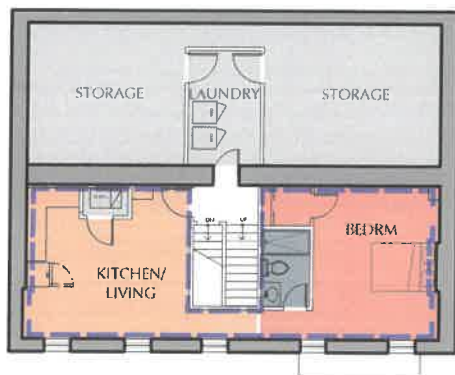
First Floor



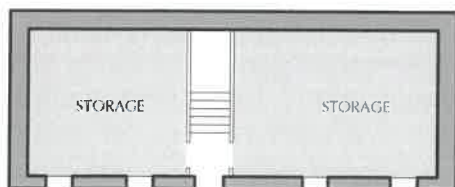
Phase 5 "Living"

will increase in capacity from 5 to 6 participants with 6 individual apartments

Basement Plan



Sub-Basement Plan



KEY

Bedroom	
Bathroom	
Common Space	
Meeting/Office Spaces	
Utility	
Unit Boundary	

MISSION

Isaiah 54:2 (NIV) "Enlarge the place of your tent, stretch your tent curtains wide, do not hold back; lengthen your cords, strengthen your stakes."

"Enlarge the Place of Your Tent" is the theme of this project because in the process of change we are asking and encouraging those we serve to stretch out of old patterns of thinking to discover a new perspective. - Lucretia Bowman

Courage is the commitment to begin without any guarantee of success. - Johann Wolfgang Von Goethe

PRELIMINARY COST ANALYSIS

	211-219 GOETHE	141 GOETHE	131 GOETHE	127-129 GOETHE	
EXTERIOR	\$1,468,500	\$172,000	\$194,700	\$256,200	
INTERIOR	\$1,205,500	\$265,600	\$295,600	\$414,800	
CONTINGENCY/ FEES	\$414,470	\$67,828	\$75,997	\$104,005	OVERALL TOTAL
TOTAL	\$3,088,470	\$505,428	\$566,297	\$775,005	\$4,935,778



211-219 Goethe Street | Rear Rendering



Neighborhood Involvement

- Extensive Neighborhood Collaboration
 - Meetings/Letters/City Facilitated Interaction
 - Strong Support From Majority of Neighbors
 - Letters of Endorsement from Mount Auburn and OTR Community Councils
- General Support For Remodeling Existing Buildings
- Objections to New Building From Vocal Few



Key Issues - New Building

- **Density** - too many people on street
- **Parking** - creates excessive on-street congestion
- **Consistent Neighborhood Architecture** - appearance not like surrounding neighborhood
- **Future Building Use** - what occurs in unlikely event CGM needs to sell property
- **Alternate Site** - prefer CGM move program elsewhere



Key Issues - Density

- Reduced occupancy 25% (from 48 to 36 residents)
- Occupancy stipulated in NWO



Key Issues - Parking

- Residents of new building not allowed to have vehicles
- Agree to limit parking for existing building to 6 resident vehicles
- Parking sticker program included as provision of Community MOU



Key Issues - Consistent Neighborhood Architecture

- Building exterior to be re-designed to look like 3 contiguous single family town homes
- Neighborhood participation on exterior design Review Committee included as provision of Community MOU



Key Issues - Future Building Use

- Design/construction to be done to permit future division of buildings and parcels to allow renovation into 3 single family homes.
- In unlikely event of future sale, CGM will:
 - Sell as 3 separate parcels
 - All fees and expenses required to separate buildings/parcels to be paid by CGM
- Future division requirements included as provision of Community MOU



Key Issues - Alternate Site

- Reviewed alternate sites proposed by residents/developers
- Alternate sites not as advantageous/appropriate to program participants and graduates
 - Proximity for ongoing support/community
 - Vision for future/value in community



Additional neighbor interactions

- 1) On at least 3 occasion we have spoken to Tom Pruckno, owner of 4 family directly across from the proposed new building. He is going to send a letter of support.
- 2) On January 25th, OTR Community Council approved sending a letter of support for our project.
- 3) On multiple occasion we have spoken with Jim and Brenda Tarbell. They will send a letter of support and will also speak at the City Planning Commission's meeting.
- 4) On February 1st Roger Howell walked the proposed alternative site and area with Niqué Swan. Niqué is the property manager for the site. Also, timed the walk between the proposed site and our current facilities.
- 5) Notification for the two meeting on January 5th and January 12th with concerned Mt. Auburn neighbors were posted on 4 Mt. Auburn Facebook pages.
- 6) Notification for the two meeting on January 28th and February 11th hosted by the City of Cincinnati were posted on all 4 Mt. Auburn Facebook pages and emailed to Mt. Auburn Community Council members and emailed to the Mt. Auburn Community Development Corporation Board members.
- 7) On at least 3 occasion we have spoken to Roland Relford, the neighbor at the end of Goethe St. He is very supportive of our project but in elderly and does not like to do anything virtual.
- 8) On February 12th and 18th had tele-conference call with Kristin Woeste and Jake Mahle (they live on Mulberry). Mayor Cranley requested that they talk with us to see if we could find a solution to our differences.
- 9) On January 11th Lucretia had a two-hour meeting with Alex and Ryan, our neighbor on Seitz. St. and several subsequent email communications with them.

MEMORANDUM OF UNDERSTANDING

This Memorandum of Understanding ("MOU") is entered into this 18 day of FEBRUARY, 2021, by and between Mt. Auburn Community Council ("MACC"), an Ohio nonprofit corporation, Mount Auburn Community Development Corporation ("MACDC"), an Ohio nonprofit corporation, City Gospel Mission ("CGM"), an Ohio nonprofit corporation, CURE Properties, LLC ("CURE"), an Ohio limited liability company, and HTCTC Properties, LLC ("HTCTC"), an Ohio limited liability company.

WHEREAS, MACC is a nonprofit community council representing the community members of the Mount Auburn neighborhood in Cincinnati, Ohio; and

WHEREAS, MACDC is a nonprofit community development corporation whose mission includes the improvement, revitalization, and sustainability of the Mount Auburn neighborhood in Cincinnati, Ohio; and

WHEREAS, CGM is a nonprofit organization that provides Christ-centered life transformation to persons facing hunger, homelessness and other challenges in the Greater Cincinnati, Ohio area; and

WHEREAS, CURE and HTCTC are real estate companies owned by CGM, and which own certain parcels of real property on Goethe Street in the Mount Auburn neighborhood, the addresses and parcel numbers of which are identified in Exhibit A attached hereto (collectively "the Goethe Properties"); and

WHEREAS, CGM intends to develop and/or rehabilitate the Goethe Properties and to operate them as temporary and permanent transitional housing ("the Project"); and

WHEREAS, it is the intent of the parties that the Project be designed, completed and operated in a manner that respects the Mount Auburn neighborhood while also serving CGM's purpose and mission;

THEREFORE, in an effort to work together in good faith in the design, completion and operation of the Project for the benefit of all parties and the Mount Auburn neighborhood, the parties hereby agree to the following:

1. Regarding the exterior design of the buildings, a committee shall be formed made up of: (a) two neighbors who are not already officers or agents of the organizations that are a party to this MOU; (b) a representative of MACC; (c) a representative of MACDC; (d) a representative CGM's architecture and/or design firm; and (e) a representative of CGM. The Committee shall meet a minimum of 2 times to review CGM's exterior design proposals. While it is the desire of the parties to have the unanimous consent of the entire Committee before proceeding with the exterior design, final exterior design approval shall be by the unanimous agreement of the MACC, MACDC and CGM representatives.

2. Regarding parking, it is hereby agreed as follows:

a. Consistent with the requirements of the transitional housing program to be operated by CGM, no residents living in the buildings at 211-219 Goethe Street will have vehicles;

b. Residents living at 127-129, 131 and 141 Goethe Street may be permitted to own vehicles, but CGM agrees to limit the number of vehicles belonging to those residents that are permitted to park in the public, on-street parking spaces on Goethe Street to 6 total vehicles.

c. All other vehicles for residents living at 127-129, 131 and 141 Goethe Street will be required to be parked on Sycamore Street and shall be identified by a sticker, tag or some other such identifier, indicating that the owner is associated with the Project.

3. CGM, CURE, and HTCTC agree for themselves and for any future entity or organization which is associated or affiliated with them, that with regard to the buildings located at 211-219 Goethe Street:

a. The construction shall be done in such a manner that in the event of a future sale of the properties the parcels and the buildings can be separated into 3 separate parcels and 3 separate buildings, and the buildings shall be designed in such a way that they can be renovated into single-family homes in the future; and

b. In the event of a future sale, these parcels shall be sold as 3 separate parcels; and


c. In the event of a future sale, if there is a need to separate any of the buildings to create 3 separate buildings, or to separate any of the parcels to create 3 separate parcels, all costs, fees and expenses associated with doing so shall be paid by CGM, CURE and/or HTCTC.

4. This MOU shall be interpreted pursuant to Ohio law and shall inure to the benefit of the parties and their respective owners, members, shareholders, officers, employees, transferees and assigns.

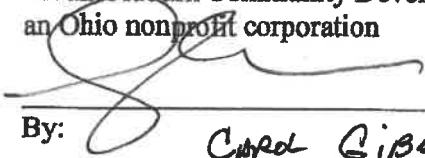
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IN WITNESS WHEREOF, the parties hereto set their hands as of the date written above:

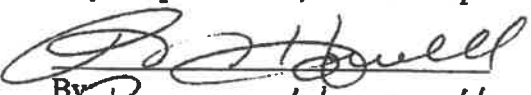
Mt. Auburn Community Council, an Ohio nonprofit corporation


By:  STEVE GIBBS

Mount Auburn Community Development Corporation,
an Ohio nonprofit corporation

By:  CAROL GIBBS

City Gospel Mission, an Ohio nonprofit corporation

By:  Roger Howell
President of City Gospel Mission
CURE Properties, LLC, an Ohio limited liability company

By:  Roger Howell

HTCTC Properties, LLC, an Ohio limited liability company

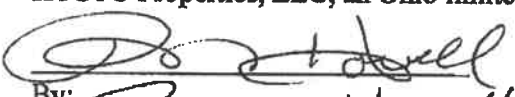
By:  Roger Howell

Exhibit A

Goethe addresses and parcel numbers

127 Goethe Street, parcel #94-5-45
129 Goethe Street, parcel #94-5-332
131 Goethe Street, parcel #94-5-335
141 Goethe Street, parcel #94-5-51
213 Goethe Street, parcel #94-6-252 & 255
217 Goethe Street, parcel #94-6-43 & 253
219 Goethe Street, parcel #94-6-42

City Gospel Mission's Goethe Street Expansion - Funding

The estimated project cost for City Gospel Mission's new facility and renovations of existing buildings on Goethe Street project is approximately \$5.0 million.

This includes the new construction of a 15,000 square foot facility for 36 women on 211-219 Goethe Street that replaces the previous building that stood on that site for 100 years. The new building will be similar in size and footprint of the previous one. City Gospel Mission owned and operated programming and housing in that building since the 1970's. The preliminary cost estimate for the new building is \$3.1 million.

The cost estimate for renovations at 141, 131 and 127-129 Goethe total \$1.9 million. When renovations are completed, all three of these properties will be affordable housing for women coming out of our program that want to continue living in community on Goethe.

From the beginning, the plan for raising capital for the project was to solicit funding from City Gospel Mission major donors, especially ones that have expressed interested in programming for women. God has blessed the project. Currently we have raised cash and pledges of nearly \$5.2 million. This is 100% private funding and will not use any City of Cincinnati affordable housing funding. This gives us enough funding to complete that project including unanticipated construction cost over runs and provides an allowance for furniture, fixtures and equipment expenses.

City Gospel Mission is aware of the limited supply of affordable housing in Cincinnati. We are excited to have the funding in hand to provide affordable housing for 18 women that have overcome life addicting issues and have proved that they want to make Cincinnati a better place to live, work and play.

1810 CAMPBELL ALLEY | SUITE 300 | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 F: 513.871.1829

February 19, 2021

To: Samantha McLean
City Planner
City of Cincinnati, Dept of City Planning
Two Centennial Plaza
805 Central Avenue
Cincinnati, OH 45202

Re: Not Withstanding Application
City Gospel Mission
Having the Courage to Change

Pre-2004 Zoning Map

The purpose of this map is to illustrate the zoning that was in place when all 11 properties were purchased by City Gospel Mission. 10 properties were purchased in the 1970's and 127/129 Goethe was purchased in 2004. Therefore, at the time of purchase, all properties were zoned R6. The R6 district was Multifamily – High Density.

Allowable uses in R6: multifamily, group housing, shared housing, patient family homes, dormitories, rooming houses, group buildings, and **homes for adjustment with programs.**

Main point: all uses CGM currently operates and is proposing for the new development would be allowed by the zoning that was in place at the dates of purchase.

Property/Density Map

The purpose of this map is to document the allowable development of the 11 properties owned by City Gospel Mission under the current RMX and SF2 districts (Post-2004 Zoning). The calculations presented in this document are the allowable density and parking without any type of variance, relief or not withstanding ordinance.

Allowable Density:

The existing buildings in the RMX district (127/129, 131, 141 Goethe) have been occupied for over 20 years, originally under the Pre-2004 Zoning Code with 36 occupants over 4 properties. Nobody seems to be opposed to this portion of the project. This would be "grandfathered" in.

The empty lots (139, 201, 203, 213, 217, 219, and 225 Goethe) can be developed into 7 separate single-family dwellings with 4 unrelated occupants. This results in a total of 28 additional occupants.

Total density allowed is 64 occupants.

CGM is only asking for 54 occupants with the NOW request.

Allowable Parking:

7 new single-family homes with 2 car garages and 2 cars in driveway (matching design of adjacent new single family homes) would result in 28 cars added to current conditions. If you add one car per property for the 4 existing buildings.

Total allowable cars would be 32.

CGM is only allowing 6 new cars on the street. New total would be 12 cars.

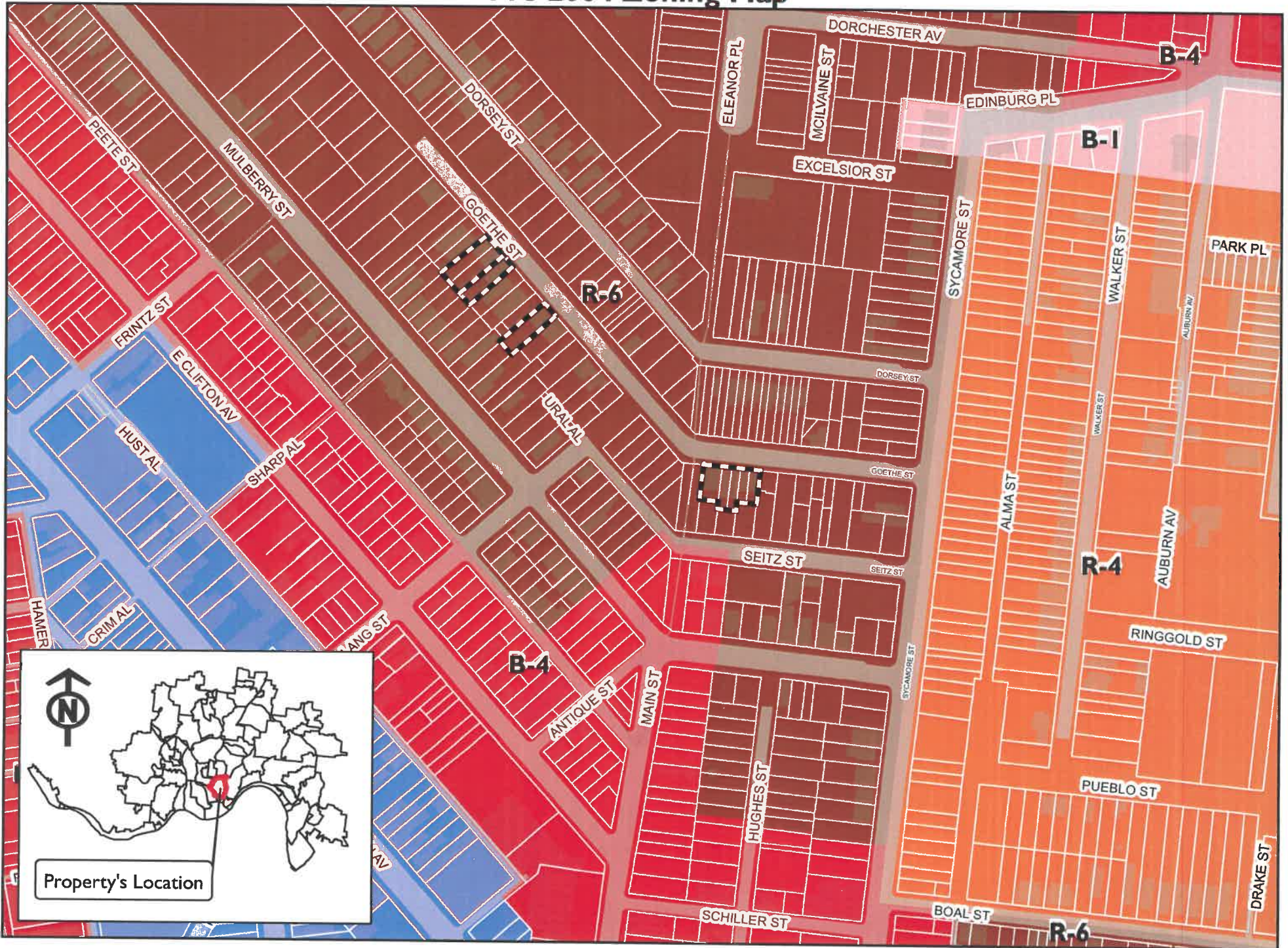
Please do not hesitate to reach out if more information is needed.

Sincerely,
PLATTE Architecture + Design, LLC

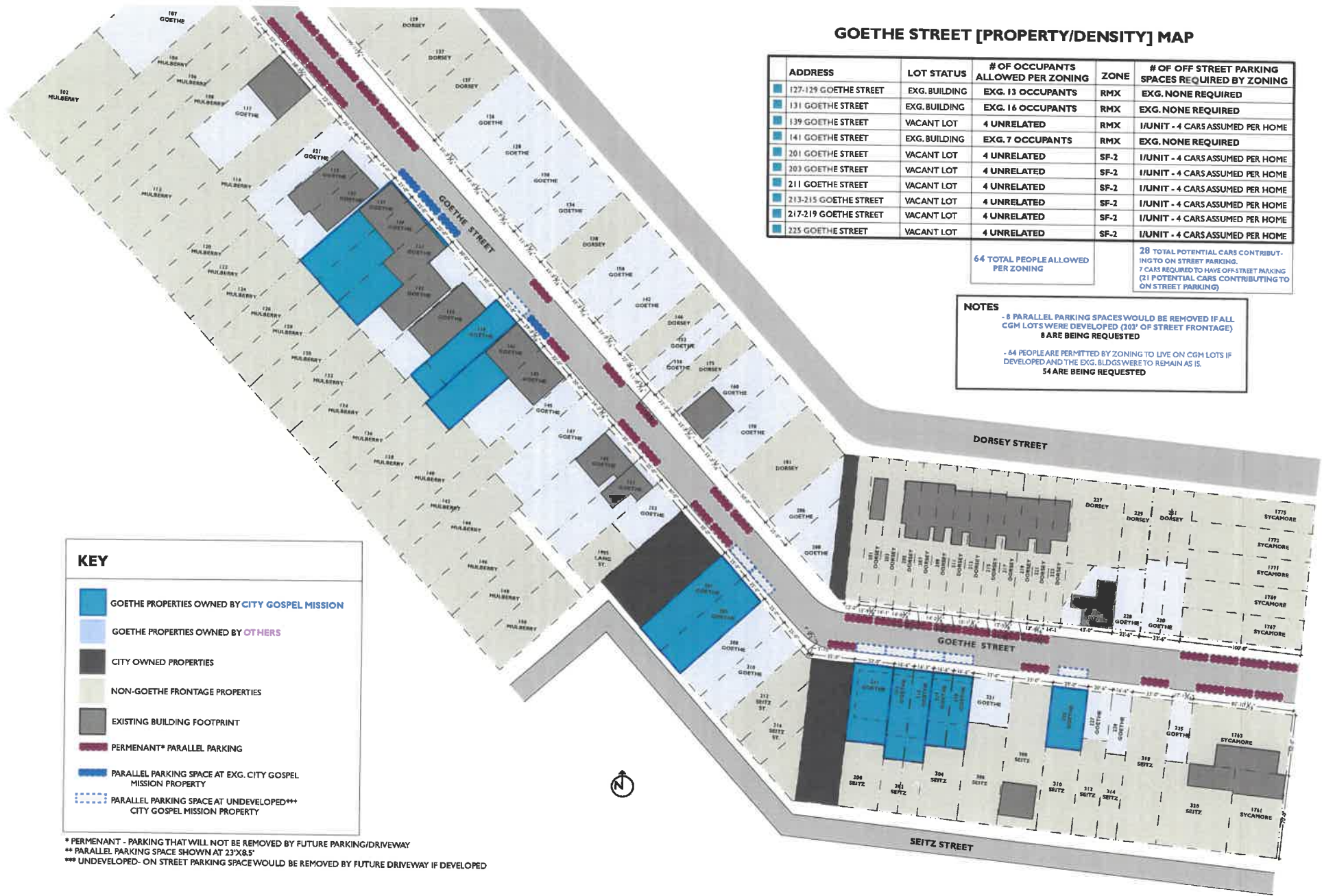
A handwritten signature in blue ink, appearing to read "K.J. Platte", with a stylized flourish at the end.

Kurt J. Platte - President
Architect, AIA, NCARB

Pre-2004 Zoning Map



Property's Location



GOETHE STREET [PROPERTY/DENSITY] MAP

ADDRESS	LOT STATUS	# OF OCCUPANTS ALLOWED PER ZONING	ZONE	# OF OFF STREET PARKING SPACES REQUIRED BY ZONING
127-129 GOETHE STREET	EXG. BUILDING	EXG. 13 OCCUPANTS	RMX	EXG. NONE REQUIRED
131 GOETHE STREET	EXG. BUILDING	EXG. 16 OCCUPANTS	RMX	EXG. NONE REQUIRED
139 GOETHE STREET	VACANT LOT	4 UNRELATED	RMX	1/UNIT - 4 CARS ASSUMED PER HOME
141 GOETHE STREET	EXG. BUILDING	EXG. 7 OCCUPANTS	RMX	EXG. NONE REQUIRED
201 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
203 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
211 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
213-215 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
217-219 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
225 GOETHE STREET	VACANT LOT	4 UNRELATED	SF-2	1/UNIT - 4 CARS ASSUMED PER HOME
64 TOTAL PEOPLE ALLOWED PER ZONING				28 TOTAL POTENTIAL CARS CONTRIBUTING TO ON STREET PARKING. 7 CARS REQUIRED TO HAVE OFF-STREET PARKING (21 POTENTIAL CARS CONTRIBUTING TO ON STREET PARKING)

NOTES

- 8 PARALLEL PARKING SPACES WOULD BE REMOVED IF ALL CGM LOTS WERE DEVELOPED (20' OF STREET FRONTAGE) 8 ARE BEING REQUESTED
- 64 PEOPLE ARE PERMITTED BY ZONING TO LIVE ON CGM LOTS IF DEVELOPED AND THE EXG. BLDGS WERE TO REMAIN AS IS. 54 ARE BEING REQUESTED

KEY

- GOETHE PROPERTIES OWNED BY CITY GOSPEL MISSION
- GOETHE PROPERTIES OWNED BY OTHERS
- CITY OWNED PROPERTIES
- NON-GOETHE FRONTAGE PROPERTIES
- EXISTING BUILDING FOOTPRINT
- PERMANENT* PARALLEL PARKING
- PARALLEL PARKING SPACE AT EXG. CITY GOSPEL MISSION PROPERTY
- PARALLEL PARKING SPACE AT UNDEVELOPED*** CITY GOSPEL MISSION PROPERTY

* PERMANENT - PARKING THAT WILL NOT BE REMOVED BY FUTURE PARKING/DRIVEWAY
 ** PARALLEL PARKING SPACE SHOWN AT 23'X8.5'
 *** UNDEVELOPED - ON STREET PARKING SPACE WOULD BE REMOVED BY FUTURE DRIVEWAY IF DEVELOPED

Why on Goethe Street?

The Heart of the project

By Lucretia Bowman

Some folks have suggested that they love City Gospel Mission Women's program called *Having the Courage to Change*, but that it should not be on Goethe Street, or another words, not in my back yard.

Here are the 4 main reason that Having the Courage to Change should be located on 211-219 Goethe Street

- 1) **Community:** It is so important for our women be connected to a neighborhood and a community that is not like them, a community that gives them a vision and insight into what they could become. Living next to folks that are successful. Living next to folks that have already arrived at the place in life where our women want to be. Seeing folks go to work every day, walking their dog, having a nice home and cars, and who are willing to be our friends. You can't believe what impact this has on the women in our program. The women realize they are just like the successful folks. I am someone.

Additionally, our women are also helpful to community. Recent one of our neighbors left on a trip and accidentally left their garage door open (allowing access to their entire home). It was our women that saw the problem, it was our women that keep watch on their property, and after 8 hours, it was our women that had staff call the neighbors and ask if they intended to leave their garage door open. It was also one of our women that the neighbor gave their security code to so that their home would be secure.

Another neighbor recently stated, I didn't do my research before I built my new home. I didn't know that *Having the Courage to Change* would be my close neighbor. But I am sure glad I didn't know that because I might not have move here. But I am sure glad I did. They are great neighbors and really have made me a better person.

The women in our program need a strong, health example of community. Having had programming on Goethe Street for 30 years has built that community.

- 2) **Inspiration:** The view inspires the women to see what they can become and that their lives can be bigger and better than they ever imagined. Having beautiful surrounding is very impactful on the self-esteem and helping see the possibilities for your life. So, having a beautiful home is very important as a person works on breaking their addiction. But when you add to that a beautiful surrounding a person feels even more special.

When one can look out and see a beautiful city, they feel special, they are someone. They feel that out there is something for them. When a woman moves into our new building on Goethe Street they will immediately see possibilities for growth and development for all aspects of their life.

That is priceless and that is what Goethe Street provides.

- 3) **Connectivity:** The women in our program need to be in close proximity to the women that have come through our program and are living successfully in our affordable housing. I can not tell you how powerful it is, for women that are in the process of breaking addiction to interact with multiple women that have conquer addiction, that have a support group, that are successful and that are loving life.

Breaking addiction is extremely hard and having a built-in support group is powerful. That is what having all of our buildings on one street provides for us.

- 4) **Longevity:** City Gospel Mission has had programs on Goethe St for 50 years. Having the Courage to Change has been there for 27 years. A building that we used for programming and housing for 40 years sat in the exact location and was the exact same shape and size. We have been good neighbors the entire time. And when people began to realize what a wonderful location Goethe St was (in the last 5 or so years), we welcomed in our new neighbors.

We believe that our presence on Goethe Street makes for a wonderfully diverse neighborhood, both economically and racially. And adding affordable housing for 18 women on the street is not only good for Mt. Auburn but for the City Cincinnati.

So, for me as the founder and Vice President of Recovery Services, Goethe must be the location.

**LOG OF LETTERS SUBMITTED FOLLOWING
JANUARY 15, 2021 CITY PLANNING COMMISSION**

EXHIBIT R

Letters attached are in the following order:

Letters in Support

- Amy Conroy (January 15, 2021) – Nearby resident/property owner
- Cara Knapke (January 24, 2021) – Nearby resident/property owner
- David Krekeler and Elizabeth Scott (January 19, 2021) – Adjacent resident/property owner
- Thomas Pruckno (February 16, 2021) – Nearby property owner
- Elizabeth Scott (January 28, 2021) – Adjacent resident/property owner
- Brenda Tarbell (January 27, 2021) – Nearby resident/property owner

Letters in Opposition and/or Stating Concern

- Ann Ullman (January 27, 2021) – Nearby resident/property owner
- Kristin Woeste (January 27, 2021) – Nearby resident/property owner
- Alex Welker (January 29, 2021) – Nearby resident/property owner (Includes alternate site plans)

As of February 23, 2021

McLean, Samantha

From: Amy Conroy <aconroy711@gmail.com>
Sent: Friday, January 15, 2021 12:47 PM
To: McLean, Samantha
Subject: [External Email] Goethe Street Housing

External Email Communication

Hi Samantha,

I am a resident and owner of a first floor condo at 318 Mulberry Street. While I missed the Zoom Meeting this morning. I would like to offer my SUPPORT for the renovation of three existing structures at 127-129, 131, and 141. I also SUPPORT the new construction of transitional housing facility at 211-219 Goethe Street.

I think what the City Gospel Mission does is important for this city. They are part of what helps make this city strong. We need them here. People who are transitioning need to live close to downtown, especially if they do not have a car, to access basic needs. So, to me, parking issues are irrelevant, and Gospel City's Mission outweighs any petty issues of other community members. I bought my condo in August of 2018. I live right by the Main Street steps, and have never felt any danger, no one has abused the steps, no one has caused any harm. I also have never had any issues of parking on my side of Mulberry either. Goethe street and the streets surrounding have ample parking. It's disgusting to think people assume crime will follow. City Gospel Mission has a squeaky clean record, and in fact, not a lot of people knew Gospel City Mission was there in the first place. The people complaining never attend Community Council Meetings, and then claim they were never informed.

Thank you for reaching out. I hope this project reaches success.

Sincerely,
Amy Conroy

--

Amy Conroy, LEED AP ID+C

Interior Designer | NELSON Worldwide
Board Member | Cincinnati Preservation Collective
513.706.1319

McLean, Samantha

From: Cara Knapke <cara.urban@gmail.com>
Sent: Sunday, January 24, 2021 2:30 PM
To: McLean, Samantha
Subject: [External Email] Fwd: In support of City Gospel Mission, 211-219 Goethe Street

External Email Communication

Hi Samantha,

I hope this email finds you well. I understand you did not receive my message (below), looks like I typed in an incorrect email address, my apologies.

Please see below for your review.

Thank you!
Cara

----- Forwarded message -----

From: Cara Knapke <cara.urban@gmail.com>
Date: Sun, Jan 10, 2021 at 12:36 PM
Subject: In support of City Gospel Mission, 211-219 Goethe Street
To: <samantha.mclean@cincinnati-oh.com>

January 10, 2021

Samantha McLean, City Planner
Cincinnati, OH

Dear Ms. McLean,

Happy New Year and I hope this correspondence finds you well. I'm grateful for your time and attention to the matter of the proposed City Gospel Mission building at 211-219 Goethe Street.

I recognize as of late, a number of disparate opinions have come to the surface regarding this project proposal. I feel fortunate to live in a community wherein residents and neighbors are actively involved and passionate about the neighborhood. I have enjoyed spending time recently meeting new neighbors to understand their perspectives, both similar and different from my own. I do my best to come into conversations with open ears and an open heart.

After hearing both sides, I stand by my overwhelming support of the City Gospel Mission's proposal for the building. As a Goethe Street resident for 4+ years, I feel lucky to have City Gospel Mission's Recovery program participants as neighbors and I look forward to the expansion of the program on our street. The program represents all that is great about Mt. Auburn, providing opportunities to people from all backgrounds and circumstances to live and thrive together in community. This new project will enhance the inclusive, respectful fabric of the community that myself, my husband and my (2 year old) daughter have grown to love.

Beyond the insurmountable contributions this program has to offer the community (and will continue to offer for years), I also look forward to the aesthetic the new building will bring to the community and to Goethe Street. The architect's renderings showcase a thoughtfully crafted project that will serve the current and future

needs of City Gospel Mission's Recovery program as well as seamlessly contribute to the historic and beautiful building styles of our neighborhood and street.

Finally, I have had the privilege of getting to know and spend time with City Gospel Mission VP of Recovery Lucretia Bowman. I want to emphasize how proactive she has been in involving myself, other neighbors on Goethe Street as well as the Mt. Auburn City Council in this project proposal for well over a year. She has spent countless hours engaging with the community on the topic of this project proposal. She has humbly and openly asked neighbors and stakeholders for feedback and suggestions, and has gone above and beyond what I understand to be the requirements of the City to involve our neighbors in a more personal, heartfelt way.

Everyone in this community is entitled to an opinion and I respect the perspectives of my neighbors. I felt it critical that my voice be heard loud and clear on this matter. Myself and my family wholeheartedly support this project and I look forward to an exciting future for City Gospel Mission and our community!

Sincerely,

Cara Knapke
149 Goethe Street, Unit 1
Cincinnati, OH 45202
(781) 771-5542

--

Cara Urban

McLean, Samantha

From: David Krekeler <dgkrekeler@icloud.com>
Sent: Tuesday, January 19, 2021 2:35 PM
To: McLean, Samantha
Cc: Elizabeth Scott
Subject: Re: [External Email] City Gospel Ordinance Change for Goethe Properties

Hi Samantha,

I took a look at the hearing report and I see that our letter in support of the project was not received in time to be included. I'm sorry for not getting it in sooner but the only time requirement we saw was the advance notice of 48 hours to be included in the call. I imagine this was the case for another Goethe resident who submitted a positive response to the City Gospel Mission expansion (Kara Knapke). Can our letter in support as well as this letter and the letter from Kara be sent to the City Planning Commission?

I don't know how much the community comments weigh in on your decision but it was quite frustrating to read through the letters you received. The 23 to 1 ratio of those opposed to those supporting is quite misleading. The letter from Carol Gibbs may not have been counted since her husband is President of the Mt. Auburn Community Council but she is also a resident on Dorsey so you actually received 2 in favor before January 6th. Since those opposing an issue are more likely to voice their opinions than those in favor, I wonder if there is a rule of thumb you can use to determine the "real feel" of a community? Multiple letters from the same person and/or same household received a count (8 of the 23 were from 3 households). Only one of the dissenting letters was from an actual resident on Goethe. I could be mistaken but it looks like only two of the other writers were property owners on Goethe who felt misled but it looks like CGM only reached out to those actually living on the street. We were talking to CGM about hosting a get together for our neighbors so CGM could better explain their plans and this was going to include neighbors from other streets. Unfortunately the pandemic canceled those plans.

Many of the letters site misinformation and fear. If it would help, I could critique each letter and point out the inaccuracies. Those that fear the program do not understand how it works. The representation in several of the letters that this would be an unsafe drop-in-center could not be further from the truth. The women are not even allowed to leave the building without an escort. I was sad to see the text included that suggested the CGM women were being picked up by "johns" on Dorsey. That's insulting to the women working to get back on the right track and it clearly displays the ignorance about how the program operates.

At least five of the letters are from developers or real estate agents worried about their property value, and again, their fears are unfounded. Point #3 in the Chris Hikel letter (and repeated in two other letters) may be the root of this fear. You can't even tell there is a women's program on our street. I was surprised to see that they currently have 36 participants. The new building will not look any different from the rest of the community. The single family units on individual lots are actually the exception. The new building will fit in better than some of the newer construction (including our house to be honest).

It's amazing to see the number of letters that are from people that are not even close to the proposed development. I guess +/- one street (Dorsey & Seitz) would have a legitimate concern if you had 48 additional cars to park but the women in the program do not even have cars. The other concern that may have some validity is the question of what happens to the building if CGM suspends the program. Their history demonstrates this is not a big concern but it should still be addressed to ease tension. Can the city include language about future use and also about this not being a precedent for other developments in the area? Perhaps this would calm those fears.

I feel bad for Lucretia who has tried to do all the right things and to inform the community about what they are planning. Again I am very sorry we did not get our original e-mail to you sooner. Please let us know if there are going to be additional hearings and we will do whatever it takes to participate. Also, if additional letters from actual residents on Goethe, who best know the impact of the CGM program on the neighborhood, would help, I'm sure additional letters could be obtained.

Thank you,
David Krekeler & Elizabeth Scott

Sent from my iPad

> On Jan 11, 2021, at 9:50 AM, McLean, Samantha <Samantha.McLean@cincinnati-oh.gov> wrote:

>

> Hi David,

>

> Thank you for your email. I am confirming receipt and it will be sent to the City Planning Commission.

>

> Best,

> Samantha

>

> Samantha McLean | City Planner

> City of Cincinnati | Department of City Planning Two Centennial Plaza

> | 805 Central Avenue, Suite 720 | Cincinnati, OH 45202

> 513-352-4886 | Facebook | Twitter | Website | Plan Cincinnati

> Pronouns: she, her, hers

>

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>

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> -----Original Message-----

> From: David Krekeler <dgkrekeler@icloud.com>

> Sent: Sunday, January 10, 2021 1:56 PM

> To: McLean, Samantha <Samantha.McLean@cincinnati-oh.gov>

> Cc: Elizabeth Scott <elizabethscott.2014@u.northwestern.edu>

> Subject: [External Email] City Gospel Ordinance Change for Goethe

> Properties

>

> External Email Communication

>

>

> Dear Samantha,

>

> Thank you for the opportunity to express our support for City Gospel Mission's proposed renovation and new construction on Goethe Street. My wife, Elizabeth Scott and I have lived between the existing structures (127-131 and 141) for almost two years and we have nothing but good things to say about City Gospel Mission and the women's program. It has been a pleasure interacting with and getting to know the participants, their families and staff. We are happy to be living in their neighborhood and being part of an integrated community with socioeconomic diversity.

>

> We understand there are concerns among some neighbors with the expansion but this may be due to a lack of understanding of the program and preconceived ideas of how a rehabilitation program may impact a neighborhood. City Gospel runs a tight ship and, if you didn't know they were there, you wouldn't even know it was a rehabilitation facility.

>

> There are also concerns about parking and it's our understanding that since the women in the program will not have cars, only a handful of spots will be needed for the staff. It should also be noted there is significant on-street parking available since the property opposite the proposed new construction is unbuildable across several lots.

>

> The fabric of Goethe Street is diverse and we would like to preserve this rich community by supporting City Gospel's ability to upgrade and expand the Courage to Change facilities with new construction.

>

> We hope the ordinance is approved and we look forward to the expansion of City Gospel as our neighbor.

>

> Thank you,

> David Krekeler & Elizabeth Scott

>

>

> Sent from my iPad

McLean, Samantha

From: Thomas Pruckno <tom.pruckno@gmail.com>
Sent: Tuesday, February 16, 2021 12:01 PM
To: McLean, Samantha
Subject: [External Email] 211 to 219 Goethe Street - Letter of Support

External Email Communication

Dear Ms. McLean,

I'm writing a letter of support for the proposed project located at 211 to 219 Goethe Street here in Cincinnati which is owned by City Gospel Mission.

I'm the owner of the building located at 226 Goethe Street which is very near the proposed project. I've been renovating my building for a few years now and have had the opportunity to meet and interact with several of the tenants of the other City Gospel owned buildings further down the street (127-129, 131 and 141 Goethe) and can speak to the quality of the program there.

The residents, during the summer months will be out walking with volunteers regularly and the residents have always been respectful and polite.

Additionally, we had a street get together last summer with all the residents on Goethe and I can say that they are genuinely good and decent people.

City Gospel has been a great neighbor and they are an attentive landlord. The only issue I've had was when a homeless man was camping out on their property at 211 to 219 Goethe and without hesitation they were able to deal with it successfully. They are very concerned about being a good neighbor and it's apparent that they supervise their program proficiently.

I have the utmost respect for what City Gospel is doing to help those who need a helping hand and support this construction project.

Sincerely,

Thomas (Tom) R. Pruckno

513-280-0859

-

January 28, 2021

Department of City Planning
Samantha McLean, City Planner

RE: City Gospel Mission Goethe Street Project

Dear Ms. McLean,

Thank you for the opportunity to submit a letter in support of City Gospel Missions request to expand and improve their facilities on Goethe Street.

My husband and I have lived on Goethe Street for the last 2 years and our house is located between the 3 existing City Gospel Mission (CGM) residences. I work from home (even before COVID) and my home office faces the CGM main house, where the residences from all 3 buildings meet for meals, classes & social gatherings both inside the house and in the back yard. We can attest that living between the 3 CGM residences, housing up to 36 women, has been nothing but a positive experience. The residences and staff are friendly, respectful, tidy and considerate of noise.

CGM has consistently demonstrated all the qualities of a good neighbor, and we have not been inconvenienced by staff or van parking. We are not concerned about parking since there seems to be ample parking available, but a parking study could be completed to better inform concerned parties.

We thought it was important to relay our experiences living on Goethe Street since several letters, emails and Facebook posts from residents on near-by streets and developers, have made offensive accusations about the character of the women in the program and/or speculations on poor behavior. These accusations are unfounded and the name calling is highly inappropriate, and we encourage everyone to learn more about the program and participants so they can speak from a place of knowledge and experience rather than ignorance.

Before building our home on Goethe St, my husband and I joined the CGM Step Forward program, which is a running club for women and men in recovery and volunteers. Each year we train to run various distances for the Queen Bee and Flying Pig. The running club provides participants and volunteers the opportunity to build fitness, connectiveness and relationships. The self-discipline and determination it takes to turn your life around is truly inspiring and it fosters a culture of compassion, acceptance and community that we all need. While everyone may have different challenges they're working on in their lives, we all have more in common than we are different.

Similar to a majority of the letters/emails submitted to the City Planning Commission, many of us share a common value in recognizing the importance of the work CGM is doing and support their efforts. To say we support this important cause 'but not in my backyard' is archaic and self-serving. City Gospel has thrived on Goethe Street for over 30 years, and it is general knowledge that they own several properties with the intention of expanding their program. They have welcomed new homeowners with open arms. Each new house built or renovated on Goethe Street has required a variance and has changed the ascetics, use of space and has subjected CGM to long, inconvenient construction projects. The same respect and tolerance can now be extended to CGM. Women in recovery have every right to live on the hillside, and to be part of an integrated neighborhood that is diverse in background, race, ethnicity and income.

We've heard from developers, builders, real estate agents and some property owners who oppose the CGM expansion, noting possible impact to property values, however, no evidence-based research or recordable case studies have been included in the City Planning Commission Packet to support this hypothesis. We would like to see evidence-based data showing potential impact on property value; Otherwise, the idea that the CGM expansion may have a negative impact is driven by an implicit bias or fear of something different, which can lead to uninformed decisions.

The expansion of CGM's program is an opportunity to preserve the integrated and socioeconomic diversity that benefits everyone on Goethe Street. It is an opportunity to protect Goethe Street from racial and income segregation. The influx of high-end housing needs to be balanced by affordable housing to counter the negative effects of gentrification.

Before the days of COVID, Goethe Street organized a Pot-luck Street Party and a Street Clean-Up Day, one of the flyers had a quote by Johann von Goethe, a well-known German poet & novelist. The quote reads *"Knowing is not enough; we must apply. Willing is not enough; we must do"*.

This quote reminds us that knowledge is the first step, and once we have a clear understanding, we must apply action to get results. We've heard from so many people expressing their support for GCM and this is the time to come together as a community and take action to ask for the approval for CGMs proposed expansion and improvement projects on Goethe Street.

Sincerely,
Elizabeth Scott
135 Goethe Street

McLean, Samantha

From: Brenda Tarbell <tarbellbrenda@gmail.com>
Sent: Wednesday, January 27, 2021 10:30 AM
To: McLean, Samantha
Subject: [External Email] Support for City Gospel Mission's transitional housing

External Email Communication

Dear Samantha,

My husband and I have lived in OTR for 31 years of our life together. We now live at 1816 Sycamore St. in Mt. Auburn. I have worked in the building we now live in for 20 years. It is clear to me that the need for longer term housing to support sobriety is a much needed service in our city. The need is especially great for women. It is my feeling that if there were more long term housing opportunities that would support women in recovery from addiction we would have fewer people on the streets doing what they have to do to survive, i.e. dealing, theft, pan handling and prostitution. The City Gospel Mission has been a good neighbor on Goethe St. I think it is disingenuous for some to suggest that the additional cars on the street from staff would be a burden to the parking availability and traffic flow. The residents won't be permitted to drive or have cars and the staff parking would be comparable to what might result if the plots were developed for residences. We support the plan to build a new transitional housing facility on Goethe Street. The women who will be housed there will live in a safe walkable neighborhood with good access to the bus routes.

Thank you,
Brenda Tarbell
1816 Sycamore St.
Cincinnati, OH, 45202

McLean, Samantha

From: ann ullman <annullman1@yahoo.com>
Sent: Wednesday, January 27, 2021 1:04 PM
To: McLean, Samantha
Subject: [External Email] Fw: Goethe development

External Email Communication

Subject: Goethe development

We are writing to oppose the new building of the transitional housing facility proposed by City Gospel Mission for 211-219 Goethe St.

We are property owners of a 2 family home on Dorsey St.

Goethe Street is zoned Single Family and is inappropriate for a facility to house 48 individuals as well as provide office space for 8 employees. The number of variances requested should be a red flag. The variances required to allow development are at odds to the spirit and intention of the ordinances that are already in place. The ordinances exist for good reason and to overrule or reject them is just not reasonable.

The parking will be problematic. It already is. The additional traffic will be problematic. The lack of any turnaround will be an issue. Presently it is necessary to pull into someone's private driveway to turn around.

It seems that to build a large structure on this hillside site will be more expensive than on a more traditional building site.

Regardless of the social issues, pro and con, it appears that it is unrealistic to try to implement this well intentioned project at this particular site.

Perhaps a couple of single homes could be built by City Gospel Mission. These could be similar to the existing homes they have owned on Goethe St., which have fit in well with and had the support of the neighborhood.

Mike and Ann Ullman
annullman1@yahoo.com

McLean, Samantha

From: Woeste, Kristin L. <klwoeste@vorys.com>
Sent: Wednesday, January 27, 2021 10:34 AM
To: McLean, Samantha
Subject: [External Email] RE: Notice of Community Meetings on Goethe Street Notwithstanding Ordinance

External Email Communication

Samantha,

I would appreciate the Zoom links for both meetings. We'll be driving tomorrow evening, but I'll be a passenger and will try to participate on my phone.

I'm a bit concerned that the description of the meeting suggests that it's focused on the design. Unless I missed it, I didn't actually hear one person who spoke at the meeting express concerns about the appearance of the project. (I think there were some written comments on that that were secondary concerns to the use/density.) Rather, I did hear and read a lot of comments (including my own) that expressed concern about the density.

I hope that's part of the discussion—we are really hoping that CGM is working on a win-win proposal that works for their mission and the neighborhood.

I know that's what we are working on as neighbors and that an alternative site has been offered to CGM for no cost as a land swap that's (a) nearby; (b) not on the hillside (which should save significant construction costs); (c) is comparable in size (or maybe a bit larger); (d) is closer to Crossroad Health Center (where so many people penned their support for CGM); and (e) in a zoning district where transitional housing is permitted as of right.

Thanks,
Kristin

From: McLean, Samantha <Samantha.McLean@cincinnati-oh.gov>
Sent: Thursday, January 21, 2021 3:37 PM
To: McLean, Samantha <Samantha.McLean@cincinnati-oh.gov>
Subject: [EXTERNAL] Notice of Community Meetings on Goethe Street Notwithstanding Ordinance

CAUTION: External Email.

Hello,

Please see the attached notice on two upcoming community meetings on the proposed Notwithstanding Ordinance for renovation and new construction on Goethe Street:

Community Meeting 1 – Thursday, January 28, 2021 at 7:00 p.m.

Community Meeting 2 – Thursday, February 11, 2021 at 7:00 p.m.

You are receiving this notice is you submitted public comment or participated/requested to participate in the City Planning Commission meeting on this item. On January 15, 2021, the City Planning Commission held this item to allow for additional community engagement. The purpose of these meetings is to discuss feedback received thus far, solicit additional feedback, and discuss responses to the feedback. Please see the attached notice for more detail and do not hesitate to reach out to me if you have any questions.

Best,
Samantha

Samantha McLean | City Planner

City of Cincinnati | Department of City Planning

Two Centennial Plaza | 805 Central Avenue, Suite 720 | Cincinnati, OH 45202

513-352-4886 | [Facebook](#) | [Twitter](#) | [Website](#) | [Plan Cincinnati](#)

Pronouns: she, her, hers



From the law offices of Vorys, Sater, Seymour and Pease LLP.

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McLean, Samantha

From: Alex Welter <alex@egberslanddesign.com>
Sent: Friday, January 29, 2021 3:54 PM
To: McLean, Samantha
Cc: Roger Howell; Lucretia Bowman; Ryan Meyer
Subject: [External Email] City Gospels Missions Potential sycamore Home
Attachments: CGM LOWER LEVEL.pdf; QUICK ELEVATION NOT COMPLETE.pdf; CGM FIRST FLOOR.pdf; CGM SECOND FLOOR.pdf; CGM THIRD FLOOR.pdf

External Email Communication

Samantha,

Please share with community council and I cc, Roger and Lucretia.

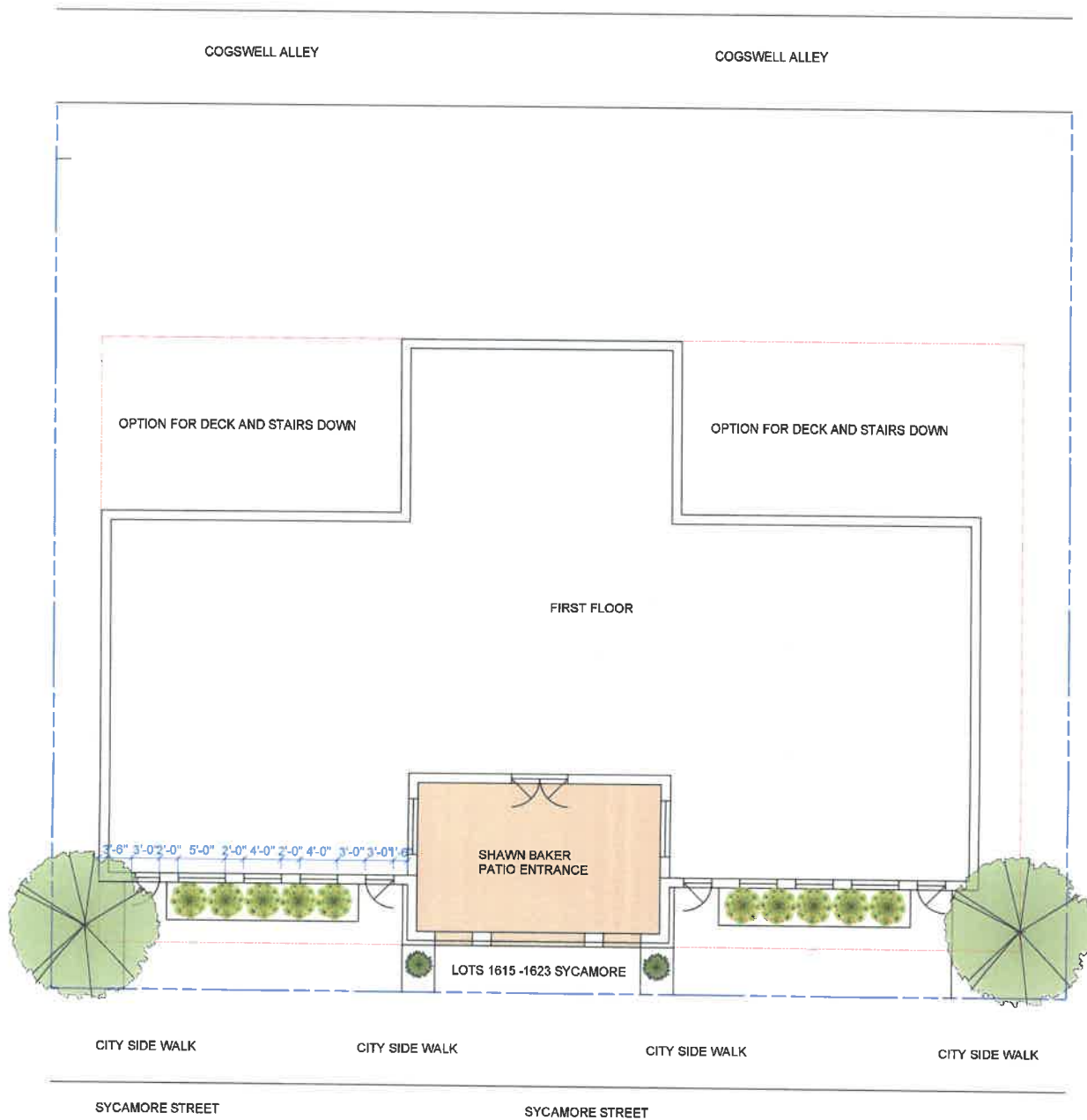
While this is not a look, I love, I just mimicked their first renderings obviously it can change. But the potential is huge on the lots on sycamore.

I will gladly help, and I have now offered my help, time, and services multiple times. Free of charge. CGM has never reached out yet?

I will be doing 3d renderings to show it off on Monday or Tuesday, will send when complete. Can we please work together instead of against each other?

Alex





CITY GOSPEL
OPTION FOR SYCAMORE STREET EXPANSION
LOTS 1615-1623

COGSWELL ALLEY

COGSWELL ALLEY

SECOND FLOOR

LOTS 1615 -1623 SYCAMORE

CITY SIDE WALK

CITY SIDE WALK

CITY SIDE WALK

CITY SIDE WALK

SYCAMORE STREET

SYCAMORE STREET

CITY GOSPEL
OPTION FOR SYCAMORE STREET EXPANSION
LOTS 1615-1623

COGSWELL ALLEY

COGSWELL ALLEY

THIRD FLOOR

LOTS 1615 -1623 SYCAMORE

CITY SIDE WALK

CITY SIDE WALK

CITY SIDE WALK

CITY SIDE WALK

SYCAMORE STREET

SYCAMORE STREET

CITY GOSPEL
OPTION FOR SYCAMORE STREET EXPANSION
LOTS 1615-1623



REVISIONS			
REV	DESCRIPTION	DATE	APPROVED

VERY QUICK ELEVATION

CITY GOSPEL
OPTION FOR SYCAMORE STREET EXPANSION
LOTS 1615-1623

NOT EXACTLY MY LOOK BUT SHOWS THE POSSIBILITIES
NOT QUITE FINISHED, BY WORK IN PROGRESS



February 20, 2020

Ms. Lauren Moore
Platte Architecture + Design
1810 Campbell Street
Cincinnati, Ohio 45202

Re: Having the Courage to Change (P) – (CPRE200013) Initial Comments and Recommendations

Dear Ms. Moore,

This Preliminary Design Review letter informs you that our Advisory-TEAM has reviewed your proposed project at **213-219 Goethe Street** in the Community of Mount Auburn. We hope that the information provided below will help you move forward with your project. Please see our initial feedback listed below. We strongly recommend that you return to us for either a Development Design Review or Technical Design Review before you get ready for permitting. Thank you for developing within the City of Cincinnati.

City Planning Department

Immediate Requirements to move forward with project:

1. The proposed use, transitional housing program #5, is not permitted within the current zone, SF-2. The subject property is located completely within the SF-2 district and does not directly abut another zoning district.
2. Transitional housing program #5 is permitted or conditionally permitted within the following districts: OG, IR, DD, MG, CC-M, CC-A, and CG-A. None of these districts would be appropriate for the subject property due to the single-family residential nature of the area.
3. The site is 0.147 acres in size. According to Chapter 1429-05 (Basic Requirements), Planned Development districts must comply with a "(a) Minimum Area. The minimum area of a PD District is two contiguous acres. Council may approve a PD District that contains less than the minimum acreage required for an area on an affirmative recommendation of the City Planning Commission, finding that special site characteristics exist, and the proposed land uses justify development of the property as a PD."

Requirements to obtain Permits:

- None.

Recommendations:

1. It is advised that the applicant seek potential sites within zoning districts where this use is permitted.
2. It is encouraged that the applicant contact the Mt. Auburn Community Council, as well as the Over-the-Rhine Community Council due to its proximity to the site.

Contact:

- **Samantha McLean** | City Planning | 513-352-4886 | samantha.mclean@cincinnati-oh.gov

Buildings & Inspections – Zoning

Immediate Requirements to move forward with project:

1. **Re-zoning is needed.** The proposed use (transitional housing program five or six) is not a permitted use in the SF 2 zoning district. A re-zoning or use variance process would need to be implemented to allow the proposed use to be approved. It is not clear if there would be an economic hardship to justify a use variance as single family uses are viable in a single-family zone. Rezoning options are referred to the City Planning Dept.
2. A more detailed site plan is needed. The drawings submitted do not provide enough information to do a comprehensive review. The site plan submitted has the building footprint only and no other information. There is no information on driveway, parking, setbacks, building height, excavation depth, landscaping, the topo lines are 10' intervals etc.

Requirements to obtain Permits:

1. Consolidation of underlying parcels is required as the building would cross a parcel line.
2. Updated site plan with additional information provided as noted above.

Recommendations:

1. See prior comments.

Contact:

- **Weston Munzel** | Zoning | 513-352-2442 | weston.munzel@cincinnati-oh.gov

Metropolitan Sewer District (MSD)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. Detention will be reviewed by Jeff Chen at jeff.chen@cincinnati-oh.gov or 513-244-1357 per Section 303 of the MSD Rules and Regulations.
2. An approved site utility plan will be required to receive approved permit.

Recommendations:

- None

Contact:

- **Jim Wood** | MSD | 513-352-4311 | jim.wood@cincinnati-oh.gov

Stormwater Management Utility (SMU)

Immediate requirements to move forward with project:

- None

Requirements to obtain Permits:

1. SMU will require detention system for the project (exemptions from detention requirement must meet section 12.2 of the SMU Rules & Regulations [https://cincinnati-oh.gov/stormwater/assets/File/smu_rules_and_regs\(1\).pdf](https://cincinnati-oh.gov/stormwater/assets/File/smu_rules_and_regs(1).pdf))

2. Submit detention calculations, sections of control structures and detention shop drawings (if detention tank)
 - o Drainage systems will outlet into combined sewers. Therefore, design may follow MSD 303 rules.
3. Entire site runoff from impervious surfaces must be captured and piped into the system before reaching public R/W.
4. Pipes in the R/W must be RCP or DIP (RCP for covers 3' > only). Show profiles for all pipes in public R/W.
5. Submit an approved Erosion/Sediment control plan for the entire site
6. Add SMU Standard Plan Notes (<https://cincinnati-oh.gov/stormwater/construction-and-design/standards/standard-plan-notes-updated-july-2017/>)

Recommendation:

1. Ties into Public Inlets are not permitted.
2. SMU does not permit Public inlets with 5' of curb aprons.

Contact:

- **Saidou Wane** | SMU | 513-591-7746 | saidou.wane@cincinnati-oh.gov

Water Works

Immediate requirements to move forward with project:

1. At this present time Greater Cincinnati Water Works is in the process of running a flow-tests on the existing public water mains in the area. However, depending on weather, (cold temperatures can cause freezing while conducting the test) it may take some time to receive the flow-test results.
 - a. If the flow in the existing public water mains meet the current fire department fire code for a multi-story building, there the Greater Cincinnati Water Works will have no issues with the proposed development water service branch connections on the existing water mains or;
 - b. If the flows in the existing public water mains do not meet the current fire department fire code requirements, the public water mains in the area will need to be upgraded. Greater Cincinnati Water Works will identify the public water main upgrade timeline. If the owner(s)/developer(s) cannot wait on the Greater Cincinnati Water Works public water main upgrade, the owner(s)/developer(s) can replace the public water mains at their expense with Greater Cincinnati Water Works assistance.

Requirements to obtain Permits:

1. Greater Cincinnati Water Works will not approve any new building permits and water service branch(es) until all conditions are met.
2. Any existing water service branch(es) not to be used for this development, must be properly disconnected at the owner's / developer's expense. Owner would be required to fill out the online FOD form at <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/fod/> authorizing removal of the existing water service branch(es) before any new water service(s) can be sold.

Recommendations:

1. Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded plumber to perform the private water service branch design work and installation.
2. Owner(s)/Developer(s) will need to fill out Greater Cincinnati Water Works paperwork to abandon all unused branches.

Contact:

- **Bill Morris** | WaterWorks | 513-591-7858 | bill.morris@gcww.cincinnati-oh.gov

Fire Department

Immediate Requirements to move forward with project:

1. Confirm that the closest two hydrants have fire flows of at least 1000 GPM at 20 PSI.

Requirements to obtain Permits:

1. Closest hydrants are located at 239 Goethe St, 203 Goethe St and 123 Goethe St,
2. Fire Department Connections are to be shown and are to be within 50' of a fire hydrant,
3. Hydrants and FDC placement are not to block fire apparatus access to the structures.
4. Sec. 1229-5. - Location of Buildings and Structures.
5. Bidirectional antenna for fire department communication maybe required for the structure.

Recommendations:

- None

Contact:

- **Fred Prather** | Fire Dept. | 513-357-7595 | fred.prather@cincinnati-oh.gov

Office of Environmental Sustainability (OES)

Immediate Requirements to move forward with project:

- None

Requirements to obtain permits:

- None

Recommendations:

1. The developer should exercise caution in developing this hillside. Increasing storm intensity and its detrimental effects on hillside stability are well documented in the region. Standards, requirements, and adopted recommended mitigation of these hazards are also well documented and should be followed. The developer should ensure the hillside will remain stable under extreme storm conditions.
2. The development goal should be to earn at a minimum the LEED Certified rating level.
3. Rooftop solar should be considered in the design as a renewable energy source.
4. Site areas designated for trash dumpsters or carts should also have at least equal space designated for recycling dumpsters or carts in the design.
5. The use of trees in the landscape design should be included to enhance urban forestry.
6. The use of non-impervious surfaces should be maximized to the extent practical in the design.

Contact:

- **Howard Miller** | OES | 513-352-6999 | howard.miller@cincinnati-oh.gov

Police Department

Immediate Requirements to move forward with project:

- None at this time.

Requirements to obtain Permits:

- No Comments.

Recommendations:

- None

Contact:

- **Matt Hammer** | Police Dept. | 513-478-2257 | matt.hammer@cincinnati-oh.gov
- **Brandon Kyle** | Police Dept. | brandon.kyle@cincinnati-oh.gov

Health Department

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. A food facility plan review by the Cincinnati Health Department (CHD) will be required if future or current space (or tenant) is licensable (or is currently licensed) as a food service operation (FSO) or retail food establishment (RFE). If licensable, plumbing will not issue permits until CHD has completed the food facility review and approved the project. NOTE: A residential facility that accommodates not more than sixteen residents; is licensed, certified, registered or otherwise regulated by the federal government or by the state or a political subdivision of the state; and prepares food for or serves food to only the residents of the facility, and any nonpaying guests of residents or staff is exempt from the requirement to have a food service operation license.

Recommendations:

1. Contact: For assistance in determining whether facility is licensable as an FSO/RFE or not, please contact Trisha Blake.

Contact:

- **Trisha Blake** | Health Dept. | 513-352-2447 | trisha.blake@cincinnati-oh.gov

Department of Transportation & Engineering (DOTE)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. A geotechnical report that includes test boring will be required.
2. All work in the right of way requires a DOTE permit.
3. The address 213 Goethe Street has been assigned for this new building. Please contact dteaddress@cincinnati-oh.gov for any questions on addressing.

Recommendations:

- None

Contact:

- **Morgan Kolks** | DOTE | 513-352-5285 | morgan.kolks@cincinnati-oh.gov

Buildings & Inspections – Buildings

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

1. No comments at this time. Plans lack details.

Recommendations:

- None

Contact:

- **Robert Martin** | B&I Plans Exam | 513-352-2456 | robert.martin@cincinnati-oh.gov

Department of Community & Economic Development (DCED)

Immediate Requirements to move forward with project:

- None

Requirements to obtain Permits:

- None

Recommendations:

- None

Contact:

- **Marc Von Allmen** | DCED | 513-352-4549 | marc.vonallmen@cincinnati-oh.gov

Law Department

Immediate Requirements to move forward with project:

1. No comment at this time.

Requirements to obtain Permits:

- None

Recommendations:


- None

Contact:

- **Charles Martinez** | Law | 513-352-3359 | charles.martinez@cincinnati-oh.gov

This letter is not intended as the City's final approval of your project, but rather as an initial review and consultation to provide feedback from the City's various departments and to better coordinate between the City and developer. We hope you find this process both forthcoming and helpful.

Sincerely,



Rodney D. Ringer
Development Manager
RDR: rdr

ITEM 7 - Additional Attachments

McLean, Samantha

From: Vlad <vova06@gmail.com>
Sent: Monday, March 1, 2021 5:46 PM
To: kevin monroe
Cc: McLean, Samantha
Subject: Re: [External Email] Re: City Gospel Mission Plan

My thanks to both of you for being actively involved in this matter.

Additional questions could include the following:

1. How is this project different from those that exist in Anna Louise Inn/Housing?
2. What studies, if any, have been made with respect to property (de)valuation as a possible result of the project?
3. What economic-impact studies, if any, have been made?
4. If what Carol has stated about the project being intended for women only is true, how do the project administrators intend to determine the sex of a prospective resident in the project buildings?

Do they plan to ask (is it legal?) — or will they presume? If the latter, based on what characteristics?

And what if their presumption will later turn out to be wrong?

What if a person entering the project as a female decides to change her sex while staying there? Will that disqualify that person from remaining a tenant?

And what about transgender and non-binary individuals?

Thank you.

vv

On Mar 1, 2021, at 5:14 PM, kevin monroe <festavarian2@gmail.com> wrote:

Yes, I think they should be shared. I would like to know how many other neighborhoods in the region have FOUR homeless shelters. How many homeless shelters are there in Hyde Park, Oakley, Mt. Lookout or even Clifton? Our community here on the hill is a relatively small enclave, and four such units in this small area seems disproportionate to say the least. While Carol Gibbs pointed out that these are only for the female homeless,

apparently implying that females are more benign than males, the mailing I received did NOT specify this.

I presume that The Mission could change this presumed female predominance by fiat at any time without recourse for the neighbors. Additionally, these days, any person can claim "femaleness", regardless of their actual sex, so sex is not that relevant.

The City has for years encouraged its citizens to move closer to town, and when we do, this is what we have to confront in addition to the higher crime, noise, zoning issues etc.

The City is currently demolishing the Cable Building along Dorchester st. Why not use that soon-to-be-vacant site for the fourth building?

There are only so many "million dollar" city views still available on our hill, and I don't think a homeless shelter comes close to being the best use of that corner lot with its prime city view.

Thank you for allowing me to express my opinion.

Kevin Monroe

On Mon, Mar 1, 2021 at 1:26 PM McLean, Samantha <Samantha.McLean@cincinnati-oh.gov> wrote:

Hi Kevin,

I wanted to follow up and see if you'd like me to share your comments with the City Planning Commission or if your questions have been addressed. Please let me know by Wednesday morning.

Best,

Samantha

Samantha McLean | City Planner

City of Cincinnati | Department of City Planning
Two Centennial Plaza | 805 Central Avenue, Suite 720 | Cincinnati, OH 45202
513-352-4886 | [Facebook](#) | [Twitter](#) | [Website](#) | [Plan Cincinnati](#)

Pronouns: she, her, hers

<image001.png>

From: McLean, Samantha
Sent: Thursday, February 25, 2021 9:02 AM
To: festavarian2@gmail.com
Cc: vova06@gmail.com; sgibbs14@cinci.rr.com; Carol Gibbs <csbgibbs@aol.com>
Subject: RE: [External Email] Re: City Gospel Mission Plan

Hi Kevin,

Thank you for your email. I can share it with the City Planning Commission if you'd like; however, I see that Carol provided some information with you. I am also happy to answer any questions or connect you with the applicant. The application materials and more information can be found here:
<https://www.cincinnati-oh.gov/planning/planning-projects-and-studies/active-ongoing/city-gospel-mission-goethe-street-notwithstanding-ordinance/>

Best,

Samantha

Samantha McLean | City Planner

City of Cincinnati | Department of City Planning
Two Centennial Plaza | 805 Central Avenue, Suite 720 | Cincinnati, OH 45202
513-352-4886 | [Facebook](#) | [Twitter](#) | [Website](#) | [Plan Cincinnati](#)

Pronouns: she, her, hers

<image001.png>

From: Carol Gibbs <csbgibbs@aol.com>
Sent: Wednesday, February 24, 2021 8:09 PM

To: festavarian2@gmail.com

Cc: vova06@gmail.com; McLean, Samantha <Samantha.McLean@cincinnati-oh.gov>; sgibbs14@cinci.rr.com

Subject: [External Email] Re: City Gospel Mission Plan

External Email Communication

Kevin,

You most certainly are allowed to oppose this project but let me explain a couple of things that it, at least, appears that you are not aware of. Please correct me if I am wrong. The four buildings that are proposed here for renovations have been serving 20-30 women in transitional supportive housing for about 30 years on Goethe.....right below us. I have been here for 26 of those years and I have seen no increased drug or crime from these women coming out of rehab and putting their lives back on path. In fact, if you have seen the group of women who run up our street either early in the morning or late afternoon, those are our neighbors living in supportive housing below us. They live there an average of a year. They also volunteer on clean-up Mt Auburn days and are included on the Goethe street events by their neighbors.....new and old.

These are NOT homeless shelters !!

The new building(s) that are being proposed are for women coming out of the transitional living situations into permanent affordable housing. These are women who have gotten jobs and will be living there for possibly 4-5 years. The City.... and our neighborhood....supports and encourages affordable housing. City Gospel Mission, who run these programs, is a faith based non profit who, again, have been our neighbor for decades. They are good neighbors and good landlords and have owned all of this property the entire time that you have lived here and our property values have grown, Our property values have not been retarded by our supporting a group of women getting healthy !!

If you have any questions or want to yell at me, you know where I live.....

Carol

Carol Gibbs

President/CEO

MACDC

In a message dated 2/24/2021 5:10:59 PM Eastern Standard Time, festavarian2@gmail.com writes:

I am a resident of 107 Dorsey st., located immediately above the proposed projects for City Gospel Mission. Today, I received in the mail the plan for the proposed building activity on Goethe st. I STRONGLY OPPOSE the building/renovation of the multiple sites on Goethe as represented in the mailing. You are essentially converting what has, to date, been a quiet safe neighborhood into an enclave for the homeless. To locate 4 such structures in a localized area would lower property values for all of us in the general area who have chosen to live near to and support downtown Cincinnati. The inevitable drugs and crime that accompany any homeless population would obviously elevate the safety risk to all of us, our loved ones, and any visitors. I expect that my opinion is well represented among my neighbors, and that a significant legal challenge to this project should be expected.

Sincerely,

Kevin Monroe

122 PEETE STREET LLC
1060 JACKSON ST
COVINGTON KY 41011

168DORSEY LLC
3084 BARONS COVE
COVINGTON KY 41017

A RAN PROPERTIES LLC
146 148 MULBERRY ST
CINCINNATI OH 45202

AKKINS LLC
9461 OLD FOREST LN
LOVELAND OH 45140

ALLEN HERBERT J & DEBORAH ALLEN
KANE
144 DORSEY ST
CINCINNATI OH 45202

ALLEN SANDRA E
6307 SAUNDERS
APT. 2E
REGO PARK NY 11374

ALLEN SANDRA E
1844 GLENDON PL
CINCINNATI OH 45237

ANDERSON DONNIE & SONYETTA G
206 MULBERRY ST
CINCINNATI OH 45202

ANDROSKI BRET
140 DORSEY ST
CINCINNATI OH 45210

ANTONIDES ALLEN JAY & MELISSA LYN
4900 HUNT RD
UNIT 1133
CINCINNATI OH 45242

ARMENTROUT SUSAN E
113 DORSEY ST
CINCINNATI OH 45202

BAWTENHEIMER CHARLES ALAN &
VIVIAN ANN
162 DORSEY ST
CINCINNATI OH 45202

BELL GEORGE W
128 DORSEY ST
CINCINNATI OH 45202

BIRD DAVID G
6208 ERIE AVE
CINCINNATI OH 45227-2414

BROADNAX STANLEY E
1900 ELEANOR ST
CINCINNATI OH 45219-1803

BROWN SUSAN P
158 DORSEY ST
CINCINNATI OH 45202

BROWN TUTT CHANDA & DEMETRIA
TUTT
120 MULBERRY ST
CINCINNATI OH 45204

BSG2 LLC
1209 SYCAMORE ST
CINCINNATI OH 45202

BUILDING #1 LLC
2783 SUTTON PL
DOYLESTOWN PA 18902

BURWINKEL JOSEPH
84 MULBERRY ST
CINCINNATI OH 45202

CARRIES PLACE LLC
114 WEST 14TH ST
CINCINNATI OH 45202

CHARACTER HOMES HOLDINGS LLC
PO BOX 53842
CINCINNATI OH 45253

CHILCOAT JESSICA
207 DORSEY ST
CINCINNATI OH 45202

CITADEL BUILDING GROUP LTD
340 BOAL ST
CINCINNATI OH 45202

CLIFTON AVE 150 LLC
852 CYPRESS AVE APT
2C
RIDGEWOOD NY 11385

CLS PROPERTIES
1110 ALFRED ST
CINCINNATI OH 45214

COMMUNITY VIEWS LLC
220 E CLIFTON AVE
CINCINNATI OH 45202

COULTER LEE ANN
119 DORSEY ST
CINCINNATI OH 45202

CROSS CONRAD & ASHLEY TEUSINK-
CROSS
314 MULBERRY ST
CINCINNATI OH 45202

CURE PROPERTIES LLC
1947 AUBURN AVE
CINCINNATI OH 45219

CZANIK ERIC 150 MULBERRY ST CINCINNATI OH 45202	DAFFIN OTR LLC 5930 COUNTRYMEADOW LN CINCINNATI OH 45233	DIERKES VIRGINIA A 146 DORSEY ST CINCINNATI OH 45202
DOAN CHRISTOPHER W 170 DORSEY ST CINCINNATI OH 45202	DUDA MATTHEW E 1410 WALNUT ST APT #4 CINCINNATI OH 45202	DUKE ALEXANDRIA JADE & LEHR AARON JOSEPH 102 PEETE ST CINCINNATI OH 45202
EBER DEVELOPMENT LLC 411 OAK ST 2ND FLR CINCINNATI OH 45219	ED HOMES LLC PO BOX 53882 CINCINNATI OH 45253	EQUITY TRUST COMPANY FBO THOMAS R PRUCKNO IRA 111 PREVALENT DR OXFORD OH 45056
ERNST FRANK R & SARA J CONSOLIVER- ERNST 113 MULBERRY ST CINCINNATI OH 45202	FLORES HERIC 126 MULBERRY ST CINCINNATI OH 45202	FOURAS ANDREW 203-205 MULBERRY ST CINCINNATI OH 45202
FRAISER JASMINE 213 MULBERRY ST CINCINNATI OH 45202	FREESE CRAIG C & ASHLEY R SCOTT 134 MULBERRY ST CINCINNATI OH 45202	FRY HOLDINGS LLC 4780 FIELDS ERTEL RD CINCINNATI OH 45241
GIBBS STEVE 123 DORSEY ST CINCINNATI OH 45202	GILL JAMES & ANDREA MATTHEWS 131 HUNTINGTON PL CINCINNATI OH 45219	GRANT RICHARD C III 6733 DOON AVE CINCINNATI OH 45213
GREEN MICHAEL 317 MULBERRY ST CINCINNATI OH 45202	GRIFFITH CHRISTOPHER M & LEAH DYAN GRIFFITH 1761 SYCAMORE ST CINCINNATI OH 45202	HAILSTOCK FRANK 140 MULBERRY ST CINCINNATI OH 45202
HAMILTON ADAM 308 MULBERRY ST CINCINNATI OH 45202	HAMPTON JASON T & SARAH A CORLETT 95 MULBERRY ST CINCINNATI OH 45202	HARTMAN KATHLEEN M & DEBORAH A OOTEN 103 DORSEY ST CINCINNATI OH 45202
HAWKRIDGE CAPITAL PARTNERS LLC 716 SYCAMORE ST UNIT #1106 CINCINNATI OH 45202	HEIKENFELD JASON C & JESSICA M 136 DORSEY ST CINCINNATI OH 45202	HEIM TODD E 123 GOETHE ST CINCINNATI OH 45202
HENDRICKSON TAMI L 120 DORSEY ST CINCINNATI OH 45202	HERINGER PATRICK & SARAH JENKINS 142 PEETE ST CINCINNATI OH 45202	HERON DENISE F 131 MULBERRY ST CINCINNATI OH 45202

HEUSTIS DONNA LEE 151 GOETHE ST CINCINNATI OH 45202	HILDEBRAND ROGER N TR 115 DORSEY ST CINCINNATI OH 45202	HINES LEE MATTHEWS 121 DORSEY ST CINCINNATI OH 45202
HISTORIC LIMITED LIABILITY CO LLC 2575 QUEEN CITY AVE CINCINNATI OH 45238	HOOG STEVEN M 223 DORSEY ST CINCINNATI OH 45202	HOOG STEVEN M 1354 STATE ROUTE 133 BETHEL OH 45106
HORN GREGORY R 172-174 DORSEY ST CINCINNATI OH 45202	HTCTC PROPERTIES LLC 1805 dalton ave CINCINNATI OH 45214	HUTSLAR JEREMY & SARA 114 PEETE STREET CINCINNATI OH 45202
JOHNSON KEVIN 144 PEETE ST CINCINNATI OH 45202	KEY CAROLINE E 309 MULBERRY ST CINCINNATI OH 45202	KIRK LAUREN E 115 MULBERRY ST CINCINNATI OH 45202
KOENIG ERIC 201 DORSEY ST CINCINNATI OH 45202	KUNZE SCOTT & ELEA 312 MULBERRY CINCINNATI OH 45202	KUSNIER DANIEL C & KATILYN S 3674 SAYBROOK AVE CINCINNATI OH 45208
LEE RONALD 142 CLIFTON AVE CINCINNATI OH 45202	LEE RONALD 148 CLIFTON AVE CINCINNATI OH 45202	LEONARD GAVIN 215 PEETE ST CINCINNATI OH 45202
LIBERTY LLC 164 DORSEY ST CINCINNATI OH 45202	LICHTENFELD SAMANTHA G 128 MULBERRY ST CINCINNATI OH 45202	LOISELLE KRISTEN A & DEVON RICH 1763 SYCAMORE ST CINCINNATI OH 45202
LUGGEN JOSEPH M 324 MULBERRY ST CINCINNATI OH 45202	LUTTON DEAN G 3720 STEVENS PL CINCINNATI OH 45226	MAGNOLIA HEIGHTS LIMITED PARTNERSHIP 2170 GILBERT AVE SUITE 100 CINCINNATI OH 45206
MAHLE JACOB D & KRISTIN L WOESTE 127 MULBERRY ST CINCINNATI OH 45202	MARSH ANITRA C 132 MULBERRY ST CINCINNATI OH 45202	McKINNEY RANDALL N & CHRISTOPHER A SCOTT 133 GOETHE ST CINCINNATI OH 45202
MCKINNEY STONEY LEE P O BOX 19538 CINCINNATI OH 45219	MEINERS NICHOLE 3240 FAIRHAVEN LN CINCINNATI OH 45237	MONROE KEVIN D TR 107 DORSEY AVE CINCINNATI OH 45202

MORRIS-TAYLOR TRICIA
141 MULBERRY ST
CINCINNATI OH 45202

MULBERRY GREEN LLC
127 MULBERRY STREET
CINCINNATI OH 45202

NEAL DAVID T
211 OAKLEY AVE
LAWRENCEBURG IN 47025

NORED ALVERNA E
215 DORSEY ST
CINCINNATI OH 45202

NORED ALVERNA E @ 2
217 DORSEY ST
CINCINNATI OH 45202

NORTH RHINE LIMITED PARTNERSHIP
114 W 14TH ST
CINCINNATI OH 45202

OBRYANT MIKE
130 MULBERRY ST
CINCINNATI OH 45202

ORI ASSOCIATES II LLC
8322 ARBORCREST DRIVE
CINCINNATI OH 45236

OTR REVITALIZATION LIMITED
PARTNERSHIP % MODEL GROUP
1826 RACE ST
CINCINNATI OH 45202

PATTERSON KEVIN MICHAEL
1220 W BELMONT AVE
#4
CHICAGO IL 60657

PEARL JOHN S JR
152 DORSEY ST
CINCINNATI OH 45202

PEETE 214 LLC
852 CYPRESS AVE
APT #2C
RIDGEWOOD NY 11385

PIAT EIGHT LLC
4000 W 106 TH ST
STE 125-233
CARMEL IN 46032

PILCH BRIAN & CATHARYN
P O BOX 19781
CINCINNATI OH 45219

PREVEY MICHAEL P
505 MILTON ST
CINCINNATI OH 45202

PROPERTY ACQUISITION GROUP LLC
1701 VINE ST
CINCINNATI OH 45202

PURE DEVELOPMENT GROUP LLC
6220 ERIE AVE
CINCINNATI OH 45227

RABAH PROPERTIES LLC
617 FLEMING RD
CINCINNATI OH 45231

RADLEY JAMES W
125 GOETHE ST
CINCINNATI OH 45202

REAJ INVESTMENTS LLC
311 MULBERRY ST
CINCINNATI OH 45202

REDMOND HOLLY & MICHAEL
103 MULBERRY ST
CINCINNATI OH 45202

RELIFORD KADASHA
117 GOETHE ST
CINCINNATI OH 45210

RELIFORD KATARA E
PO BOX 19390
CINCINNATI OH 45219

ROBERTSON CARLOS & SHAWNIA
115 FOX HILLS LN
NORTH BEND OH 45052

ROEBEL PAMELA S
206 DORSEY STREET
CINCINNATI OH 45202

ROLLING RIVER CAPITAL LLC
6368 WEST HENRY RD
RIPLEY OH 45167

ROLLING RIVER CAPITAL LLC
6368 W HENRY RD
RIPLEY OH 45167

ROSE SHANNON
57 MULBERRY ST
CINCINNATI OH 45202

SCHWANER DEBORAH D
222 E CLIFTON AVE
CINCINNATI OH 45202

SCOTT MARY ELIZABETH
135 GOETHE ST
CINCINNATI OH 45202

SCOTT MORGAN F
209 DORSEY ST
CINCINNATI OH 45202

SEAL JOHN T
144 MULBERRY ST
CINCINNATI OH 45202

SEITZ LLC
7935 READING RD
CINCINNATI OH 45237

SHAH RONAK H
111 MULBERRY ST
CINCINNATI OH 45202

SHARP VILLAGE ANNEX LLC
114 W FOURTEENTH ST
CINCINNATI OH 45202

SHIFMAN JACOB MICHAEL & LAURA
RAE HOUSTON
160 GOETHE ST
CINCINNATI OH 45202

SMITH ANGELA
143 MULBERRY ST
CINCINNATI OH 45202

SMITH MARK RANDALL
117 MULBERRY ST
CINCINNATI OH 45202

SMITH MICHAEL
11127 CENTENNIAL AVE
CINCINNATI OH 45242

SPITZ M DOUGLAS
545 MILTON ST
CINCINNATI OH 45202

ST CLAIR GERALDINE
5638 RED CEDAR DR
CINCINNATI OH 45224

ST JOHN SAMUEL J
128 GOETHE ST
CINCINNATI OH 45202

SWEWAT LLC
PO BOX 141203
CINCINNATI OH 45250

SYCAMORE REAL ESTATE VENTURES
LLC
1322 PENDLETON ST
CINCINNATI OH 45202

TALBERT SERVICES INCORPORATED
2600 VICTORY PKY
CINCINNATI OH 45206

TBMG LLC
3665 ERIE AVE
CINCINNATI OH 45208

TITAN CAPITAL LLC
4370 ERIE AVE
CINCINNATI OH 45227

TOWER LEASING LLC
1418 CENTRAL PKY
SUITE 201
CINCINNATI OH 45202

TOWER LEASING LLC
8322 ARBORCREST DR
CINCINNATI OH 45236

UAM PROPERTIES LLC
1555 FAY RD
LOVELAND OH 45140

UCHTMAN JUSTIN R
119 MULBERRY ST
CINCINNATI OH 45202

UNTHERHASLBERGER ELMAR &
ELIZABETH HILTON
2584 MADISON RD #5
CINCINNATI OH 45208

UNUM INVESTMENT GROUP LLC
918 WINDSOR ST
#1
CINCINNATI OH 45206

UNUM INVESTMENT GROUP LLC
2344 KEMPER LN UNIT #
68011
CINCINNATI OH 45206

VINEYARD HOMES INC
122 DONALD DR
FAIRFIELD OH 45014

VITTENBERG VLADIMIR
109 DORSEY ST
CINCINNATI OH 45202

VONDERHAER PAULINE
1777 SYCAMORE ST
CINCINNATI OH 45202

VORHERR DAVID L
5968 CHEVIOT RD
CINCINNATI OH 45247

VORHERR DAVID L & LESTER
1103 RIDGEWAY CT
COVINGTON KY 41011

WARREN COLIN
124 DORSEY ST
CINCINNATI OH 45202

WAT GROUP LTD
1851 BALTIMORE AVE
CINCINNATI OH 45225

WDC LLC
P O BOX 1573
NEWPORT KY 41072-1573

WELTER ALEX & RYAN MEYER
223 GEOTHE ST
CINCINNATI OH 45202

WESTMORELAND CARL B JR
1901 AUBURN AVE
CINCINNATI OH 45219

WESTRICH TIMOTHY
3535 VISTA AVE
CINCINNATI OH 45208

WHEELER KEVIN P TR & TONI E TR
116 DORSEY ST
CINCINNATI OH 45202

WOLF TERRY
301 SEITZ ST
CINCINNATI OH 45202

OVER-THE-RHINE COMMUNITY
COUNCIL
PO BOX 662
CINCINNATI OH 45201

MT AUBURN COMMUNITY COUNCIL
PO BOX 19138
CINCINNATI OH 45219

CONROY AMY M
318 MULBERRY ST UNIT A
CINCINNATI OH 45202

COOK GRACE C
318 MULBERRY ST
CINCINNATI OH 45202

EHRMAN MATTHEW C & JENNY E
306 MULBERRY STREET
UNIT 3
CINCINNATI OH 45202

EQUITY TRUST COMPANY
306 MULBERRY
UNIT 2
CINCINNATI OH 45202

GROSSMANN THOMAS E & JOHN
DAVID
9867 BEECH DR
CINCINNATI OH 45231

GROSSMANN THOMAS E & JOHN
DAVID
9867 BEECH DR
CINCINNATI OH 45231

GROSSMANN THOMAS E & JOHN
DAVID
9867 BEECH DR
CINCINNATI OH 45231

KNAPKE CHAD & CARA
149 GOETHE ST
UNIT 1
CINCINNATI OH 45202

LARISON DAVID A & CARRIE L
143 GOETHE ST
UNIT 4
CINCINNATI OH 45202

MARLIN CHRISTOPHER & KATHERINE
149 GOETHE ST
UNIT 2
CINCINNATI OH 45202

PEREZ VICTOR SIBERIO
318 MULBERRY ST
#C
CINCINNATI OH 45202

WHITE PATRICIA
306 MULBERRY ST
CINCINNATI OH 45202

Date: March 17, 2021

To: Mayor and Members of City Council
From: Paula Boggs Muething, City Manager
Subject: **Liquor License – NEW**

202100979

FINAL RECOMMENDATION REPORT

OBJECTIONS: None

This is a report on a communication from the State of Ohio, Division of Liquor Control, advising of a permit application for the following:

APPLICATION: 23630010005
PERMIT TYPE: NEW
CLASS: C1 C2
NAME: DURBANS GREENHOUSE INC
DBA: NONE LISTED
3401 CLIFTON AV
CINCINNATI, OH 45220

On February 4, 2021 Clifton Towne Meeting was notified of this application and do not object.

Police Department Approval

David M. Laing, Assistant City Prosecutor
Law Department - Recommendation
☐ Objection ☐ No Objection

MUST BE RECEIVED BY OHIO DIVISION OF LIQUOR CONTROL BY: March 17, 2021

March 17, 2021

202101054

To: Mayor and Members of City Council

From: Paula Boggs Muething, City Manager

Subject: **Emergency Ordinance – Ohio Environmental Protection Agency
Water Pollution Control Loan Fund Grant**

Attached is an Emergency Ordinance captioned:

AUTHORIZING the City Manager to apply for, accept, and appropriate the sum of up to \$150,000 from the Ohio Environmental Protection Agency's Water Pollution Control Loan Fund for the purpose of providing financial assistance to Cincinnati homeowners with defective household sewage treatment systems; and **AUTHORIZING** the Director of Finance to deposit the grant funds into Public Health Research Fund 350.

This Emergency Ordinance would authorize the City Manager to apply for, accept and appropriate a grant in the amount up to \$150,000 from the Ohio Environmental Protection Agency's Water Pollution Control Loan Fund to help provide financial assistance to Cincinnati homeowners with defective household sewage treatment systems.

No new FTEs are associated with the grant, and the grant resources do not require matching local funds.

This Emergency Ordinance would also authorize the Finance Director to deposit the grant funds into Public Health Research Fund 350.

This Emergency Ordinance is in accordance with the Sustain goal to "Become a healthier Cincinnati" as described on page 181 of Plan Cincinnati (2012).

The reason for the emergency is the immediate need to provide funding to assist Cincinnati homeowners with expenses associated with defective household sewage treatment systems that can lead to public health issues.

The Administration recommends passage of this Emergency Ordinance.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment



EMERGENCY

LES

- 2021

AUTHORIZING the City Manager to apply for, accept, and appropriate the sum of up to \$150,000 from the Ohio Environmental Protection Agency's Water Pollution Control Loan Fund for the purpose of providing financial assistance to Cincinnati homeowners with defective household sewage treatment systems; and **AUTHORIZING** the Director of Finance to deposit the grant funds into Public Health Research Fund 350.

WHEREAS, a grant is available from the Ohio Environmental Protection Agency's Water Pollution Control Loan Fund, and funding from the grant will assist Cincinnati homeowners with expenses associated with defective household sewage treatment systems; and

WHEREAS, no new FTEs are associated with the grant, and the grant resources do not require matching local funds; and

WHEREAS, the Cincinnati Health Department applied for the grant on February 26, 2021, but funding will not be accepted without authorization from City Council; and

WHEREAS, this ordinance is in accordance with the "Sustain" goal to "Become a healthier Cincinnati" as described on page 181 of Plan Cincinnati (2012); now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the City Manager is authorized to apply for, accept, and appropriate a grant in an amount up to \$150,000 from the Ohio Environmental Protection Agency's Water Pollution Control Loan Fund for the purpose of providing financial assistance to Cincinnati homeowners with defective household sewage treatment systems.

Section 2. That Council hereby authorizes the Director of Finance to deposit the grant funds into Public Health Research Fund 350.

Section 3. That the proper City officials are authorized to do all things necessary and proper to comply with the terms of this grant and Sections 1 and 2 hereof.

Section 4. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to provide funding to assist Cincinnati homeowners with expenses associated with defective household sewage treatment systems that can lead to public health issues.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 17, 2021

To: Mayor and Members of City Council

202101066

From: Paula Boggs Muething, City Manager

Subject: Ordinance – Wasson Way Clean Ohio Trails Fund (COTF) Grant Application

Attached is an Ordinance captioned:

AUTHORIZING the City Manager to apply for grant resources from the Clean Ohio Trails Fund grant program to be awarded by the Ohio Department of Natural Resources in an amount up to \$500,000 for the purpose of providing resources for the construction of Phase 6a of the Wasson Way Trail project.

Approval of this Ordinance would authorize the City Manager to apply for grant resources in an amount up to \$500,000 from the Clean Ohio Trails Fund (COTF) through the Ohio Department of Natural Resources (ODNR), for the purpose of providing resources for the construction of Phase 6a of the Wasson Way Trail project, a shared use path for bicycles and pedestrians extending from near the intersection of Martin Luther King Jr. Drive and Reading Road in Avondale eastward through the City of Norwood, the Cincinnati neighborhoods of Evanston, Hyde Park, Oakley, and Mount Lookout, through the Village of Fairfax, and ending east of Wooster Road near its intersection with Red Bank Road in Columbia Township.

Local matching resources of approximately \$166,667 will be made available in future Department of Transportation & Engineering (DOTE) capital improvement program resources.

DOTE will have already applied for this grant due to the application deadline of March 15, 2021. However, DOTE will not accept grant funding without Council approval.

Construction of the Wasson Way Trail is in accordance with the “Connect” goal to “Develop an efficient multi-modal transportation system that supports neighborhood livability,” as well as the strategies to “Expand options for non-automotive travel,” and “Plan, design, and implement a safe and sustainable transportation system,” as described on pages 129-138 of Plan Cincinnati (2012).

The Administration recommends passage of this Ordinance.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment



AUTHORIZING the City Manager to apply for grant resources from the Clean Ohio Trails Fund grant program to be awarded by the Ohio Department of Natural Resources in an amount up to \$500,000 for the purpose of providing resources for the construction of Phase 6a of the Wasson Way Trail project.

WHEREAS, the planned Wasson Way Trail is a shared-use path for bicycles and pedestrians extending from the intersection of Martin Luther King Jr. Drive and Reading Road in Avondale eastward through the City of Norwood, the Cincinnati neighborhoods of Evanston, Hyde Park, Oakley, and Mount Lookout, through the Village of Fairfax, and ending east of Wooster Road near its intersection with Red Bank Road in Columbia Township; and

WHEREAS, grant resources are available from the Ohio Department of Natural Resources through the Clean Ohio Trails Fund (COTF) grant program, in an amount up to \$500,000; and

WHEREAS, the COTF grant would provide resources for Phase 6a of the Wasson Way Trail project; and

WHEREAS, the Department of Transportation and Engineering (DOTE) has already applied for this grant as the application period ended on March 15, 2021; and

WHEREAS, DOTE will not accept grant funding without Council approval; and

WHEREAS, the grant requires local matching resources in the amount of approximately \$166,667, which will be made available in future DOTE capital budget resources; and

WHEREAS, no additional FTEs are necessary for this grant; and

WHEREAS, the construction of the Wasson Way Trail is in accordance with the “Connect” goal to “Develop an efficient multi-modal transportation system that supports neighborhood livability,” as well as the strategies to “Expand options for non-automotive travel,” and “Plan, design, and implement a safe and sustainable transportation system,” as described on pages 129-138 of Plan Cincinnati (2012); now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the City Manager is authorized to apply for a grant from the Ohio Department of Natural Resources in an amount up to \$500,000 for the purpose of providing resources for the construction of Phase 6a of the Wasson Way Trail project.

Section 2. That the proper City officials are authorized to do all things necessary and proper to carry out the terms of the grant application program and Section 1 hereof.

Section 3. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 17, 2021

TO: Mayor and Members of City Council

FROM: Paula Boggs Muething, City Manager **202101067**

SUBJECT: **EMERGENCY ORDINANCE—Special Assessment for City Urban Forest Maintenance District**

The Urban Forestry assessment must be enacted by City Council every year to assure funding for street tree maintenance and planting. An ordinance must be approved by City Council to proceed with the street tree program in accordance with the resolution of necessity previously passed by City Council.


Attached hereto, is an emergency ordinance captioned:

DETERMINING to proceed with a special assessment for the Urban Forestry Program for the calendar year 2022, for the control of blight and disease of shade trees and for planting, maintaining, trimming, and removing shade trees in the public right-of-way in the City of Cincinnati's Urban Forestry Maintenance District.

January 21, 2021, the Council of the City of Cincinnati passed Resolution 5-2021 pursuant to Ohio Revised Code (O.R.C.) declaring the necessity of assessing \$0.21 per front foot for the control of blight and disease of shade trees within the public right-of-way. No objections were filed to the special assessment pursuant to O.R.C. Section 727.15.

This transmittal is the second step of a three-step process to establish the special urban forestry assessment for the City of Cincinnati for 2022.

The Administration recommends the adoption of this emergency ordinance.

Cc: Kara Kish, Director of Parks 
R. Hunt, C. Sherman

Attachment I – Emergency Ordinance

EMERGENCY

City of Cincinnati

KKF

BWb

An Ordinance No. _____ - 2021

DETERMINING to proceed with a special assessment for the Urban Forestry Program for the calendar year 2022, for the control of blight and disease of shade trees and for planting, maintaining, trimming, and removing shade trees in the public right-of-way in the City of Cincinnati's Urban Forestry Maintenance District.

WHEREAS, on January 21, 2021, Council passed Resolution No. 5-2021 pursuant to Ohio Revised Code ("O.R.C.") Section 727.12, declaring the necessity of continuing the Urban Forestry Program for the control of blight and disease of shade trees and for planting, maintaining, trimming, and removing shade trees in the public right-of-way in the City's Urban Forestry Maintenance District, for the calendar year 2022; and

WHEREAS, under Resolution 5-2021, Council also authorized the assessment of properties within the Urban Forestry Maintenance District at the rate of \$0.21 per front foot, and the estimated assessments were prepared and placed on file in the Office of the Clerk of Council; and

WHEREAS, no objections were filed to the special assessment pursuant to O.R.C. Section 727.15; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the Council of the City of Cincinnati is determined to proceed with the Urban Forestry Program for the control of blight and disease of shade trees within the public right-of-way and for planting, maintaining, trimming, and removing shade trees along the streets of the City of Cincinnati's Urban Forestry Maintenance District for the year 2022 as set out and approved in accordance with the provisions of Resolution No. 5-2021.

Section 2. That the estimated assessments, as prepared and filed in the Office of the Clerk of Council, are hereby approved and adopted.

Section 3. That no claim for damages has been filed pursuant to O.R.C. Section 727.18.

Section 4. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to determine the need to proceed with the assessment before Council passes the levying ordinance required by statute.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 17, 2021

202101068

To: Mayor and Members of City Council

From: Paula Boggs Muething, City Manager

Subject: Emergency Ordinance – Donation for Ezzard Charles Statue Plaza

Attached is an Emergency Ordinance captioned:

AUTHORIZING the City Manager to accept and deposit a donation in an amount of \$100,000 from the Cincinnati Parks Foundation into Fund No. 430, “Parks Private Endowment,” for the purpose of providing resources for the design and construction of the accessible plaza for the Ezzard Charles statue in Laurel Park; **ESTABLISHING** new capital improvement program project account no. 980x203x212009, “Ezzard Charles Statue Plaza,” for the purpose of providing resources for the design and construction of the accessible plaza for the Ezzard Charles statue in Laurel Park; and further **AUTHORIZING** the transfer and appropriation of \$100,000 from the unappropriated surplus of Fund No. 430, “Parks Private Endowment,” to newly established capital improvement program project account no. 980x203x212009, “Ezzard Charles Statue Plaza.”

This Emergency Ordinance authorizes the establishment of new capital improvement program project account no. 980x203x212009, “Ezzard Charles Statue Plaza.” The Emergency Ordinance authorizes the City Manager to accept and deposit a donation of \$100,000 from the Cincinnati Parks Foundation to Fund 430, “Parks Private Endowment,” to provide resources for the design and construction of the accessible plaza for the Ezzard Charles statue in Laurel Park. The Emergency Ordinance also authorizes the transfer and appropriation of \$100,000 from the unappropriated surplus of Fund 430, “Parks Private Endowment,” to newly established capital improvement program project account no. 980x203x212009, “Ezzard Charles Statue Plaza.”

Design and construction of the accessible plaza for the Ezzard Charles statue is in accordance with the “Live” goal to “build a robust public life” and strategy to “develop and maintain inviting and engaging public spaces that encourage social interaction between different types of people” as described on pages 147 – 152 of Plan Cincinnati (2012).

The reason for the emergency is the immediate need to accept this donation within the timeframe necessary for construction to begin.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment





EMERGENCY

City of Cincinnati

KKF *BWB*

An Ordinance No. _____

- 2021

AUTHORIZING the City Manager to accept and deposit a donation in an amount of \$100,000 from the Cincinnati Parks Foundation into Fund No. 430, "Parks Private Endowment," for the purpose of providing resources for the design and construction of the accessible plaza for the Ezzard Charles statue in Laurel Park; **ESTABLISHING** new capital improvement program project account no. 980x203x212009, "Ezzard Charles Statue Plaza," for the purpose of providing resources for the design and construction of the accessible plaza for the Ezzard Charles statue in Laurel Park; and further **AUTHORIZING** the transfer and appropriation of \$100,000 from the unappropriated surplus of Fund No. 430, "Parks Private Endowment," to newly established capital improvement program project account no. 980x203x212009, "Ezzard Charles Statue Plaza."

WHEREAS, the Cincinnati Park Board is installing a statute of Ezzard Charles in Laurel Park in order to commemorate the long-time West End resident, who was an entrepreneur, renowned jazz enthusiast, and a brilliant Renaissance man, and most famously boxing's Heavyweight Champion of the World; and

WHEREAS, acceptance of the funds from a generous donation by the Cincinnati Parks Foundation will reimburse the City's costs for designing and constructing the accessible plaza for the Ezzard Charles statute in Laurel Park; and

WHEREAS, there is no match requirement associated with the acceptance of this donation; and

WHEREAS, there are no new FTEs associated with the acceptance of this donation; and

WHEREAS, this ordinance is in accordance with the "Live" goal to "Build a robust public life" and strategy to "Develop and maintain inviting and engaging public spaces that encourage social interaction between different types of people," as described on pages 147 – 152 of Plan Cincinnati (2012); now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the City Manager is hereby authorized to accept and deposit a donation in an amount up to \$100,000 from the Cincinnati Parks Foundation to Fund No. 430, "Parks Private Endowment," for the purpose of providing resources for the design and construction of the accessible plaza for the Ezzard Charles statue in Laurel Park.

Section 2. That new capital improvement program project account no. 980x203x212009, “Ezzard Charles Statue Plaza,” is hereby established for the purpose of providing resources for the design and construction of the accessible plaza for the Ezzard Charles statue in Laurel Park.

Section 3. That the City Manager is hereby authorized to transfer and appropriate up to \$100,000 from the unappropriated surplus of Fund No. 430, “Parks Private Endowment,” to newly established capital improvement program project account no. 980x203x212009, “Ezzard Charles Statue Plaza,” for the purpose of providing resources for the design and construction of the accessible plaza for the Ezzard Charles statue in Laurel Park.

Section 4. That the proper City officials are hereby authorized to do all things necessary and proper to comply with the terms of Section 1 through 3 herein.

Section 5. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to accept this donation within the timeframe necessary for construction to begin.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 17, 2021

TO: Mayor and Members of City Council

FROM: Paula Boggs Muething, City Manager **202101069**

SUBJECT: **EMERGENCY ORDINANCE—Special Assessment for Shade Tree Program**

The Urban Forestry assessment must be enacted by City Council every year to assure funding for street tree maintenance and planting. An ordinance must be approved by City Council to proceed with the street tree program in accordance with the resolution of necessity previously passed by City Council.

Attached is an emergency ordinance captioned:

LEVYING a special assessment for the Urban Forestry Program for the calendar year 2022, for control of blight and disease of shade trees and for planting, maintaining, trimming, and removing shade trees within the public right-of-way in the City of Cincinnati's Urban Forestry Maintenance District.

January 21, 2021, the Council of the City of Cincinnati passed Resolution 5-2021 pursuant to Ohio Revised Code (O.R.C.) Section 727.12 declaring the necessity of assessing \$0.21 per front foot for the control of blight and disease of shade trees within the public right-of-way. This emergency ordinance is the third and final step in the process to establish the special urban forestry assessment for the City of Cincinnati for 2022.

The Administration recommends the adoption of this emergency ordinance.

Cc: Kara Kish, Director of Parks *KSK*
R. Hunt, C. Sherman

Attachment I – Emergency Ordinance

City of Cincinnati

An Ordinance No. _____

KKF
- 2021 *BWL*

LEVYING a special assessment for the Urban Forestry Program for the calendar year 2022, for control of blight and disease of shade trees and for planting, maintaining, trimming, and removing shade trees within the public right-of-way in the City of Cincinnati's Urban Forestry Maintenance District.

WHEREAS, on January 1, 2021, Council passed Resolution No. 5-2021 pursuant to Ohio Revised Code Section 727.12, declaring the necessity of continuing the Urban Forestry Program for the control of blight and disease of shade trees and for planting, maintaining, trimming, and removing shade trees in the public right-of-way in the City's Urban Forestry Maintenance District, for the calendar year 2022; and

WHEREAS, under Resolution 5-2021, Council also authorized the assessment of properties within the Urban Forestry Maintenance District at the rate of \$0.21 per front foot, and the estimated assessments were prepared and placed on file in the Office of the Clerk of Council; and

WHEREAS, notice of the passage of the resolution was published in a newspaper of general circulation as required by law, and notice by certified mail has been completed to the property owners for whom the assessment amount exceeds \$249.00; and

WHEREAS, there are no outstanding objections to the estimated assessments; and

WHEREAS, on _____, 2021, Council passed Ordinance No. _____-2021 determining to proceed with the special assessment; and

WHEREAS, Council has determined that the actual cost of the Urban Forestry Program does not exceed the estimated cost for the Program for the year 2022; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That there is hereby levied, in accordance with Ohio Revised Code Chapter 727, an assessment of \$0.21 per front foot upon the property abutting the public right-of-way and streets within the Urban Forestry Maintenance District, which includes all territory within, and coextensive with, the City's boundaries, for the portion of the cost and expense of said shade tree program for the Urban Forestry Maintenance District for the year 2022.

Section 2. That it is hereby determined that said assessments do not exceed the special benefits resulting from said Urban Forestry Program and do not exceed any statutory limitations.

Section 3. That the special assessment against each lot and parcel of land shall be payable in one annual installment to the Treasurer of Hamilton County, Ohio at the same time and in the same manner as real property taxes, due and payable in December 2021, are paid.

Section 4. That the City Treasurer and the Clerk of Council are hereby directed to certify said assessments to the Auditor of Hamilton County, Ohio to be placed by the Auditor on the Tax List and collected in the same manner as real property taxes are collected for December 2021, as provided by law.

Section 5. That said assessments, when collected, shall be placed into a fund for the purpose of paying the cost and expense of said Urban Forestry Program and shall be paid out upon proper vouchers in payment of such cost and expense.

Section 6. That the following costs shall be paid out of a fund provided to pay the City's portion of the cost and expense of said shade tree program: the cost of street intersections, any uncollectible assessments on property owned by the federal government or the State of Ohio, assessments on property owned by the City of Cincinnati, and any portion of the cost not specifically assessed.

Section 7. That the Clerk of Council is hereby directed to cause notice of this ordinance to be published once in a newspaper of general circulation within the City of Cincinnati.

Section 8. That this ordinance shall take effect and be in force from and after the earliest time allowed by law.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 17, 2021

202101077

To: Mayor and Members of City Council

From: Paula Boggs Muething, City Manager

Subject: Emergency Ordinance – ODNR REALM Grant

Attached is an Emergency Ordinance captioned:

ESTABLISHING new capital improvement program project no. 980x199x211923, "Nature Playscape – Bramble Park"; and further **AUTHORIZING** the City Manager to apply for, accept, and appropriate a grant in the amount of up to \$75,000 from the State of Ohio, Department of Natural Resources, Office of Real Estate & Land Management for the purpose of funding the design and construction of a new nature playscape at the Bramble Recreation Area, located at 6395 Bramble Avenue.

This Emergency Ordinance authorizes the City Manager to apply for, accept, and appropriate a grant in the amount of up to \$75,000 from the State of Ohio, Ohio Department of Natural Resources (ODNR) Office of Real Estate & Land Management (REALM) for the purpose of funding the design and construction of a new Nature Playscape at the Bramble Recreation Area located at 6395 Bramble Avenue. In addition, this Emergency Ordinance also authorizes the Finance Director to establish new capital improvement program project account no. 980x195x211923, "Nature Playscape - Bramble Park," for the purpose of providing grant resources for the engineering, design, and construction of the Nature Playscape.

ODNR is a federally funded reimbursement grant program that provides 100% of project funding. The project was submitted at a projected total project cost of \$330,000 and may be approached in a phased concept. The Cincinnati Recreation Commission (CRC) will enlist the help of community partners (Groundworks, Cincinnati Parks Department) to complete as much of the project as possible given the initial amount received. The CRC will provide engineering and design services, labor contributed by department staff and enlist community volunteers to leverage all available resources for project completion.

The grant requires no local match, and no new FTE are associated with the grant. Recreation has applied for the grant but will not accept any resources without City Council approval.

This Emergency Ordinance is in accordance with the “Live” goal to “Create a more livable community,” as described on page 156 of Plan Cincinnati (2012).

The reason for the emergency is the immediate need to assure timely acceptance of grant funds.

The Administration recommends passage of this Emergency Ordinance.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment





EMERGENCY

City of Cincinnati

CFG *BWB*

An Ordinance No. _____

ESTABLISHING new capital improvement program project no. 980x199x211923, “Nature Playscape – Bramble Park”; and further **AUTHORIZING** the City Manager to apply for, accept, and appropriate a grant in the amount of up to \$75,000 from the State of Ohio, Department of Natural Resources, Office of Real Estate & Land Management for the purpose of funding the design and construction of a new nature playscape at the Bramble Recreation Area, located at 6395 Bramble Avenue.

WHEREAS, the Ohio Department of Natural Resources administers a federally funded reimbursement grant program that provides 100% of project funding; and

WHEREAS, the Cincinnati Recreation Commission (“CRC”) plans to design and construct a new nature playscape at the Bramble Recreation Area (“the playscape”); and

WHEREAS, the playscape has a projected total cost of \$330,000 and may be completed in a phased concept; and

WHEREAS, the CRC will provide engineering and design services, donate staff labor, and enlist the help of community partners to leverage all available resources for the playscape’s completion; and

WHEREAS, the CRC has already applied for the grant, but will not accept any funds without approval of Council; and

WHEREAS, there are no match requirements or new FTEs associated with the acceptance of this grant; and

WHEREAS, capital improvements to CRC facilities are in accordance with the “Live” goal to “create a more livable community” as described on page 156 of Plan Cincinnati (2012); now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the Finance Director is hereby authorized to establish new capital improvement program project account no. 980x199x211923, “Nature Playscape – Bramble Park,” for the purpose of funding the design and construction of a new nature playscape at the Bramble Recreation Area, located at 6395 Bramble Avenue.

Section 2. That the City Manager is hereby authorized to apply for, accept, and appropriate an amount of up to \$75,000 from the State of Ohio, Department of Natural Resources, Office of Real Estate & Land Management into the newly established capital improvement program project account no. 980x199x211923, "Nature Playscape – Bramble Park."

Section 3. That the proper City officials are hereby authorized to do all things necessary and proper to comply with the terms of Sections 1 and 2 hereof.

Section 4. That this ordinance shall be an emergency measure necessary for the preservation of public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to assure timely acceptance of grant funds.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 17, 2021

202101078

To: Mayor and Members of City Council

From: Paula Boggs Muething, City Manager

Subject: **Emergency Ordinance – Ohio School Threat Assessment Training Grant**

Attached is an Emergency Ordinance captioned:

AUTHORIZING the City Manager apply for, accept, and appropriate a grant in the amount of up to \$68,000 from the Ohio Attorney General; and **AUTHORIZING** the appropriation of the sum of \$60,000 to Police's General Fund personnel operating budget account no. 050X228X7100, and \$8,000 to Cincinnati Police Department General Fund non personnel operating budget account no. 050X228X7200, for the purpose of funding threat assessment training for school resource officers and conducting school building vulnerability assessments.

This Emergency Ordinance would authorize the City Manager to apply for, accept, and appropriate a grant for up to the amount of \$68,000 from the Ohio Attorney General for School Resource Officers to complete Threat Assessment Training and conduct school building vulnerability assessments.

The Ohio Attorney General's Office, in consultation with the Ohio Department of Education, have made grants available to provide supplies and equipment for School Safety, in addition to training and educational resources related to safety. Grant funding is available to Police Agencies whose School Resource Officers work with their local school districts to conduct school building vulnerability assessments to provide the school with a 360-degree picture of potential security gaps which helps the school identify the type of supplies, equipment or resources they need. All School Resource Officers must complete an 11-module Ohio School Threat Assessment Training prior to conducting any school vulnerability assessments. Grant funding is \$500 per officer trained and \$300 per school building assessed.

There are no new FTE or matching funds required with this grant. This Emergency Ordinance will also authorize the Finance Director to deposit the grant funds into General Fund revenue account no. 050x228x5321x8533.

This Emergency Ordinance is in accordance with the "Live" goal to "Support and Stabilize our neighborhoods" as described on page 156 of Plan Cincinnati (2012).

The reason for the emergency is the immediate need to conduct the school building vulnerability assessments.

The Administration recommends passage of this Emergency Ordinance.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment





EMERGENCY

City of Cincinnati

AEP

AWB

An Ordinance No. _____

- 2021

AUTHORIZING the City Manager apply for, accept, and appropriate a grant in the amount of up to \$68,000 from the Ohio Attorney General; and **AUTHORIZING** the appropriation of the sum of \$60,000 to Police's General Fund personnel operating budget account no. 050X228X7100, and \$8,000 to Cincinnati Police Department General Fund non personnel operating budget account no. 050X228X7200, for the purpose of funding threat assessment training for school resource officers and conducting school building vulnerability assessments.

WHEREAS, the Ohio Attorney General's Office, in consultation with the Ohio Department of Education, has made grants available to provide supplies and equipment for school safety, including training and educational resources; and

WHEREAS, the grant funding is available to support police agencies whose school resource officers work with their local school districts to conduct school building vulnerability assessments to provide the school with a 360-degree picture of potential security gaps and identify any needed supplies, equipment, or resources; and

WHEREAS, acceptance of the grant funding requires the school resource officers to complete an 11-module Ohio School Threat Assessment Training prior to conducting any school vulnerability assessments; and

WHEREAS, Cincinnati school resource officers already have received training under this program, but grant funds will not be accepted unless this ordinance is approved by Council; and

WHEREAS, the grant does not require matching funds, and there are no new FTEs associated with the grant; and

WHEREAS, funding threat assessment training for school resource officers and conducting school building vulnerability assessments is in accordance with the "Live" goal to "Support and Stabilize our neighborhoods," as described on page 164 of Plan Cincinnati (2012); now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the City Manager is hereby authorized to apply for, accept, and appropriate a grant in the amount of up to \$68,000 from the Ohio Attorney General for the purpose of funding threat assessment training for school resource officers and conducting school building vulnerability assessments.

Section 2. That the Director of Finance is hereby authorized to deposit the grant funds into General Fund revenue account no. 050x8533.

Section 3. That the appropriation of the sum of \$60,000 to Cincinnati Police Department General Fund personnel operating budget account no. 050X228X7100 and \$8,000 to Police's General Fund operating budget account no. 050X228X7200 is hereby authorized for the purpose of funding school threat assessments and training.

Section 4. That the proper City officials are authorized to do all things necessary and proper to carry out the terms of Sections 1 through 3 hereof.

Section 5. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to conduct the school building vulnerability assessments.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

City of Cincinnati



Interdepartmental
Correspondence Sheet

March 10, 2021

To: Mayor and Members of City Council

202100841

From: Paula Boggs Muething, City Manager

Subject: Ordinance: New Classification and Salary Range for the Housing Services
Coordinator 336

Attached is an ordinance captioned:

ESTABLISHING the salary schedule and classification title for the new employment classification of Housing Services Coordinator, and enacting Section 336 of Division 0, Chapter 307 of the Cincinnati Municipal Code, in order to establish a new salary schedule and new classification title of Housing Services Coordinator.

The Human Resources Director has approved the request for this ordinance to establish the salary schedule and classification title for the new employment classification of Housing Services Coordinator. The Department of Human Resources has done due diligence and conducted appropriate evaluation to ensure that the new salary schedule and classification title is consistent with similar positions with factors considered throughout the evaluation process including, scope of work and responsibility. The creation of the classification is necessary to fit the needs of the City, and consistent with the organizational changes described herein.

City Administration recommends passage of this ordinance.

cc: William M. Brown, Human Resources Director

City of Cincinnati

KMB

AWB

An Ordinance No. _____

- 2021

ESTABLISHING the classification and salary range schedule for the new employment classification of Housing Services Coordinator and enacting Section 336 of Division 0, Chapter 307 of the Cincinnati Municipal Code, in order to establish a new salary schedule for this classification and classification title, consistent with the organizational changes described herein.

WHEREAS, the Building and Inspections Department and the City's Department of Human Resources are recommending the establishment of a new classification and salary range schedule for Housing Services Coordinator in order to recruit and retain quality employees; and

WHEREAS, the Housing Services Coordinator classification specification is necessary to ensure consistencies in the knowledge, skills, and abilities required to carry out the duties and tasks prescribed to the position; and

WHEREAS, the Housing Services Coordinator position and salary range provide an opportunity to increase effectiveness in the services provided by the Building and Inspections Department to the citizens of Cincinnati while maintaining a standard of excellence and a clear pathway for continued growth and career progression for employees; and

WHEREAS, the Building and Inspections Department and the City's Department of Human Resources conducted a market analysis to further assess the compensation range against industry trends, and the research confirmed that adopting the new salary range and classification title for the position is consistent with the organizational changes described herein, and internal cost of living adjustment comparisons as approved by City Council; and

WHEREAS, the City's Department of Human Resources has done due diligence and conducted appropriate internal comparisons to ensure that the new classification and salary range is consistent with the scope of services and the level of responsibility of the position of Housing Services Coordinator, considering factors including liability, scope of responsibility, judgment and independent action, and accountability throughout the evaluation process; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That Section 336 of Division 0, Chapter 307 of the Cincinnati Municipal Code is hereby enacted as shown below:

Classification	Minimum Annual	Maximum Annual
Housing Services Coordinator	42,448.00	43,930.00

Section 2. That the proper City officials are hereby authorized to do all things necessary and proper to carry out the terms of Section 1 herein.

Section 3. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 10, 2021

To: Mayor and Members of City Council 202100921

From: Paula Boggs Muething, City Manager

Subject: **Finance and Budget Monitoring Report for the Period Ending January 31, 2021**

The purpose of this report is to provide the City Council with the status of the City's Fiscal Year (FY) 2021 financial and operating budget conditions as of January 31, 2021, to note any significant variances, identify potential budget issues, and provide recommendations. The report is divided in two sections: revenues and expenditures. Various supplemental reports are attached to reflect forecasted revenue, actual revenue, expenditures, and commitments through January 31, 2021.

The following Citywide issues may impact the General Fund 050, Special Revenue Funds, and Enterprise Funds.

1. Overall, General Fund revenues are greater than projected by \$25.6 million through January. However, increased expenditures noted in this report highlight a potential need of \$18.7 million.
2. Due to the unanticipated separation of several long-time sworn public safety employees, combined with actual attrition outpacing projections, Police and Fire lump sum payments have already exceeded budgeted amounts and will require an additional appropriation. Police lump sum payment expenditures currently exceed the budget by \$1.3 million through January 31, 2021. As attrition continues in FY 2021, the CPD lump sum need will increase. Fire's additional lump sum payment needs are currently estimated at \$1.0 million for FY 2021.
3. As noted above, Fire has experienced several unanticipated separations. Attrition through January 31, 2021 has trended nearly 183% higher than expected, which has necessitated the use of overtime to backfill sworn positions. Additionally, Fire overtime usage has been further exacerbated by the use of sick leave as a result of the COVID-19 pandemic. The additional overtime need for Fire is currently projected at up to \$5.3 million.
4. The Approved FY 2021 Budget Update included a 2.0% cost of living adjustment (COLA) for sworn public safety employees (e.g. the International

Association of Fire Fighters (IAFF) and the Fraternal Order of Police (FOP)). A 5.0% COLA has been agreed to for the FOP, which will be effective May 2021 and will generate an estimated additional need of \$500,000 in FY 2021. A 5.0% COLA has also been agreed to for the IAFF, which will be effective retroactively to December 2020 and will generate an estimated additional need of \$1.2 million. Supplemental appropriations will be required.

5. Community Health Services Fund 395 revenues are being negatively impacted by COVID-19, especially in school-based medical and dental clinics due to the delay of in-person learning in Cincinnati Public Schools (CPS). Revenue trends will continue to be closely monitored. While Fund 395 is unlikely to meet revenue estimates, some expenditure savings are expected due to the reduction in school-based services. If additional Coronavirus Aid, Relief, and Economic Security (CARES) Act or other federal funds become available, certain activities may be eligible for reimbursement.
6. Due to COVID-19, many employers have instituted remote work policies and restaurants and retailers have limited capacity to promote social distancing. As a result, parking meter usage is down, which has negatively impacted Parking Meter revenue. However, many contractual service expenditures are based on revenue, so less revenue results in lower expenses in some cases. The Division of Parking Facilities currently projects a non-personnel savings of \$520,000. This will partially offset the reduction in revenue. The fund will be monitored closely to ensure expenditures do not outpace revenues.
7. The Approved FY 2021 Budget Update included a voluntary Early Retirement Incentive Program (ERIP) designed to reduce the City's workforce and generate long-term personnel savings. The budget assumed certain position vacancy savings and lump sum payment needs for departments with employees eligible to elect ERIP. The employee signup window is closed and a reconciliation of these savings and needs was required to realign resources between departments. Mid-year appropriation adjustment Ordinance No. 0030-2021 was passed on February 3, 2021 to reconcile the savings and needs. The program did result in net savings of \$3.5 million for FY 2021.
8. Certain budgeted reimbursements in various departments cannot be met due to natural turnover as well as turnover related the Early Retirement Incentive Program. Additionally, the COVID-19 pandemic has necessitated the suspension or reduction of certain projects and activities that are reimbursable. Therefore, a shortfall in personnel and benefits is expected in various departments.
9. Winter Operations resources are budgeted assuming an average winter. Above average snow and ice storms – particularly those seen in February – may result

in a budgetary need for the Department of Public Services. Other departments may also have unanticipated costs associated with winter weather mitigation and snow removal. Potential shortfalls will be addressed through the Final Adjustment Ordinance.

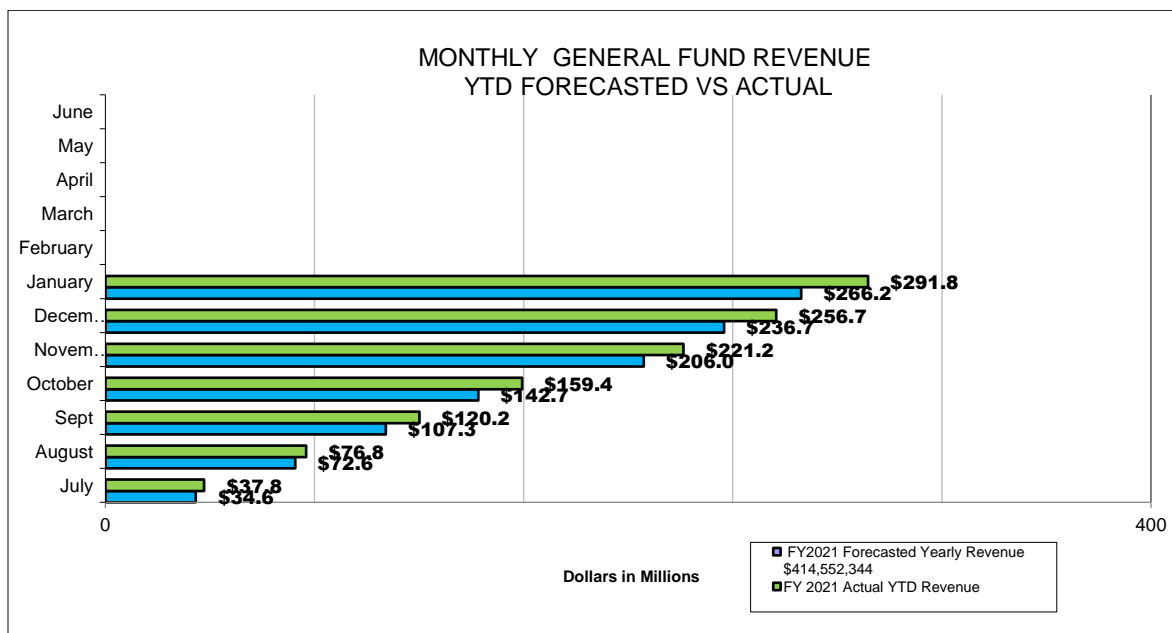
REVENUE

The following report provides an update on the City of Cincinnati's financial condition as of the month ending January 31, 2021. Variances are based on current year estimates and prior year activity in attached schedules.

A more detailed explanation of revenues is attached for review, including reports comparing current year actual revenue vs. forecasted revenue and prior year actual revenue vs. current year actual revenue. Both of those reports are presented on a monthly and year to date basis.

I. GENERAL FUND 050

The chart below portrays the performance of actual revenue collected against the forecasted revenue collected through January 31, 2021 and shows that actual revenue of \$291.8 million was above forecasted revenue of \$266.2 million by \$25.6 million.



The major revenue components of the General Fund are listed in the table below. This table highlights the year to date variance (favorable and unfavorable) in General Fund revenue collections as compared to forecasted revenue collections. Each major category that differs significantly from forecasted collections will be discussed in further detail.

GENERAL FUND REVENUE SOURCES

	FAVORABLE VARIANCE	(UNFAVORABLE) VARIANCE
General Property Tax	\$687,130	
City Income Tax	\$27,990,232	
Admission Tax		(\$1,287,485)
Short Term Rental Excise Tax	\$171,363	
Licenses & Permits		(\$134,887)
Fines, Forfeitures, & Penalties		(\$1,543,149)
Investment Income	\$182,768	
Local Government	\$361,172	
Casino	\$930,483	
Police		(\$171,665)
Buildings and Inspections	\$490,708	
Fire	\$455,654	
Parking Meter		(1,351,136)
Other		(1,216,635)
	\$31,269,510	(\$5,704,957)
Difference	\$25,564,552	

General Fund (favorable variance) is \$25.6 million above the amount forecasted thru January in the FY 2021 Budget. What follows is an explanation of significant variances of individual General Fund revenue components.

- 1. Income Tax (favorable variance) is \$28 million** above the forecasted amount. The work from home exception due to the pandemic has been challenged in the courts. If the courts rule in favor of the plaintiff, a large portion of these revenues would need to be refunded. The Income Tax component represents 71% of the total General Fund percentage. Administration continues to evaluate and watch for trends.
- 2. Admission Tax (unfavorable variance) is \$1.3 million** below estimate. Most venues that generate admission tax continue to be closed, or open with very limited capacity, due to the pandemic. This trend will continue for the foreseeable future therefore, the estimate in this revenue category will not be met for the fiscal year.
- 3. Fines, Forfeitures & Penalties (unfavorable variance) is down \$1.5 million.** Parking fines make up most of the revenue in this category, and parking fines continue to be significantly below estimate. As the pandemic continues and parking remains below normal around the City that will lead to this estimate not being met for the fiscal year.

4. **Casino (favorable variance) is up \$930k.** Despite the pandemic and limited capacities, the casino revenues continue to exceed estimates.
5. **Buildings and Inspections (favorable variance) is up \$491k.** This favorable variance is due to collections related to elevator inspections which are billed one time a year.
6. **Fire (favorable variance) is \$456k** above the forecasted amount. The Fire Department enlisted an outside vendor to improve their billing and collection processes. The positive results of that show with this favorable variance. The estimates are based on historical collections and will take some time to level out with the new processes.
7. **Parking Meter (unfavorable variance) is \$1.4 million** below estimate. The unfavorable variance is due to reduced economic activity as a result of the COVID-19 pandemic.
8. **Other (unfavorable variance) is \$1.2 million** below forecast. This category is made up of many small sources of revenue that fluctuate from time to time. Finance will continue to monitor these various revenue sources.

II. RESTRICTED FUNDS

- A. **Convention-Exposition Center (unfavorable variance) is down \$2.2 million.** Convention cancellations due to the COVID-19 pandemic have caused a decrease in revenue. This trend will continue for the foreseeable future therefore, the estimate in this revenue category will not be met for the fiscal year.
- B. **Municipal Golf (favorable variance) is up \$1.4 million.** The Cincinnati Recreation Commission experienced an increase in the utilization of the golf courses as people were looking for activities during the pandemic resulting in increased revenue.
- C. **Sawyer Point (unfavorable variance) is down \$288k.** The unfavorable variance is due to of less economic activity at the park as a result of the pandemic restrictions.
- D. **Recreation Special Activities (unfavorable variance) is down \$1.9 million.** The Cincinnati Recreation Commission has experienced a reduction in revenue due to the cancellation of recreation center programs as a result of the pandemic.
- E. **Hazard Abatement (unfavorable variance) is down \$426K.** The Vacant Buildings Maintenance License revenue is down due to the number of license

waivers requested due to the pandemic. In addition, Vacant Foreclosure License revenue is below estimate as a result of the reduced number of foreclosures being processed during the pandemic.

Variances in other restricted funds are due mostly to timing of billing and collections. By year end they will come more in line with the estimate. Finance will continue to monitor these funds.

EXPENDITURES

The following provides an update on the City of Cincinnati's operating budget position as of the month ending January 31, 2021. The attached Fund Summary Report provides the current budget, expenditures, and commitments of each appropriated fund. This report is presented on a year to date basis.

I. GENERAL FUND 050

As shown on the attached report, total expenditures are 55.2% of budget, and commitments are 58.6% of budget in the General Fund 050 as compared to the estimated period ending January 31, 2021, or 58.3% of the fiscal year. "Non-personnel expenses" are trending higher at 64.3% committed year to date due to encumbering twelve months of expenditures for certain commodities such as gas and electric costs, contractual services, and materials and supplies. This is not unusual for this reporting period.

The majority of departments have indicated their FY 2021 General Fund 050 appropriation will meet their budgetary needs through the end of the fiscal year. However, budget transfers may be necessary to move funds from divisions and programs with savings to others within the respective departments that have budget needs. These transfers will be included in the Final Adjustment Ordinance (FAO), which will be presented to the City Council in May 2021.

A. Budget Savings Identified

At this time, no General Fund 050 departments are projecting a savings at the end of FY 2021. Position vacancy savings and position eliminations associated with the Early Retirement Incentive Program, along with non-personnel reductions as part of the Approved FY 2021 Budget Update, have made it difficult for departments to achieve savings. Any savings identified will be available to support budget needs in other departments and programs as necessary. Interdepartmental transfers of funds from one department to another will be included in the FAO as appropriate.

B. Budget Needs Identified

Based on current expenditure projections, the following General Fund 050 departments are forecasting a budget need in FY 2021. The departments have been advised to manage their appropriated resources so that supplemental appropriations will not be required. However, the Administration will continue to closely monitor these budgets in the coming months and work with the respective departments to mitigate the need for supplemental appropriations. As appropriate, any remaining budget needs will be addressed in the FAO.

1. Cincinnati Police Department (\$8.4 million)

The Cincinnati Police Department (CPD) currently projects a total budget need of \$8.4 million due a variety of factors brought on by COVID-19 related disruptions, prior year accounting corrections, and high levels of lump sum payments made to officers departing sworn service. Several high tenure officers entering retirement has led to a record amount of lump sum payments, with additional amounts expected for retirements that have already been announced. While some retiring officers have chosen the option of remaining on the payroll while accrued leave time is dispensed, this reduces the expected level of Position Vacancy Allowance (PVA) the vacancy was expected to accumulate. In addition, disruptions to businesses due to COVID-19 have suppressed collections for reimbursable overtime, led to unplanned amounts of disaster overtime, and is expected to be a continued source of projected overtime expenditures as the fiscal year continues. While it is expected that additional retirements and resignations will decrease the overall need as the year progresses, all CPD personnel expenditures will continue to be strictly monitored and updated.

In addition to these personnel concerns, CPD has seen a higher amount of vehicle collisions as compared to past years, creating an estimated additional need in Automotive Repair by Garage of \$500,000. Lastly, due to a high level of warrant processing by Hamilton County, CPD will require an additional \$900,000 to meet its contractual requirements.

2. Cincinnati Fire Department (\$7.4 million)

The Cincinnati Fire Department projects a need of up to \$7.4 million by fiscal year end due to higher than anticipated lump sum payments, increased overtime, and increased holiday sellback and sick sellback. These items have also impacted fringe benefits expenses. The COVID-19 pandemic has necessitated the use of additional overtime to meet staffing and service requirements. Sick leave has increased due to COVID-19 diagnoses, exposure, or mandatory quarantine periods required while waiting for test results. COVID-19 related sick leave has been further exacerbated by the close living and working conditions of sworn staff in fire houses. For the identified needs that are directly related to COVID-19, the Administration will seek additional federal or state dollars to help offset the overage. Additionally, attrition through January 31, 2021 has trended 183% higher than expected due to unanticipated separations. Several separations are

attributed to medic unit staff burnout, which has increased since the start of COVID-19. If attrition trends do not curtail, the department will require additional overtime to backfill vacant positions. Lastly, the Fire Department indicated a possible non-personnel need for contractual services and automotive maintenance and repairs, which may be offset by uniform savings. Both the department and the Office of Budget and Evaluation will continue to closely monitor staffing trends and overtime needs.

3. Department of Public Services (\$1.0 million)

Stormwater rate increases over the previous two calendar years have resulted in expenses outpacing budgeted funds for utility expenses at city-owned buildings. Based on current billings, utility expenses could create a budget need of approximately \$500,000. Adjustments to the budget for increased stormwater fees will be made in future budget cycles. Additionally, the Department of Public Services is more aggressively filling key, street level positions such as Sanitation Helpers and Sanitation Specialists in order to provide greater operational capacity for critical Neighborhood Operations. Several position changes and unrealized ERIP savings in the Director's Office has created a personnel need. This has reduced the amount of Position Vacancy Allowance (PVA) that the department is expected to generate. As a result, there is an additional need of \$500,000. Personnel expenditures will continue to be strictly monitored and updated.

4. Department of Human Resources (\$136,000)

The Department of Human Resources projects a net need of up to \$136,000, which is required to begin public safety promotional and recruit testing.

5. City Manager's Office: Office of Environment and Sustainability (\$75,600)

The Office of Environment and Sustainability anticipates a total non-personnel budget need of \$75,600. Contractual services from Rumpke are projected to exceed the budget by \$69,400. Utility payments for the Center Hill Landfill are projected to create a \$6,200 shortfall in FY 2021. A need of \$20,000 in temporary personnel will be offset with personnel and fringe benefit savings from budgeted recycling cart service center positions that have not yet been filled.

C. Within Budget, Intradepartmental Budget Transfers May Be Needed

Numerous General Fund 050 departments have indicated the ability to manage their resources within their appropriation. However, budget adjustments within their departments may be required. These transfers are referred to as Intradepartmental Budget Transfers. Unless noted otherwise, these Intradepartmental Budget Transfers will be included in the FAO, which will be presented to the City Council for approval in May 2021.

1. Clerk of Council

The Clerk of Council's Office projects no savings or need at this time. However, slight variances in personnel expenditures will be monitored in future months with any needs addressed in the Final Adjustment Ordinance.

2. Enterprise Technology Solutions

The Department of Enterprise Technology Solutions projects no budget savings or need at this time.

3. City Manager's Office

The City Manager's Office projects no budget savings or need at this time. However, the Office of Human Relations anticipates a budget need of \$15,000 due to a shortage for the pension obligation to the United Way as well as strategic planning. Budget savings in other areas are expected to offset these needs.

4. City Manager's Office: Office of Communications

The Office of Communications projects no budget savings or need at this time.

5. City Manager's Office: Office of Budget and Evaluation

The Office of Budget and Evaluation does not project a savings or need currently, pending reimbursement processing.

6. City Manager's Office: Office of Performance and Data Analytics (OPDA)

The Office of Performance and Data Analytics (OPDA) projects no budget savings or need.

7. City Manager's Office: Internal Audit

Internal Audit expects no budget savings or need currently.

8. City Manager's Office: Emergency Communications Center (ECC)

The Emergency Communications Center anticipates no budget savings or need currently. However, due to COVID-19 and related social distancing and overnight curfews, call volume to the ECC has substantially decreased during late night hours, leading to less revenue in 9-1-1 Cell Phone Fees Fund 364. As a result, the ECC may not be able to meet their budgeted reimbursement amount from Fund 364 to the General Fund.

9. Department of Law

At this time, the Department of Law forecasts no budget need or savings for FY 2021. The department has some outstanding reimbursement interdepartmental (ID) bills that will be processed shortly.

10. Department of Finance

The Department of Finance currently has identified some savings in their FY 2021 personnel budget. Savings will be used to help offset needs for \$40,000 in expert

services and a \$50,000 need for additional CAFR consulting fees. The Department has several reimbursement ID bills in process. Additionally, the Purchasing Division is anticipating a shortfall in fringe benefits beginning in March due to reimbursements being less than expected. Transfers will be made in the spring with the Final Adjustment Ordinance (FAO) to account for a shortfall in fringe benefits and contractual services.

11. Department of Community and Economic Development

The Department of Community and Economic Development (DCED) projects a possible personnel need due to several unanticipated promotions. Additionally, DCED projects a contractual services need due to unexpected expenditures for telephone charges and computer peripherals. These unanticipated expenses are the result of COVID-19, which necessitated the provision of remote access to staff. The department also projects a fixed charge need due to several prior year leveraged support obligations that must now be fulfilled. However, budget savings in other areas are expected to offset these needs.

12. City Planning Department

The City Planning Department projects no budget need or savings at this time. However, a potential non-personnel need may arise due to temporary personnel, membership fees, postage, and software. Additionally, the department may not be able to fully meet their budgeted reimbursements by fiscal year-end due to unexpected position vacancies, which would create a personnel shortfall as well.

13. Citizen Complaint Authority

The Citizen Complaint Authority currently has some position vacancy savings in the General Fund; however, vacant positions were filled in December. Some of the savings will help offset expected needs in fringe benefits.

14. Department of Recreation

The Department of Recreation is on target pending the processing of outstanding interdepartmental (ID) bills for service. Once those are processed, there should be no issues to report. The department does expect to need a transfer within the current appropriation as part of the FAO to better align various expenditures.

15. Cincinnati Parks Department

The Parks Department is currently not projecting savings or a need for the FY 2021 General Fund budget. Variances are due to timing and will be used to offset salary reimbursements from other funds.

16. Department of Buildings and Inspections

The Department of Buildings and Inspections projects no budget savings or need at this time. The department will continue to process reimbursements regularly.

17. Department of Transportation & Engineering

Overall, the Department of Transportation and Engineering's monitoring report includes savings and needs within the department's appropriation. The department is behind on the processing of reimbursement ID bills. The department will continue to monitor all expenses but is confident at this time that any needs can be settled within their current appropriation.

18. Department of Economic Inclusion

The Department of Economic Inclusion does not project a savings or need at this time. The department may not be able to achieve its budgeted reimbursement amount, which may result in a personnel need. A potential non-personnel need may arise depending on which vendor is selected to perform the disparity study. Potential savings and needs will be monitored closely in the coming months.

II. ENTERPRISE FUNDS

Enterprise Funds account for any activity for which a fee is charged to external users for goods or services. If an activity's principal revenue source meets any one of the following criteria, it is required to be reported as an enterprise fund: (1) an activity financed with debt that is secured solely by pledge of the net revenues from fees and charges for the activity; (2) laws or regulations which require that the activity's costs of providing services, including capital costs, be recovered with fees and charges, rather than with taxes or similar revenues; or (3) pricing policies which establish fees and charges designed to recover the activity's costs.

A. Water Works Fund 101

The Greater Cincinnati Water Works (GCWW) anticipates an overall savings of approximately \$4.1 million primarily due to debt service savings, position vacancy savings, and non-personnel savings. Total estimated savings have been reduced from \$4.8 million to reflect debt schedule changes. GCWW has actively sought to reduce non-personnel costs to limit the potential fiscal impacts of COVID-19. An unexpected expense of \$150,000 is the result of the water main break on Riverside Drive. A transfer within appropriations is necessary prior to the FAO to better align appropriations with necessary expenses.

B. Parking System Facilities Fund 102

Fund 102 is currently 51.1% expended year to date. The Division of Parking Facilities within the Department of Community and Economic Development projects a net savings of \$315,000 from contractual services and debt service. Due to COVID-19 and related social distancing and remote work policies, parking garage usage is below expectations. As a result, both revenue and revenue-based expenses are trending below estimates. The expenditure savings will partially offset the projected loss of revenue. Revenue and expenditure trends will continue to be closely monitored.

Note: Starting in FY 2020, the Division of Parking Facilities was altered to functionally separate off-street parking (garages, etc.) and on-street parking (parking meters, etc.). The budget for off-street parking enterprises remains in the Parking System Facilities Fund. The budget for on-street parking enterprises has shifted to the Parking Meter Fund, which was reactivated in FY 2020.

C. Duke Energy Convention Center Fund 103

The Duke Energy Convention Center's Fund 103 has identified some savings in its non-personnel budget for FY 2021. Savings will be used to help offset needs in personnel.

D. General Aviation Fund 104

The General Aviation Fund is 54.1% expended year to date. The Department of Transportation and Engineering (DOTE) projects \$118,000 in personnel and fringe benefits needs due to winter operations overtime that has not yet been billed. DOTE also identified potential non-personnel needs that will be monitored leading up to the FAO.

E. Municipal Golf Fund 105

Municipal Golf Fund 105 is projecting neither a need nor a savings for FY 2021.

F. Stormwater Management Fund 107

Stormwater Management Fund 107 provides resources to various City departments. The major recipient of resources from this fund is the Stormwater Management Utility (SMU). The Department of Public Services and the Parks Department also receive appropriations from this fund. SMU does not currently project a savings or need. The Department of Public Services does not project a savings or need at this time.

On October 28, 2020, the City Council passed Ordinance No. 0358-2020 to transfer and appropriate the Private Lot Abatement Program (PLAP) from the Department of Public Services to the Department of Buildings and Inspections. The program transfer became effective November 1, 2020. Due to a large number of properties requiring services, non-personnel needs related to contract labor in the Private Lot Abatement Program (PLAP) in the Department of Buildings and Inspections may exceed appropriations by up to \$200,000. If an adjustment is warranted, it is not likely to be needed until the spring when the weather improves, and the program picks up again once winter has ended. This may require either a transfer within appropriations if savings are generated or a supplemental appropriation.

III. DEBT SERVICE FUND

Debt Service Funds account for the accumulation of resources for, and the payment of, principal and interest on the City's bonds issued in support of governmental activities.

A. Bond Retirement Fund 151

Bond Retirement Fund 151 is currently not projecting savings or a need for FY 2021.

IV. APPROPRIATED SPECIAL REVENUE FUNDS

Special Revenue Funds account for the proceeds of specific revenue sources (other than trusts for individuals, private organizations, or other governments, or for major capital projects) that are legally restricted to expenditures for specific purposes.

The Office of Budget and Evaluation, in cooperation with various City departments, reviewed appropriated special revenue funds to ensure the Approved FY 2021 Budget Update remains in balance. Based on expenditures and revenues through January 31, 2021, most special revenue funds are on target with regards to their budget and require no additional appropriations at this time. Any identified issues are highlighted in the narrative summaries provided below. If warranted, budget adjustments will be addressed in the FAO later in the fiscal year.

A. Street Construction, Maintenance & Repair Fund 301

The Department of Public Services is not projecting a need for FY 2021. The Department of Transportation and Engineering anticipates a potential non-personnel need due to pending ID bills. The fund is 38.6% expended through January and below the estimated 58.3%.

B. Income Tax-Infrastructure Fund 302

Income Tax-Infrastructure Fund 302 provides resources to several City departments. The Department of Transportation and Engineering (DOTE) is the largest recipient of resources from this fund. The Department of Public Services also receives Income Tax-Infrastructure resources and is not projecting a savings or need at this time. The fund is 53.4% expended through January and will continue to be monitored closely to ensure sufficient resources are allocated.

C. Parking Meter Fund 303

Fund 303 is currently 45.6% expended year to date. The Division of Parking Facilities within the Department of Community and Economic Development projects a savings of \$520,000 from expert services and credit card fees. Due to COVID-19 and related social distancing and remote work policies, parking meter usage is below expectations. As a result, both revenue and revenue-based expenses are trending below estimates. The expenditure savings will partially

offset the projected loss of revenue. Revenue and expenditure trends will continue to be closely monitored.

Note: Starting in FY 2020, the Division of Parking Facilities was altered to functionally separate off-street parking (garages, etc.) and on-street parking (parking meters, etc.). The budget for off-street parking enterprises remains in the Parking System Facilities Fund. The budget for on-street parking enterprises has shifted to the Parking Meter Fund, which was reactivated in FY 2020.

D. Municipal Motor Vehicle License Tax Fund 306

The Department of Public Services has indicated that it is not projecting a savings or need as this fund is 36.6% expended year to date and below the estimated 58.3%.

E. Sawyer Point Fund 318

Sawyer Point Fund 318 is currently not projecting savings or a need for FY 2021.

F. Recreation Special Activities Fund 323

Recreation Special Activities Fund 323 is projecting neither a need nor a savings for FY 2021. Due to the impacts of COVID-19, revenue in this fund is down significantly, but expenditures are also down based on reduced programming.

G. Cincinnati Riverfront Park Fund 329

Cincinnati Riverfront Park Fund 329 is currently not projecting savings or a need for FY 2021. Variances are due to timing and will be used to meet salary reimbursement obligations.

H. Hazard Abatement Fund 347

The Hazard Abatement Fund 347 is an appropriated fund that is for activities related to the Vacant Building Maintenance License (VBML) Fee, the Residential Rental Registration (RRI) program, and the Residential Rental Property Inspection Pilot program. The fund is currently 28.0% expended year to date and is not projecting a savings or need at this time.

I. Bond Hill Roselawn Stabilization & Revitalization Operations Fund 358

This fund was established in FY 2016 as a \$200,000 per year contract for five years for the Bond Hill Roselawn neighborhood. This fund is 50.7% committed for FY 2021.

J. 9-1-1 Cell Phone Fees Fund 364

9-1-1 Cell Phone Fees Fund 364 is an appropriated fund that is for expenditures related to the Emergency Communications Center. Revenue for this fund is based on a proportion of the state mandated 9-1-1 Cell Phone fees allocated by call volume. Due to COVID-19 and related social distancing and overnight curfews,

call volume to the ECC has substantially decreased during late night hours, leading to decreased revenues. As a result, the ECC may not be able to meet their budgeted reimbursement amount to the General Fund. The fund will continue to be monitored for trends in revenue.

K. Safe and Clean Fund 377

Safe and Clean Fund 377 is the appropriated fund that accounts for funds received for billboard leases and is pledged for Keep Cincinnati Beautiful (KCB) expenditures. This fund is currently 4.0% expended year to date.

L. Community Health Center Activities Fund 395

There are some savings in the non-personnel and personnel budgets due to reduced patient care and position vacancies during the COVID-19 shutdown that could be used to offset various needs in personnel and benefits, contractual services, materials and supplies, and fixed charges. Needs are due to increased expenses for medical supplies and services as a result of the COVID-19 pandemic. Additional needs are a result of higher than anticipated office rent exceeding the budgeted amount. Internal transfers and grant funds will help offset needs as well. The Department has several staff members assigned to COVID-19 related tasks; therefore, CARES Act funding will help cover these costs. Additionally, transfers may be made in the spring with the Final Adjustment Ordinance (FAO) if necessary.

Currently, Fund 395 is on track to fall short of revenue estimates for FY 2021. The delay in in-person learning for Cincinnati Public Schools has impacted revenue for school-based medical and dental clinics.

M. Cincinnati Health District Fund 416

COVID-19 related expenses such as overtime, ongoing temporary services and equipment rental result in needs in contractual services, materials and supplies, and personnel for the Health Department. The COVID-19 related expenses will be reimbursed by CARES Act funding. There is also a potential need for the remainder of FY 2021 for COVID-19 contact tracing and vaccine distribution; however, grants and other sources of funding are being pursued to help cover those costs. Vaccination expenses are expected to be reimbursed by the Federal Emergency Management Agency (FEMA). Additionally, needs result from fixed charges such as rent and software, and anticipated salaries, pension and employee health care expenses exceeding budgeted amounts. Security guard service and security upgrades including a surveillance camera system also are cause for needs by the Health Department.

The Department has identified some position vacancy and non-personnel savings that will be used to help offset the expected needs. Transfers may be made in the spring with the Final Adjustment Ordinance (FAO) if necessary.

*Note: At the beginning of FY 2020, the Health Department's General Fund 050 account was switched to the Cincinnati Health District Fund 416, which was established by state mandate in Ordinance No. 0215-2019 for the purpose of separately accounting for the support of the general operation of the Cincinnati Health Department.

N. Cincinnati Area Geographic Information System (CAGIS) Fund 449

The CAGIS Fund is 53.0% expended year to date and is projected to have neither a need nor a savings for FY 2021.

O. Streetcar Operations Fund 455

Streetcar Operations Fund 455 is projected to have neither a need nor a savings for FY 2021.

P. County Law Enforcement Applied Regionally (CLEAR) Fund 457

The CLEAR Fund is 27.7% expended year to date and is projected to have neither a need nor a savings for FY 2021.

Q. Income Tax-Transit Fund 759

Income Tax-Transit Fund 759 is 93.5% expended year to date and is projected to have neither a need nor a savings for FY 2021.

Summary

Through January 31, 2021, major budget issues include Police and Fire lump sum payments and cost of living adjustments, the Fire Department's staffing and overtime needs, COVID-19 related revenue decline in Community Health Center Activities Fund 395 and Parking Meter Fund 303, and the Early Retirement Incentive Program reconciliation. Departments have identified possible savings and shortfalls, which will continue to be monitored and updated monthly.

Submitted herewith are the following Office of Budget & Evaluation reports:

1. Fund Summary Report for the month ended January 31, 2021.

By approval of this report, City Council appropriates the revenues received in the various restricted funds on the attached Statement of Balances and as stated in greater detail on the records maintained by the Department of Finance, Division of Accounts & Audits. Such revenues are to be expended in accordance with the purposes for which the funds were established.

Submitted herewith are the following Department of Finance reports:

1. Comparative Statement of Revenue (Actuals, Forecast and Prior Year) as of January 31, 2021.

2. Audit of the City Treasurer's Report for the month ended December 31, 2020.
3. Statement of Balances in the various funds as of January 31, 2021.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director
Andrew M. Dudas, Interim Budget Director

Attachments

**CITY OF CINCINNATI
FUND SUMMARY
FOR FISCAL YEAR 2021
AS OF 01/31/2021**

FUND	FUND NAME	EXPENDITURE CATEGORY	CURRENT BUDGET	EXPENDED	PERCENT EXPENDED	ENCUMBERED	TOTAL COMMITTED	PERCENT COMMITTED	REMAINING BALANCE
050	General	PERSONNEL SERVICES	235,023,372.00	134,490,275.70	57.2%	.00	134,490,275.70	57.2%	100,533,096.30
		EMPLOYEE BENEFITS	96,049,444.00	55,769,912.93	58.1%	150,000.00	55,919,912.93	58.2%	40,129,531.07
		NON-PERSONNEL EXPENSES	65,656,786.00	28,821,720.67	43.9%	13,416,808.24	42,238,528.91	64.3%	23,418,257.09
		PROPERTIES	25,340.00	15,860.25	62.6%	.00	15,860.25	62.6%	9,479.75
*TOTAL FUND_CD 050			396,754,942.00	219,097,769.55	55.2%	13,566,808.24	232,664,577.79	58.6%	164,090,364.21
101	Water Works	PERSONNEL SERVICES	40,517,115.00	18,970,383.99	46.8%	.00	18,970,383.99	46.8%	21,546,731.01
		EMPLOYEE BENEFITS	16,775,720.00	8,539,202.72	50.9%	.00	8,539,202.72	50.9%	8,236,517.28
		NON-PERSONNEL EXPENSES	44,634,611.00	19,543,826.91	43.8%	11,363,184.22	30,907,011.13	69.2%	13,727,599.87
		DEBT SERVICE	43,754,380.00	23,627,332.93	54.0%	2,712,558.06	26,339,890.99	60.2%	17,414,489.01
*TOTAL FUND_CD 101			145,681,826.00	70,680,746.55	48.5%	14,075,742.28	84,756,488.83	58.2%	60,925,337.17
102	Parking System Facilities	PERSONNEL SERVICES	414,614.00	197,474.98	47.6%	.00	197,474.98	47.6%	217,139.02
		EMPLOYEE BENEFITS	149,830.00	90,371.97	60.3%	.00	90,371.97	60.3%	59,458.03
		NON-PERSONNEL EXPENSES	4,804,950.00	1,795,595.03	37.4%	1,821,087.57	3,616,682.60	75.3%	1,188,267.40
		DEBT SERVICE	2,241,790.00	1,808,483.13	80.7%	.00	1,808,483.13	80.7%	433,306.87
*TOTAL FUND_CD 102			7,611,184.00	3,891,925.11	51.1%	1,821,087.57	5,713,012.68	75.1%	1,898,171.32
103	Convention-Exposition Center	PERSONNEL SERVICES	42,000.00	29,630.00	70.5%	.00	29,630.00	70.5%	12,370.00
		EMPLOYEE BENEFITS	36,000.00	4,574.36	12.7%	.00	4,574.36	12.7%	31,425.64
		NON-PERSONNEL EXPENSES	10,262,430.00	3,976,377.12	38.7%	2,542,607.12	6,518,984.24	63.5%	3,743,445.76
		DEBT SERVICE	309,400.00	210,149.97	67.9%	.00	210,149.97	67.9%	99,250.03
*TOTAL FUND_CD 103			10,649,830.00	4,220,731.45	39.6%	2,542,607.12	6,763,338.57	63.5%	3,886,491.43
104	General Aviation	PERSONNEL SERVICES	819,374.00	457,022.15	55.8%	.00	457,022.15	55.8%	362,351.85
		EMPLOYEE BENEFITS	365,310.00	198,698.44	54.4%	.00	198,698.44	54.4%	166,611.56
		NON-PERSONNEL EXPENSES	955,360.00	484,499.86	50.7%	155,190.27	639,690.13	67.0%	315,669.87
		PROPERTIES	.00	.00		.00	.00		.00
		DEBT SERVICE	53,210.00	47,332.30	89.0%	.00	47,332.30	89.0%	5,877.70
*TOTAL FUND_CD 104			2,193,254.00	1,187,552.75	54.1%	155,190.27	1,342,743.02	61.2%	850,510.98
105	Municipal Golf	PERSONNEL SERVICES	191,170.00	51,959.52	27.2%	.00	51,959.52	27.2%	139,210.48
		EMPLOYEE BENEFITS	67,930.00	18,325.26	27.0%	.00	18,325.26	27.0%	49,604.74
		NON-PERSONNEL EXPENSES	4,656,590.00	2,375,854.32	51.0%	163,749.61	2,539,603.93	54.5%	2,116,986.07
		DEBT SERVICE	673,130.00	476,937.50	70.9%	.00	476,937.50	70.9%	196,192.50
*TOTAL FUND_CD 105			5,588,820.00	2,923,076.60	52.3%	163,749.61	3,086,826.21	55.2%	2,501,993.79

**CITY OF CINCINNATI
FUND SUMMARY
FOR FISCAL YEAR 2021
AS OF 01/31/2021**

FUND	FUND NAME	EXPENDITURE CATEGORY	CURRENT BUDGET	EXPENDED	PERCENT EXPENDED	ENCUMBERED	TOTAL COMMITTED	PERCENT COMMITTED	REMAINING BALANCE
107	Stormwater Management	PERSONNEL SERVICES	8,964,211.00	3,824,637.14	42.7%	.00	3,824,637.14	42.7%	5,139,573.86
		EMPLOYEE BENEFITS	3,603,180.00	1,682,655.63	46.7%	.00	1,682,655.63	46.7%	1,920,524.37
		NON-PERSONNEL EXPENSES	10,592,610.00	5,335,814.95	50.4%	1,597,626.95	6,933,441.90	65.5%	3,659,168.10
		PROPERTIES	295,000.00	9,288.00	3.1%	34,779.96	44,067.96	14.9%	250,932.04
		DEBT SERVICE	893,150.00	683,358.26	76.5%	.00	683,358.26	76.5%	209,791.74
*TOTAL FUND_CD 107			24,348,151.00	11,535,753.98	47.4%	1,632,406.91	13,168,160.89	54.1%	11,179,990.11
151	Bond Retirement - City	PERSONNEL SERVICES	239,036.00	96,761.73	40.5%	.00	96,761.73	40.5%	142,274.27
		EMPLOYEE BENEFITS	101,710.00	41,098.35	40.4%	.00	41,098.35	40.4%	60,611.65
		NON-PERSONNEL EXPENSES	3,387,500.00	1,139,425.07	33.6%	50,000.00	1,189,425.07	35.1%	2,198,074.93
		DEBT SERVICE	143,879,470.00	58,343,344.67	40.6%	.00	58,343,344.67	40.6%	85,536,125.33
*TOTAL FUND_CD 151			147,607,716.00	59,620,629.82	40.4%	50,000.00	59,670,629.82	40.4%	87,937,086.18
301	Street Construction Maintenance & Repair	PERSONNEL SERVICES	6,237,711.00	2,629,152.39	42.1%	.00	2,629,152.39	42.1%	3,608,558.61
		EMPLOYEE BENEFITS	2,714,640.00	1,379,024.35	50.8%	.00	1,379,024.35	50.8%	1,335,615.65
		NON-PERSONNEL EXPENSES	6,457,760.00	1,940,562.01	30.1%	1,154,318.34	3,094,880.35	47.9%	3,362,879.65
		PROPERTIES	.00	.00		.00	.00		.00
*TOTAL FUND_CD 301			15,410,111.00	5,948,738.75	38.6%	1,154,318.34	7,103,057.09	46.1%	8,307,053.91
302	Income Tax-Infrastructure	PERSONNEL SERVICES	11,009,743.00	5,495,399.82	49.9%	.00	5,495,399.82	49.9%	5,514,343.18
		EMPLOYEE BENEFITS	4,156,980.00	2,454,846.72	59.1%	.00	2,454,846.72	59.1%	1,702,133.28
		NON-PERSONNEL EXPENSES	4,556,380.00	2,573,947.34	56.5%	458,088.86	3,032,036.20	66.5%	1,524,343.80
*TOTAL FUND_CD 302			19,723,103.00	10,524,193.88	53.4%	458,088.86	10,982,282.74	55.7%	8,740,820.26
303	Parking Meter	PERSONNEL SERVICES	1,523,350.00	829,546.51	54.5%	.00	829,546.51	54.5%	693,803.49
		EMPLOYEE BENEFITS	612,870.00	385,813.67	63.0%	.00	385,813.67	63.0%	227,056.33
		NON-PERSONNEL EXPENSES	2,261,740.00	788,609.94	34.9%	318,796.12	1,107,406.06	49.0%	1,154,333.94
*TOTAL FUND_CD 303			4,397,960.00	2,003,970.12	45.6%	318,796.12	2,322,766.24	52.8%	2,075,193.76
306	Municipal Motor Vehicle License Tax	PERSONNEL SERVICES	1,438,930.00	661,179.66	45.9%	.00	661,179.66	45.9%	777,750.34
		EMPLOYEE BENEFITS	681,030.00	327,769.37	48.1%	.00	327,769.37	48.1%	353,260.63
		NON-PERSONNEL EXPENSES	1,583,140.00	367,298.79	23.2%	104,953.03	472,251.82	29.8%	1,110,888.18
*TOTAL FUND_CD 306			3,703,100.00	1,356,247.82	36.6%	104,953.03	1,461,200.85	39.5%	2,241,899.15

**CITY OF CINCINNATI
FUND SUMMARY
FOR FISCAL YEAR 2021
AS OF 01/31/2021**

FUND	FUND NAME	EXPENDITURE CATEGORY	CURRENT BUDGET	EXPENDED	PERCENT EXPENDED	ENCUMBERED	TOTAL COMMITTED	PERCENT COMMITTED	REMAINING BALANCE
318	Sawyer Point	PERSONNEL SERVICES	615,770.00	58,150.28	9.4%	.00	58,150.28	9.4%	557,619.72
		EMPLOYEE BENEFITS	236,580.00	29,411.97	12.4%	.00	29,411.97	12.4%	207,168.03
		NON-PERSONNEL EXPENSES	695,080.00	146,622.64	21.1%	78,449.93	225,072.57	32.4%	470,007.43
		*TOTAL FUND_CD 318	1,547,430.00	234,184.89	15.1%	78,449.93	312,634.82	20.2%	1,234,795.18
323	Recreation Special Activities	PERSONNEL SERVICES	4,064,890.00	817,507.04	20.1%	.00	817,507.04	20.1%	3,247,382.96
		EMPLOYEE BENEFITS	412,550.00	133,759.36	32.4%	.00	133,759.36	32.4%	278,790.64
		NON-PERSONNEL EXPENSES	1,763,710.00	615,069.64	34.9%	142,750.97	757,820.61	43.0%	1,005,889.39
		PROPERTIES	13,440.00	.00	0.0%	.00	.00	0.0%	13,440.00
		*TOTAL FUND_CD 323	6,254,590.00	1,566,336.04	25.0%	142,750.97	1,709,087.01	27.3%	4,545,502.99
329	Cincinnati Riverfront Park	PERSONNEL SERVICES	510,530.00	7,340.82	1.4%	.00	7,340.82	1.4%	503,189.18
		EMPLOYEE BENEFITS	217,260.00	7,752.53	3.6%	.00	7,752.53	3.6%	209,507.47
		NON-PERSONNEL EXPENSES	298,040.00	138,929.79	46.6%	43,724.89	182,654.68	61.3%	115,385.32
		*TOTAL FUND_CD 329	1,025,830.00	154,023.14	15.0%	43,724.89	197,748.03	19.3%	828,081.97
347	Hazard Abatement	PERSONNEL SERVICES	1,240,400.00	527,982.29	42.6%	.00	527,982.29	42.6%	712,417.71
		EMPLOYEE BENEFITS	581,200.00	202,683.71	34.9%	.00	202,683.71	34.9%	378,516.29
		NON-PERSONNEL EXPENSES	907,210.00	33,165.09	3.7%	16,215.25	49,380.34	5.4%	857,829.66
		*TOTAL FUND_CD 347	2,728,810.00	763,831.09	28.0%	16,215.25	780,046.34	28.6%	1,948,763.66
358	Bond Hill Roselawn Stabilization & Revitalization Operations	NON-PERSONNEL EXPENSES	200,000.00	101,467.53	50.7%	.00	101,467.53	50.7%	98,532.47
		*TOTAL FUND_CD 358	200,000.00	101,467.53	50.7%	.00	101,467.53	50.7%	98,532.47
364	9-1-1 Cell Phone Fees	PERSONNEL SERVICES	998,410.00	.00	0.0%	.00	.00	0.0%	998,410.00
		EMPLOYEE BENEFITS	.00	.00		.00	.00		.00
		NON-PERSONNEL EXPENSES	633,420.00	37,055.88	5.9%	3,503.26	40,559.14	6.4%	592,860.86
		*TOTAL FUND_CD 364	1,631,830.00	37,055.88	2.3%	3,503.26	40,559.14	2.5%	1,591,270.86
377	Safe and Clean	NON-PERSONNEL EXPENSES	51,010.00	2,037.49	4.0%	48,972.51	51,010.00	100.0%	.00
		*TOTAL FUND_CD 377	51,010.00	2,037.49	4.0%	48,972.51	51,010.00	100.0%	.00
395	Community Health Center Activities	PERSONNEL SERVICES	10,712,105.00	4,754,293.19	44.4%	.00	4,754,293.19	44.4%	5,957,811.81
		EMPLOYEE BENEFITS	4,180,370.00	1,886,821.71	45.1%	.00	1,886,821.71	45.1%	2,293,548.29
		NON-PERSONNEL EXPENSES	8,131,800.00	912,577.23	11.2%	2,615,929.45	3,528,506.68	43.4%	4,603,293.32
		*TOTAL FUND_CD 395	23,024,275.00	7,553,692.13	32.8%	2,615,929.45	10,169,621.58	44.2%	12,854,652.87

**CITY OF CINCINNATI
FUND SUMMARY
FOR FISCAL YEAR 2021
AS OF 01/31/2021**

FUND	FUND NAME	EXPENDITURE CATEGORY	CURRENT BUDGET	EXPENDED	PERCENT EXPENDED	ENCUMBERED	TOTAL COMMITTED	PERCENT COMMITTED	REMAINING BALANCE
416	Cincinnati Health District	PERSONNEL SERVICES	12,448,850.00	6,139,895.99	49.3%	.00	6,139,895.99	49.3%	6,308,954.01
		EMPLOYEE BENEFITS	4,652,750.00	2,441,776.20	52.5%	.00	2,441,776.20	52.5%	2,210,973.80
		NON-PERSONNEL EXPENSES	1,013,650.00	656,357.71	64.8%	306,394.13	962,751.84	95.0%	50,898.16
		PROPERTIES	2,920.00	.00	0.0%	.00	.00	0.0%	2,920.00
		*TOTAL FUND_CD 416	18,118,170.00	9,238,029.90	51.0%	306,394.13	9,544,424.03	52.7%	8,573,745.97
449	Cincinnati Area Geographic Information Systems (CAGIS)	PERSONNEL SERVICES	1,812,142.00	831,073.05	45.9%	.00	831,073.05	45.9%	981,068.95
		EMPLOYEE BENEFITS	623,439.00	305,344.26	49.0%	.00	305,344.26	49.0%	318,094.74
		NON-PERSONNEL EXPENSES	2,099,829.00	1,266,861.42	60.3%	66,257.58	1,333,119.00	63.5%	766,710.00
		PROPERTIES	.00	.00		.00	.00		.00
		*TOTAL FUND_CD 449	4,535,410.00	2,403,278.73	53.0%	66,257.58	2,469,536.31	54.5%	2,065,873.69
455	Streetcar Operations	PERSONNEL SERVICES	666,962.00	211,397.78	31.7%	.00	211,397.78	31.7%	455,564.22
		EMPLOYEE BENEFITS	164,155.00	21,589.51	13.2%	.00	21,589.51	13.2%	142,565.49
		NON-PERSONNEL EXPENSES	3,149,670.00	1,175,525.35	37.3%	517,472.72	1,692,998.07	53.8%	1,456,671.93
		*TOTAL FUND_CD 455	3,980,787.00	1,408,512.64	35.4%	517,472.72	1,925,985.36	48.4%	2,054,801.64
457	County Law Enforcement Applied Regionally (CLEAR)	PERSONNEL SERVICES	1,483,640.00	439,583.06	29.6%	.00	439,583.06	29.6%	1,044,056.94
		EMPLOYEE BENEFITS	430,300.00	159,053.98	37.0%	.00	159,053.98	37.0%	271,246.02
		NON-PERSONNEL EXPENSES	3,449,200.00	884,836.18	25.7%	450,479.63	1,335,315.81	38.7%	2,113,884.19
		*TOTAL FUND_CD 457	5,363,140.00	1,483,473.22	27.7%	450,479.63	1,933,952.85	36.1%	3,429,187.15
759	Income Tax-Transit	PERSONNEL SERVICES	202,120.00	95,136.66	47.1%	.00	95,136.66	47.1%	106,983.34
		EMPLOYEE BENEFITS	55,800.00	28,125.32	50.4%	.00	28,125.32	50.4%	27,674.68
		NON-PERSONNEL EXPENSES	27,370,222.76	25,712,968.27	93.9%	23,250.00	25,736,218.27	94.0%	1,634,004.49
		*TOTAL FUND_CD 759	27,628,142.76	25,836,230.25	93.5%	23,250.00	25,859,480.25	93.6%	1,768,662.51
TOTAL			879,759,421.76	443,773,489.31	50.4%	40,357,148.67	484,130,637.98	55.0%	395,628,783.78

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
COMPARATIVE STATEMENT OF REVENUE
AS OF 01 / 31 / 2021

	BUDGETED	ACTUAL THIS MONTH	A ACTUAL YTD	B FORECAST YTD	(A-B) / B ACTUAL VS FORECAST %	A-B ACTUAL VS FORECAST \$FAV(UNFAV)	C ACTUAL PRIOR YTD	(A-C) / B ACT YTD VS PRI YTD %	A-C ACT YTD VS PRI YTD \$FAV(UNFAV)
TAXES									
General Property Tax	27,417,813.00	.00	14,121,858.23	13,434,728.37	5.11	687,129.86	14,533,221.87	-3.06	-411,363.64
City Income Tax	262,000,000.00	27,501,406.16	185,819,031.58	157,828,800.00	17.73	27,990,231.58	174,795,219.16	6.98	11,023,812.42
Admissions Taxes	2,695,022.00	172,141.68	528,690.30	1,816,175.33	-70.89	-1,287,485.03	4,245,465.01	-204.65	-3,716,774.71
Short Term Rental Excise Tax	250,000.00	114,355.12	358,863.48	187,500.00	91.39	171,363.48	56,491.82	161.26	302,371.66
LICENSES & PERMITS									
Licenses & Permits	19,187,501.00	1,965,889.53	11,423,596.02	11,558,483.30	-1.17	-134,887.28	15,254,586.60	-33.14	-3,830,990.58
COURTS & USE OF MONEY & PROPERTY									
Fines, Forfeitures, & Penalties	5,840,000.00	228,087.48	2,071,226.69	3,614,376.00	-42.69	-1,543,149.31	3,626,711.08	-43.04	-1,555,484.39
Investment Income	4,125,000.00	.00	2,389,642.88	2,206,875.00	8.28	182,767.88	3,304,803.47	-41.47	-915,160.59
General Concessions, Rents, & Commission	199,750.00	6,657.29	29,790.32	124,723.90	-76.11	-94,933.58	31,242.27	-1.16	-1,451.95
REVENUE FROM OTHER AGENCIES									
Local Government	13,228,434.00	1,112,053.80	8,335,271.71	7,974,100.02	4.53	361,171.69	7,881,142.41	5.70	454,129.30
Other	2,561,467.30	130,000.00	2,091,908.09	1,461,060.95	43.18	630,847.14	22,437.28	141.64	2,069,470.81
Casino	4,000,000.00	1,898,461.10	4,250,482.51	3,320,000.00	28.03	930,482.51	6,280,305.18	-61.14	-2,029,822.67
CHARGES FOR CURRENT SERVICES									
General Government	10,375,500.00	82,263.19	10,254,044.88	9,743,632.05	5.24	510,412.83	10,478,814.50	-2.31	-224,769.62
Police	2,533,800.00	607,843.95	1,764,158.74	1,935,823.20	-8.87	-171,664.46	1,883,559.66	-6.17	-119,400.92
Buildings and Inspections	3,543,578.00	235,200.96	2,696,231.45	2,205,522.95	22.25	490,708.50	3,262,797.07	-25.69	-566,565.62
Miscellaneous Charges	749,500.00	-144,252.48	1,045,703.17	491,072.40	112.94	554,630.77	618,729.94	86.95	426,973.23
Fire	8,450,500.00	981,615.29	5,410,182.17	4,954,528.15	9.20	455,654.02	5,832,348.75	-8.52	-422,166.58
Parking Meter	3,419,800.00	84,983.00	642,949.00	1,994,085.38	-67.76	-1,351,136.38	2,281,762.00	-82.18	-1,638,813.00
MISCELLANEOUS REVENUE									
Miscellaneous Revenue	43,974,679.00	39,325.65	38,523,003.32	41,340,595.73	-6.82	-2,817,592.41	2,100,744.01	88.10	36,422,259.31
Total for General Fund - 050	414,552,344.30	35,016,031.72	291,756,634.54	266,192,082.71	9.60	25,564,551.83	256,490,382.08	13.25	35,266,252.46
TOTAL	414,552,344.30	35,016,031.72	291,756,634.54	266,192,082.71	9.60	25,564,551.83	256,490,382.08	13.25	35,266,252.46

Report 2

RUN DATE: 02/19/2021
RUN TIME: 08.38.09

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
COMPARATIVE STATEMENT OF REVENUE
AS OF 01 / 31 / 2021

PGM ID: Council Revenue All Funds
PAGE: 1

Fund - Name	BUDGETED	ACTUAL THIS MONTH	A ACTUAL YTD	B FORECAST YTD	(A-B) / B ACTUAL VS FORECAST %	A-B ACTUAL VS FORECAST \$FAV(UNFAV)	C ACTUAL PRIOR YTD	(A-C) / B ACT YTD VS PRI YTD %	A-C ACT YTD VS PRI YTD \$FAV(UNFAV)
101-Water Works	169,295,000.00	12,735,130.38	107,650,620.08	102,406,545.50	5.12	5,244,074.58	106,832,126.01	.80	818,494.07
102-Parking System Facilities	4,605,520.00	345,313.61	2,521,558.99	2,678,109.88	-5.85	-156,550.89	4,491,515.27	-73.56	-1,969,956.28
103-Convention-Exposition Cen	7,370,970.00	54,328.93	1,375,955.76	3,546,173.67	-61.20	-2,170,217.91	6,646,585.34	-148.63	-5,270,629.58
104-General Aviation	1,957,360.00	186,051.50	1,270,499.21	1,123,916.11	13.04	146,583.10	1,263,619.27	.61	6,879.94
105-Municipal Golf	4,790,000.00	25,936.88	4,065,605.35	2,676,652.00	51.89	1,388,953.35	3,230,351.28	31.21	835,254.07
107-Stormwater Management	25,000,000.00	2,108,617.56	15,096,448.65	14,132,500.00	6.82	963,948.65	12,560,872.90	17.94	2,535,575.75
301-Street Const Maintenance	15,568,120.00	1,066,788.55	8,732,720.14	9,295,724.45	-6.06	-563,004.31	8,532,509.64	2.15	200,210.50
302-Income Tax Infrastructure	16,322,580.00	1,782,223.45	12,150,387.11	9,832,722.19	23.57	2,317,664.92	11,581,385.30	5.79	569,001.81
303-Parking Meter	4,400,000.00	290,424.50	2,080,173.27	2,337,720.00	-11.02	-257,546.73	1,870,023.85	8.99	210,149.42
306-Municipal Motor Vehicle L	3,300,000.00	246,393.14	1,883,492.10	2,016,300.00	-6.59	-132,807.90	1,723,020.59	7.96	160,471.51
318-Sawyer Point	712,000.00	20,116.96	207,970.48	496,335.20	-58.10	-288,364.72	660,376.84	-91.15	-452,406.36
323-Recreation Special Activi	6,450,000.00	133,073.58	1,575,319.48	3,501,705.00	-55.01	-1,926,385.52	3,790,207.78	-63.25	-2,214,888.30
329-Cincinnati Riverfront Par	614,000.00	15,395.00	177,676.44	309,271.80	-42.55	-131,595.36	675,467.49	-160.96	-497,791.05
347-Hazard Abatement Fund	1,420,050.00	46,980.14	291,969.64	718,119.29	-59.34	-426,149.65	354,087.68	-8.65	-62,118.04
358-Bond Hill Roselawn Stabil	.00	.00	.00	.00	.00	.00	.00	.00	.00
364-911 Cell Phone Fees	1,300,000.00	.00	964,067.68	685,880.00	40.56	278,187.68	677,055.43	41.85	287,012.25
377-Citizen Safety	50,000.00	.00	19,946.12	24,370.00	-18.15	-4,423.88	25,955.02	-24.66	-6,008.90
395-Community Health Center	23,656,440.00	5,838,599.61	15,521,678.96	11,177,667.90	38.86	4,344,011.06	9,581,008.62	53.15	5,940,670.34
395-Health Services	.00	.00	.00	.00	.00	.00	.00	.00	.00
416-Cincinnati Health Distric	615,000.00	40,093.42	1,598,873.61	385,666.50	314.57	1,213,207.11	366,827.76	319.46	1,232,045.85
424-Cable Communications	.00	.00	.00	.00	.00	.00	.00	.00	.00
449-Cinti Area Geographic Inf	4,562,190.00	619,377.00	2,071,269.64	2,847,719.00	-27.27	-776,449.36	2,305,032.89	-8.21	-233,763.25
455-Streetcar Operations	2,499,246.00	352.04	241,466.73	907,976.07	-73.41	-666,509.34	1,115,350.48	-96.25	-873,883.75
457-CLEAR	5,267,910.00	569,644.85	1,714,163.38	2,441,149.49	-29.78	-726,986.11	1,060,907.02	26.76	653,256.36
759-Income Tax Transit	12,697,900.00	599,995.81	20,549,016.52	12,697,900.00	61.83	7,851,116.52	33,899,880.67	-105.14	-13,350,864.15



*Interdepartmental
Correspondence Sheet*

March 3, 2021

TO: Mayor and Members of City Council

FROM: Tara J Songer, Finance Manager, Accounts & Audits CJS

SUBJECT: Audit of the City Treasurer's Report for the Month Ended December 31, 2020

In accordance with Article IX, Section 5, of the Administrative Code of the City of Cincinnati, the Finance Manager, Accounts and Audits has examined the Statement of the City Treasurer for the month ended December 31, 2020 and has found it to be correct.

We have on file certifications from banking institutions showing the amounts on deposit as of December 31, 2020.

Certified US Bank Balance	\$20,711,450.19	
Certified Fifth Third Bank Balance	\$47,399,615.69	
General Account Bank Balance Total		\$68,111,065.88
Adjusted for:		
Outstanding Checks	(\$23,106,732.29)	
Net Deposits in Transit	\$2,139,296.13	
Reconciling Items	\$514,056.25	(\$20,453,379.91)
City of Cincinnati Treasurer's Balance		\$47,657,685.97

Parking System Facilities

Certified Fifth Third Bank Balance		\$128,462.76
Adjusted for:		
Net Deposits in Transit	(\$12,496.24)	
Outstanding Checks	\$0.00	
Interest	(\$2.23)	
Reconciling Items	\$643.36	(\$11,855.11)
City of Cincinnati Treasurer's Balance		\$116,607.65

Retirement System

Certified US Bank Balance			\$12,814,165.45
Adjustment for:			
	Outstanding Checks	(\$247,920.54)	
	Net Deposit in Transit	\$13,731,175.86	
	Reconciling Items	<u>\$0.00</u>	<u>\$13,483,255.32</u>
City of Cincinnati Treasurer's Balance			<u><u>\$26,297,420.77</u></u>



February 10, 2021

To: Mayor and Members of City Council

From: Nicole D. Lee, City Treasurer *nl*

Subject: There is transmitted herewith the report of the City Treasurer's Office, at December 31, 2020 submitted in accordance with Section 301-17 of the Cincinnati Municipal Code.

Cash on hand and in the bank to the credit of the following:

CASH ON HAND IN THE BANK:

General Account	\$47,657,685.97
Parking System Facilities Account	116,607.65
Retirement System Account	26,297,420.77
Total Treasury Balances	<u>\$74,071,714.39</u>

Investments, in the custody of the City Treasurer, to the credit of the following:

SECURITIES OF CITY OF CINCINNATI

Beginning Investments	\$1,061,248,375.42
Purchases	65,000,000.00
Maturities	(117,683,363.15)
Ending Investments	<u>\$1,008,565,012.27</u>

Attachment

**BANK RECONCILIATION
FOR THE MONTH ENDED 12/31/2021**

GENERAL ACCOUNT :

US Bank Balance - City of Cincinnati (#930-0443)	\$ 20,711,450.19
Fifth Third Balance - General Fund (#9990200041)	47,399,615.69
US Bank Balance for Controlled Disbursement Account	0.00
Certified General Account Bank Balance Total	\$ 68,111,065.88

Adjusted for :

Outstanding Checks	\$ (23,106,732.29)	
Net Deposits in Transit	2,139,296.13	
Controlled Disbursement Account	0.00	
Reconciling Items	514,056.25	(A)
		(20,453,379.91)

TREASURER'S BALANCE

\$ 47,657,685.97

PARKING SYSTEM FACILITIES :

Certified Fifth Third Bank Balance (#7021328955)	\$ 128,462.76
--	---------------

Adjusted for :

Outstanding Checks	\$	
Interest	(2.23)	
Net Deposits in Transit	(12,496.24)	
Reconciling Items	643.36	(B)
		(11,855.11)

TREASURER'S BALANCE

\$ 116,607.65

RETIREMENT SYSTEM :

Certified US Bank Balance	\$ 12,814,165.45
---------------------------	------------------

Adjusted for :

Outstanding Checks	\$ (247,920.54)	
Interest	0.00	
Net Deposits in Transit	13,731,175.86	
Reconciling Items	0.00	(C)
		13,483,255.32

TREASURER'S BALANCE

\$ 26,297,420.77

MISCELLANEOUS RECONCILING ITEMS

(A) GENERAL ACCOUNT :	\$ 514,056.25	508,430.34	Misc-Fifth Third
		5,625.91	Misc-US Bank
(B) PARKING ACCOUNT :	\$ 643.36	0.00	Unreceipted Deposits
		0.00	Returned Items
		643.36	Receipt Discrepancies
		0.00	Service Charge
(C) RETIREMENT SYSTEM:	\$ 0.00	0.00	Withdrawal Discrepancy
		0.00	Receipt Discrepancy
		0.00	Check disbursement error
		0.00	Service Charge

Contacts: (As of 6/19/01)

U.S. Bank - Donna Palmer (phone # 632-4752)

-Mary York is the person who sends information (Phone # 979-1752) (fax#979-1255)

050
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.25

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES - FUND SUMMARY
 APPROPRIATED FUNDS
 PRIOR YEAR BALANCES
 AS OF 01 / 31 / 2021

PGM ID: CFSFA103
 PAGE: 1

	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
050 General FUND	.00	12,857,636.15	8,396,980.81	4,460,655.34	2,182,587.61	2,278,067.73	.00
101 Water Works FUND	.00	8,200,621.01	4,044,779.74	4,155,841.27	2,450,049.76	1,705,791.51	.00
102 Parking System Facilities FUND	.00	774,764.37	252,246.68	522,517.69	522,517.69	.00	.00
103 Convention-Exposition Center FUND	.00	581,453.52	.00	581,453.52	581,453.52	.00	.00
104 General Aviation FUND	.00	113,612.88	72,678.79	40,934.09	40,782.93	151.16	.00
105 Municipal Golf FUND	.00	44,656.73	9,082.36	35,574.37	19,857.00	15,717.37	.00
107 Stormwater Management FUND	.00	1,712,181.20	877,846.30	834,334.90	632,981.68	201,353.22	.00
151 Bond Retirement - City FUND	.00	212,372.52	58,389.69	153,982.83	153,982.83	.00	.00
301 Street Const Maintenance & Rep FUND	.00	1,130,225.84	648,410.36	481,815.48	339,244.95	142,570.53	.00
302 Income Tax Infrastructure FUND	.00	601,939.59	309,413.35	292,526.24	258,032.33	34,493.91	.00
303 Parking Meter FUND	.00	148,471.87	55,871.78	92,600.09	92,600.09	.00	.00
306 Municipal Motor Vehicle Lic Tx FUND	.00	28,230.61	1,531.56	26,699.05	23,985.33	2,713.72	.00
318 Sawyer Point FUND	.00	97,055.20	54,237.11	42,818.09	6,392.00	36,426.09	.00
323 Recreation Special Activities FUND	.00	132,429.50	21,046.78	111,382.72	91,603.22	19,779.50	.00
329 Cincinnati Riverfront Park FUND	.00	71,616.19	17,289.34	54,326.85	20,860.50	33,466.35	.00
347 Hazard Abatement Fund FUND	.00	437,636.82	124,340.74	313,296.08	311,496.08	1,800.00	.00
358 Bond Hill Roselawn Stabilization & Revitalization Operations FUND	.00	27,859.64	27,859.64	.00	.00	.00	.00
364 911 Cell Phone Fees FUND	.00	301,159.16	294,115.15	7,044.01	7,044.01	.00	.00
377 Citizen Safety FUND	.00	48,781.76	36,138.74	12,643.02	12,643.02	.00	.00

395
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.25

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES - FUND SUMMARY
 APPROPRIATED FUNDS
 PRIOR YEAR BALANCES
 AS OF 01 / 31 / 2021

PGM ID: CFSFA103
 PAGE: 2

Report 4

	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
395 Community Health Center FUND	.00	748,791.93	274,941.75	473,850.18	250,740.09	223,110.09	.00
416 CIncinnati Health District FUND	.00	126,756.25	56,297.18	70,459.07	37,665.46	32,793.61	.00
449 Cinti Area Geographic Info Sys FUND	.00	596,391.18	108,669.82	487,721.36	487,721.36	.00	.00
455 Streetcar Operations FUND	.00	524,770.50	145,928.72	378,841.78	365,757.24	13,084.54	.00
457 CLEAR FUND	.00	209,553.06	140,368.90	69,184.16	69,184.16	.00	.00
701 Metropolitan Sewer District FUND	.00	247,705,233.96	114,269,184.62	133,436,049.34	10,051,447.60	123,384,601.74	.00
759 Income Tax Transit FUND	.00	4,500.00	4,500.00	.00	.00	.00	.00

050
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 1

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
050 General FUND	392,019,597.00	396,754,912.00	219,097,769.55	177,657,142.45	13,566,808.24	164,090,334.21	156,580.04
PERCENT EXPENDED:	55.2	PERCENT EXPENDED AND ENCUMBERED:			58.6		

101
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 2

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
101 Water Works FUND	145,570,180.00	145,681,826.00	70,680,746.55	75,001,079.45	14,075,742.28	60,925,337.17	53,663.00
PERCENT EXPENDED:	48.5	PERCENT EXPENDED AND ENCUMBERED:		58.2			

102
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 3

Report 4

<u>ORIGINAL AUTHORIZATION</u>	<u>ADJUSTED AUTHORIZATION</u>	<u>EXPENDITURES AMOUNT</u>	<u>UNEXPENDED BALANCE</u>	<u>ENCUMBRANCE AMOUNT</u>	<u>UNENCUMBERED BALANCE</u>	<u>PRE-ENCUMBERED AMOUNT</u>
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102 Parking System Facilities FUND

7,609,230.00	7,611,184.00	3,891,925.11	3,719,258.89	1,821,087.57	1,898,171.32	18,000.00
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PERCENT EXPENDED: 51.1 PERCENT EXPENDED AND ENCUMBERED: 75.1

103
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 4

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
103 Convention-Exposition Center FUND							
	9,649,830.00	10,649,830.00	4,220,731.45	6,429,098.55	2,542,607.12	3,886,491.43	.00
PERCENT EXPENDED:	39.6	PERCENT EXPENDED AND ENCUMBERED:		63.5			

104
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 5

Report 4

	<u>ORIGINAL AUTHORIZATION</u>	<u>ADJUSTED AUTHORIZATION</u>	<u>EXPENDITURES AMOUNT</u>	<u>UNEXPENDED BALANCE</u>	<u>ENCUMBRANCE AMOUNT</u>	<u>UNENCUMBERED BALANCE</u>	<u>PRE-ENCUMBERED AMOUNT</u>
104 General Aviation FUND							
	2,189,590.00	2,193,254.00	1,187,552.75	1,005,701.25	155,190.27	850,510.98	.00
PERCENT EXPENDED:	54.1	PERCENT EXPENDED AND ENCUMBERED:		61.2			

105
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 6

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
105 Municipal Golf FUND							
	5,588,820.00	5,588,820.00	2,923,076.60	2,665,743.40	163,749.61	2,501,993.79	.00
PERCENT EXPENDED:	52.3	PERCENT EXPENDED AND ENCUMBERED:		55.2			

107
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 7

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
107 Stormwater Management FUND							
	24,301,890.00	24,348,151.00	11,535,753.98	12,812,397.02	1,632,406.91	11,179,990.11	145,813.60
PERCENT EXPENDED:	47.4	PERCENT EXPENDED AND ENCUMBERED:		54.1			

151
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 8

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
151 Bond Retirement - City FUND	147,511,030.00	147,607,716.00	59,620,629.82	87,987,086.18	50,000.00	87,937,086.18	.00
PERCENT EXPENDED: 40.4 PERCENT EXPENDED AND ENCUMBERED:				40.4			

301
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 9

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
301 Street Const Maintenance & Rep FUND	15,401,690.00	15,406,511.00	5,948,738.75	9,457,772.25	1,154,318.34	8,303,453.91	.00
PERCENT EXPENDED:	38.6	PERCENT EXPENDED AND ENCUMBERED:		46.1			

302
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 10

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
302 Income Tax Infrastructure FUND	19,660,020.00	19,722,486.00	10,524,193.88	9,198,292.12	458,088.86	8,740,203.26	.00
PERCENT EXPENDED:	53.4	PERCENT EXPENDED AND ENCUMBERED:		55.7			

303
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 11

	<u>ORIGINAL AUTHORIZATION</u>	<u>ADJUSTED AUTHORIZATION</u>	<u>EXPENDITURES AMOUNT</u>	<u>UNEXPENDED BALANCE</u>	<u>ENCUMBRANCE AMOUNT</u>	<u>UNENCUMBERED BALANCE</u>	<u>PRE-ENCUMBERED AMOUNT</u>
303 Parking Meter FUND							
	4,397,960.00	4,397,960.00	2,003,970.12	2,393,989.88	318,796.12	2,075,193.76	.00
PERCENT EXPENDED:	45.6	PERCENT EXPENDED AND ENCUMBERED:		52.8			

306
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 12

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
306 Municipal Motor Vehicle Lic Tx FUND							
	3,703,100.00	3,703,100.00	1,356,247.82	2,346,852.18	104,953.03	2,241,899.15	.00
PERCENT EXPENDED:	36.6	PERCENT EXPENDED AND ENCUMBERED:		39.5			

318
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

	<u>ORIGINAL AUTHORIZATION</u>	<u>ADJUSTED AUTHORIZATION</u>	<u>EXPENDITURES AMOUNT</u>	<u>UNEXPENDED BALANCE</u>	<u>ENCUMBRANCE AMOUNT</u>	<u>UNENCUMBERED BALANCE</u>	<u>PRE-ENCUMBERED AMOUNT</u>
318 Sawyer Point FUND							
	1,547,430.00	1,547,430.00	234,184.89	1,313,245.11	78,449.93	1,234,795.18	.00
PERCENT EXPENDED:	15.1	PERCENT EXPENDED AND ENCUMBERED:		20.2			

323
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
323 Recreation Special Activities FUND							
	6,254,590.00	6,254,590.00	1,566,336.04	4,688,253.96	142,750.97	4,545,502.99	.00
PERCENT EXPENDED: 25.0 PERCENT EXPENDED AND ENCUMBERED:				27.3			

329
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 15

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
329 Cincinnati Riverfront Park FUND							
	1,025,830.00	1,025,830.00	154,023.14	871,806.86	43,724.89	828,081.97	.00
PERCENT EXPENDED: 15.0 PERCENT EXPENDED AND ENCUMBERED:				19.3			

347
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
347 Hazard Abatement Fund FUND							
	2,728,810.00	2,728,810.00	763,831.09	1,964,978.91	16,215.25	1,948,763.66	.00
PERCENT EXPENDED: 28.0 PERCENT EXPENDED AND ENCUMBERED:				28.6			

358
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 17

ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
<i>358 Bond Hill Roselawn Stabilization & Revitalization Operations FUND</i>						
200,000.00	200,000.00	101,467.53	98,532.47	.00	98,532.47	.00
<i>PERCENT EXPENDED:</i>	<i>50.7</i>	<i>PERCENT EXPENDED AND ENCUMBERED:</i>	<i>50.7</i>			

364
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

	<u>ORIGINAL AUTHORIZATION</u>	<u>ADJUSTED AUTHORIZATION</u>	<u>EXPENDITURES AMOUNT</u>	<u>UNEXPENDED BALANCE</u>	<u>ENCUMBRANCE AMOUNT</u>	<u>UNENCUMBERED BALANCE</u>	<u>PRE-ENCUMBERED AMOUNT</u>
364 911 Cell Phone Fees FUND	1,631,830.00	1,631,830.00	37,055.88	1,594,774.12	3,503.26	1,591,270.86	51,885.00
PERCENT EXPENDED:	2.3	PERCENT EXPENDED AND ENCUMBERED:	2.5				

377
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

	<u>ORIGINAL AUTHORIZATION</u>	<u>ADJUSTED AUTHORIZATION</u>	<u>EXPENDITURES AMOUNT</u>	<u>UNEXPENDED BALANCE</u>	<u>ENCUMBRANCE AMOUNT</u>	<u>UNENCUMBERED BALANCE</u>	<u>PRE-ENCUMBERED AMOUNT</u>
377 Citizen Safety FUND							
	51,010.00	51,010.00	2,037.49	48,972.51	48,972.51	.00	.00
PERCENT EXPENDED: 4.0	PERCENT EXPENDED AND ENCUMBERED:			100.0			

395
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

	<u>ORIGINAL AUTHORIZATION</u>	<u>ADJUSTED AUTHORIZATION</u>	<u>EXPENDITURES AMOUNT</u>	<u>UNEXPENDED BALANCE</u>	<u>ENCUMBRANCE AMOUNT</u>	<u>UNENCUMBERED BALANCE</u>	<u>PRE-ENCUMBERED AMOUNT</u>
395 Community Health Center FUND							
	22,969,280.00	23,024,275.00	7,553,692.13	15,470,582.87	2,615,929.45	12,854,653.42	.00
PERCENT EXPENDED: 32.8 PERCENT EXPENDED AND ENCUMBERED:				44.2			

416
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 21

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
<i>416 Cincinnati Health District FUND</i>							
	18,039,740.00	18,118,170.00	9,238,029.90	8,880,140.10	306,394.13	8,573,745.97	.00
<i>PERCENT EXPENDED: 51.0 PERCENT EXPENDED AND ENCUMBERED:</i>				<i>52.7</i>			

449
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 22

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
449 Cinti Area Geographic Info Sys FUND							
	4,522,230.00	4,535,410.00	2,403,278.73	2,132,131.27	66,257.58	2,065,873.69	.00
PERCENT EXPENDED: 53.0 PERCENT EXPENDED AND ENCUMBERED:				54.5			

455
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 23

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
455 Streetcar Operations FUND							
	2,981,320.00	3,980,787.00	1,408,512.64	2,572,274.36	517,472.72	2,054,801.64	.00
PERCENT EXPENDED:	35.4	PERCENT EXPENDED AND ENCUMBERED:		48.4			

457
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 24

	<u>ORIGINAL AUTHORIZATION</u>	<u>ADJUSTED AUTHORIZATION</u>	<u>EXPENDITURES AMOUNT</u>	<u>UNEXPENDED BALANCE</u>	<u>ENCUMBRANCE AMOUNT</u>	<u>UNENCUMBERED BALANCE</u>	<u>PRE-ENCUMBERED AMOUNT</u>
457 CLEAR FUND	5,355,880.00	5,363,140.00	1,483,473.22	3,879,666.78	450,479.63	3,429,187.15	149,350.00
PERCENT EXPENDED:	27.7	PERCENT EXPENDED AND ENCUMBERED:		36.1			

701
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES - FUND SUMMARY
 APPROPRIATED FUNDS
 CURRENT YEAR BALANCES
 AS OF 01 / 31 / 2021

PGM ID: CFSFA103
 PAGE: 25

ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
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701 Metropolitan Sewer District FUND

222,787,840.00	222,787,840.00	8,179,584.81	214,608,255.19	30,252,542.24	184,355,712.95	584,893.42
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PERCENT EXPENDED: 3.7 PERCENT EXPENDED AND ENCUMBERED: 17.3

759
RUN DATE: 02/12/2021
RUN TIME: 10.55.32

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES - FUND SUMMARY
APPROPRIATED FUNDS
CURRENT YEAR BALANCES
AS OF 01 / 31 / 2021

PGM ID: CFSFA103
PAGE: 26

	<u>ORIGINAL</u> <u>AUTHORIZATION</u>	<u>ADJUSTED</u> <u>AUTHORIZATION</u>	<u>EXPENDITURES</u> <u>AMOUNT</u>	<u>UNEXPENDED</u> <u>BALANCE</u>	<u>ENCUMBRANCE</u> <u>AMOUNT</u>	<u>UNENCUMBERED</u> <u>BALANCE</u>	<u>PRE-ENCUMBERED</u> <u>AMOUNT</u>
759 Income Tax Transit FUND	17,401,549.00	27,628,142.76	25,836,230.25	1,791,912.51	23,250.00	1,768,662.51	.00
PERCENT EXPENDED:	93.5	PERCENT EXPENDED AND ENCUMBERED:		93.6			

101 304
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 1

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
101 Water Works FUND										
300 Department Of Water Works										
304 Water Works, Div Of Distribution										
2017	101	304	7200	.00	63,779.22	947.60	62,831.62	62,831.62	.00	.00
DIVISION TOTALS:				.00	63,779.22	947.60	62,831.62	62,831.62	.00	.00
DEPARTMENT TOTALS:				.00	63,779.22	947.60	62,831.62	62,831.62	.00	.00
PERCENT EXPENDED:				1.5	PERCENT EXPENDED AND ENCUMBERED: 100.0					
449 Cinti Area Geographic Info Sys FUND										
090 Enterprise Technology Solution										
091 Enterprise Technology Solutions										
2017	449	091	7200	.00	459,195.14	17,331.20	441,863.94	441,863.94	.00	.00
DIVISION TOTALS:				.00	459,195.14	17,331.20	441,863.94	441,863.94	.00	.00
DEPARTMENT TOTALS:				.00	459,195.14	17,331.20	441,863.94	441,863.94	.00	.00
PERCENT EXPENDED:				3.8	PERCENT EXPENDED AND ENCUMBERED: 100.0					
701 Metropolitan Sewer District FUND										
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2017	701	944	7200	.00	260,760.47	.00	260,760.47	.00	260,760.47	.00
DIVISION TOTALS:				.00	260,760.47	.00	260,760.47	.00	260,760.47	.00
DEPARTMENT TOTALS:				.00	260,760.47	.00	260,760.47	.00	260,760.47	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: .0					
050 General FUND										
130 Department Of Finance										
136 Finance, Income Tax										
2018	050	136	7400	.00	44,930.00	.00	44,930.00	44,930.00	.00	.00
DIVISION TOTALS:				.00	44,930.00	.00	44,930.00	44,930.00	.00	.00
137 Finance, Purchasing										
2018	050	137	7200	.00	127,620.90	48,750.00	78,870.90	78,870.90	.00	.00
DIVISION TOTALS:				.00	127,620.90	48,750.00	78,870.90	78,870.90	.00	.00
DEPARTMENT TOTALS:				.00	172,550.90	48,750.00	123,800.90	123,800.90	.00	.00
PERCENT EXPENDED:				28.3	PERCENT EXPENDED AND ENCUMBERED: 100.0					
210 Dept Of Bldgs & Inspections										
212 Bldg & Inspections, Licenses & Permits										
2018	050	212	7400	.00	80,699.29	.00	80,699.29	80,699.29	.00	.00
DIVISION TOTALS:				.00	80,699.29	.00	80,699.29	80,699.29	.00	.00
DEPARTMENT TOTALS:				.00	80,699.29	.00	80,699.29	80,699.29	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					

050 924
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 2

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
920 Employee Benefits (Cont)										
924 Lump Sum Payment										
2018	050	924	7100	.00	3,012.60	.00	3,012.60	.00	3,012.60	.00
DIVISION TOTALS:				.00	3,012.60	.00	3,012.60	.00	3,012.60	.00
DEPARTMENT TOTALS:				.00	3,012.60	.00	3,012.60	.00	3,012.60	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		
950 Miscellaneous Accounts										
951 Judgments Against The City										
2018	050	951	7400	.00	52,256.33	52,256.33	.00	.00	.00	.00
DIVISION TOTALS:				.00	52,256.33	52,256.33	.00	.00	.00	.00
952 Enterprise Software and Licenses										
2018	050	952	7400	.00	28,400.63	.00	28,400.63	28,400.63	.00	.00
DIVISION TOTALS:				.00	28,400.63	.00	28,400.63	28,400.63	.00	.00
DEPARTMENT TOTALS:				.00	80,656.96	52,256.33	28,400.63	28,400.63	.00	.00
PERCENT EXPENDED:				64.8	PERCENT EXPENDED AND ENCUMBERED:					
								100.0		
101 Water Works FUND										
300 Department Of Water Works										
301 Water Works, Business Service										
2018	101	301	7400	.00	650,000.00	.00	650,000.00	650,000.00	.00	.00
DIVISION TOTALS:				.00	650,000.00	.00	650,000.00	650,000.00	.00	.00
DEPARTMENT TOTALS:				.00	650,000.00	.00	650,000.00	650,000.00	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								100.0		
107 Stormwater Management FUND										
310 Open										
311 Stormwater Management Utility										
2018	107	311	7200	.00	40,706.46	.00	40,706.46	40,706.46	.00	.00
DIVISION TOTALS:				.00	40,706.46	.00	40,706.46	40,706.46	.00	.00
DEPARTMENT TOTALS:				.00	40,706.46	.00	40,706.46	40,706.46	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								100.0		
347 Hazard Abatement Fund FUND										
210 Dept Of Bldgs & Inspections										
212 Bldg & Inspections, Licenses & Permits										
2018	347	212	7200	.00	41,305.00	.00	41,305.00	41,305.00	.00	.00
DIVISION TOTALS:				.00	41,305.00	.00	41,305.00	41,305.00	.00	.00
DEPARTMENT TOTALS:				.00	41,305.00	.00	41,305.00	41,305.00	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								100.0		

449 091
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 3

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
449 Cinti Area Geographic Info Sys FUND										
090 Enterprise Technology Solution										
091 Enterprise Technology Solutions										
2018	449	091	7200	.00	21,379.53	.00	21,379.53	21,379.53	.00	.00
DIVISION TOTALS:				.00	21,379.53	.00	21,379.53	21,379.53	.00	.00
DEPARTMENT TOTALS:				.00	21,379.53	.00	21,379.53	21,379.53	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
701 Metropolitan Sewer District FUND										
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2018	701	944	7200	.00	249,781.00	.00	249,781.00	.00	249,781.00	.00
DIVISION TOTALS:				.00	249,781.00	.00	249,781.00	.00	249,781.00	.00
DEPARTMENT TOTALS:				.00	249,781.00	.00	249,781.00	.00	249,781.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: .0					
050 General FUND										
010 Office Of The Clerk Of Council										
041 Office Of The Clerk Of Council										
2019	050	041	7200	.00	30,000.00	30,000.00	.00	.00	.00	.00
DIVISION TOTALS:				.00	30,000.00	30,000.00	.00	.00	.00	.00
DEPARTMENT TOTALS:				.00	30,000.00	30,000.00	.00	.00	.00	.00
PERCENT EXPENDED:				100.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
100 Office Of The City Manager										
103 Emergency Communications										
2019	050	103	7200	.00	2,337.50	.00	2,337.50	.00	2,337.50	.00
DIVISION TOTALS:				.00	2,337.50	.00	2,337.50	.00	2,337.50	.00
104 Office Of Environmental Qualities										
2019	050	104	7400	.00	2,800.00	.00	2,800.00	2,800.00	.00	.00
DIVISION TOTALS:				.00	2,800.00	.00	2,800.00	2,800.00	.00	.00
DEPARTMENT TOTALS:				.00	5,137.50	.00	5,137.50	2,800.00	2,337.50	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: 54.5					
110 Department Of Law										
111 Civil										
2019	050	111	7400	.00	780.80	714.84	65.96	.00	65.96	.00
DIVISION TOTALS:				.00	780.80	714.84	65.96	.00	65.96	.00
DEPARTMENT TOTALS:				.00	780.80	714.84	65.96	.00	65.96	.00
PERCENT EXPENDED:				91.6	PERCENT EXPENDED AND ENCUMBERED: 91.6					

050 121
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 4

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
120 Department Of Human Resources										
121 Department Of Human Resources										
2019	050	121	7200	.00	91,914.32	44,215.00	47,699.32	47,699.32	.00	.00
DIVISION TOTALS:				.00	91,914.32	44,215.00	47,699.32	47,699.32	.00	.00
DEPARTMENT TOTALS:				.00	91,914.32	44,215.00	47,699.32	47,699.32	.00	.00
PERCENT EXPENDED:				48.1	PERCENT EXPENDED AND ENCUMBERED: 100.0					
130 Department Of Finance										
137 Finance, Purchasing										
2019	050	137	7200	.00	39,069.64	.00	39,069.64	39,069.64	.00	.00
2019	050	137	7300	.00	14,222.47	.00	14,222.47	14,222.47	.00	.00
DIVISION TOTALS:				.00	53,292.11	.00	53,292.11	53,292.11	.00	.00
DEPARTMENT TOTALS:				.00	53,292.11	.00	53,292.11	53,292.11	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
160 Community Developmt										
161 Comm Dvlp, Office Of The Director										
2019	050	161	7300	.00	3,401.38	.00	3,401.38	.00	3,401.38	.00
DIVISION TOTALS:				.00	3,401.38	.00	3,401.38	.00	3,401.38	.00
162 Comm Dvlp, Division Of Housing Devel										
2019	050	162	7400	.00	50.60	50.60	.00	.00	.00	.00
DIVISION TOTALS:				.00	50.60	50.60	.00	.00	.00	.00
164 Division Of Community Devel										
2019	050	164	7400	.00	4,497.40	.00	4,497.40	.00	4,497.40	.00
DIVISION TOTALS:				.00	4,497.40	.00	4,497.40	.00	4,497.40	.00
DEPARTMENT TOTALS:				.00	7,949.38	50.60	7,898.78	.00	7,898.78	.00
PERCENT EXPENDED:				.6	PERCENT EXPENDED AND ENCUMBERED: .6					
210 Dept Of Bldgs & Inspections										
211 Bldg & Inspections, Director										
2019	050	211	7200	.00	1,680.00	1,680.00	.00	.00	.00	.00
2019	050	211	7300	.00	13,343.09	.00	13,343.09	13,343.09	.00	.00
DIVISION TOTALS:				.00	15,023.09	1,680.00	13,343.09	13,343.09	.00	.00
212 Bldg & Inspections, Licenses & Permits										
2019	050	212	7200	.00	1,680.00	560.00	1,120.00	1,120.00	.00	.00
2019	050	212	7300	.00	57,200.00	.00	57,200.00	57,200.00	.00	.00
DIVISION TOTALS:				.00	58,880.00	560.00	58,320.00	58,320.00	.00	.00
DEPARTMENT TOTALS:				.00	73,903.09	2,240.00	71,663.09	71,663.09	.00	.00
PERCENT EXPENDED:				3.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
250 Dept Of Public Services										
253 Div Of Neighborhood Operations										
2019	050	253	7200	.00	2,500.00	.00	2,500.00	.00	2,500.00	.00
DIVISION TOTALS:				.00	2,500.00	.00	2,500.00	.00	2,500.00	.00
DEPARTMENT TOTALS:				.00	2,500.00	.00	2,500.00	.00	2,500.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: .0					

050 271
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 5

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
270 Department Of Fire										
271 Fire - Response										
2019	050	271	7200	.00	10,346.54	.00	10,346.54	10,346.54	.00	.00
2019	050	271	7300	.00	89,420.55	.00	89,420.55	.00	89,420.55	.00
DIVISION TOTALS:				.00	99,767.09	.00	99,767.09	10,346.54	89,420.55	.00
272 Fire - Support Services										
2019	050	272	7200	.00	10,780.11	.00	10,780.11	10,780.11	.00	.00
2019	050	272	7400	.00	2,000.49	1,272.00	728.49	.00	728.49	.00
DIVISION TOTALS:				.00	12,780.60	1,272.00	11,508.60	10,780.11	728.49	.00
DEPARTMENT TOTALS:				.00	112,547.69	1,272.00	111,275.69	21,126.65	90,149.04	.00
PERCENT EXPENDED:				1.1	PERCENT EXPENDED AND ENCUMBERED:					
								19.9		
940 Govt'Al & Prof'Al Services										
941 Audit And Examiner's Fees										
2019	050	941	7200	.00	9,930.80	295.20	9,635.60	.00	9,635.60	.00
DIVISION TOTALS:				.00	9,930.80	295.20	9,635.60	.00	9,635.60	.00
DEPARTMENT TOTALS:				.00	9,930.80	295.20	9,635.60	.00	9,635.60	.00
PERCENT EXPENDED:				3.0	PERCENT EXPENDED AND ENCUMBERED:					
								3.0		
950 Miscellaneous Accounts										
952 Enterprise Software and Licenses										
2019	050	952	7200	.00	14,182.13	3,384.62	10,797.51	.00	10,797.51	.00
2019	050	952	7400	.00	149,237.26	6,169.68	143,067.58	139,683.32	3,384.26	.00
DIVISION TOTALS:				.00	163,419.39	9,554.30	153,865.09	139,683.32	14,181.77	.00
959 Manager's Office Obligations										
2019	050	959	7200	.00	7,425.00	7,425.00	.00	.00	.00	.00
DIVISION TOTALS:				.00	7,425.00	7,425.00	.00	.00	.00	.00
DEPARTMENT TOTALS:				.00	170,844.39	16,979.30	153,865.09	139,683.32	14,181.77	.00
PERCENT EXPENDED:				9.9	PERCENT EXPENDED AND ENCUMBERED:					
								91.7		
101 Water Works FUND										
300 Department Of Water Works										
301 Water Works, Business Service										
2019	101	301	7200	.00	13,500.00	.00	13,500.00	.00	13,500.00	.00
2019	101	301	7400	.00	850,000.00	.00	850,000.00	850,000.00	.00	.00
DIVISION TOTALS:				.00	863,500.00	.00	863,500.00	850,000.00	13,500.00	.00
303 Water Works, Div Of Supply										
2019	101	303	7200	.00	15,007.86	.00	15,007.86	.00	15,007.86	.00
DIVISION TOTALS:				.00	15,007.86	.00	15,007.86	.00	15,007.86	.00
304 Water Works, Div Of Distribution										
2019	101	304	7200	.00	16,603.60	15,143.30	1,460.30	1,460.30	.00	.00
DIVISION TOTALS:				.00	16,603.60	15,143.30	1,460.30	1,460.30	.00	.00

101 307
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 6

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
307 Water Works, Div Of Info Tech										
2019	101	307	7200	.00	9,785.00	.00	9,785.00	.00	9,785.00	.00
DIVISION TOTALS:				.00	9,785.00	.00	9,785.00	.00	9,785.00	.00
DEPARTMENT TOTALS:				.00	904,896.46	15,143.30	889,753.16	851,460.30	38,292.86	.00
PERCENT EXPENDED:				1.7	PERCENT EXPENDED AND ENCUMBERED: 95.8					
105 Municipal Golf FUND										
190 Dept Of Public Recreation										
195 Recreation Golf										
2019	105	195	7200	.00	19,857.00	.00	19,857.00	19,857.00	.00	.00
DIVISION TOTALS:				.00	19,857.00	.00	19,857.00	19,857.00	.00	.00
DEPARTMENT TOTALS:				.00	19,857.00	.00	19,857.00	19,857.00	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
107 Stormwater Management FUND										
250 Dept Of Public Services										
253 Div Of Neighborhood Operations										
2019	107	253	7600	.00	110,000.00	.00	110,000.00	110,000.00	.00	.00
DIVISION TOTALS:				.00	110,000.00	.00	110,000.00	110,000.00	.00	.00
DEPARTMENT TOTALS:				.00	110,000.00	.00	110,000.00	110,000.00	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
310 Open										
311 Stormwater Management Utility										
2019	107	311	7200	.00	57,428.73	.00	57,428.73	57,428.73	.00	.00
DIVISION TOTALS:				.00	57,428.73	.00	57,428.73	57,428.73	.00	.00
DEPARTMENT TOTALS:				.00	57,428.73	.00	57,428.73	57,428.73	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
302 Income Tax Infrastructure FUND										
920 Employee Benefits (Cont)										
924 Lump Sum Payment										
2019	302	924	7100	.00	129,277.69	.00	129,277.69	129,277.69	.00	.00
DIVISION TOTALS:				.00	129,277.69	.00	129,277.69	129,277.69	.00	.00
DEPARTMENT TOTALS:				.00	129,277.69	.00	129,277.69	129,277.69	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
306 Municipal Motor Vehicle Lic Tx FUND										
250 Dept Of Public Services										
252 Traffic And Road Operations										
2019	306	252	7200	.00	2,657.00	.00	2,657.00	.00	2,657.00	.00
DIVISION TOTALS:				.00	2,657.00	.00	2,657.00	.00	2,657.00	.00
DEPARTMENT TOTALS:				.00	2,657.00	.00	2,657.00	.00	2,657.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: .0					

347 212
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 7

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
347 Hazard Abatement Fund FUND										
210 Dept Of Bldgs & Inspections										
212 Bldg & Inspections, Licenses & Permits										
2019	347	212	7200	.00	226,563.00	99,444.00	127,119.00	127,119.00	.00	.00
DIVISION TOTALS:				.00	226,563.00	99,444.00	127,119.00	127,119.00	.00	.00
DEPARTMENT TOTALS:				.00	226,563.00	99,444.00	127,119.00	127,119.00	.00	.00
PERCENT EXPENDED: 43.9				PERCENT EXPENDED AND ENCUMBERED: 100.0						
364 911 Cell Phone Fees FUND										
090 Enterprise Technology Solution										
091 Enterprise Technology Solutions										
2019	364	091	7200	.00	7,820.00	775.99	7,044.01	7,044.01	.00	.00
DIVISION TOTALS:				.00	7,820.00	775.99	7,044.01	7,044.01	.00	.00
DEPARTMENT TOTALS:				.00	7,820.00	775.99	7,044.01	7,044.01	.00	.00
PERCENT EXPENDED: 9.9				PERCENT EXPENDED AND ENCUMBERED: 100.0						
377 Citizen Safety FUND										
250 Dept Of Public Services										
253 Div Of Neighborhood Operations										
2019	377	253	7200	.00	8,857.32	.00	8,857.32	8,857.32	.00	.00
DIVISION TOTALS:				.00	8,857.32	.00	8,857.32	8,857.32	.00	.00
DEPARTMENT TOTALS:				.00	8,857.32	.00	8,857.32	8,857.32	.00	.00
PERCENT EXPENDED: .0				PERCENT EXPENDED AND ENCUMBERED: 100.0						
701 Metropolitan Sewer District FUND										
410 Dept. of Sewers Director's Off										
410 Dept. of Sewers Director's Office										
2019	701	410	7200	.00	328,826.70	.00	328,826.70	.00	328,826.70	.00
2019	701	410	7300	.00	2,659.05	.00	2,659.05	.00	2,659.05	.00
2019	701	410	7400	.00	350.00	.00	350.00	.00	350.00	.00
DIVISION TOTALS:				.00	331,835.75	.00	331,835.75	.00	331,835.75	.00
DEPARTMENT TOTALS:				.00	331,835.75	.00	331,835.75	.00	331,835.75	.00
PERCENT EXPENDED: .0				PERCENT EXPENDED AND ENCUMBERED: .0						
420 MSD Div Of Wastewater Engineer										
420 MSD Div Of Wastewater Engineering										
2019	701	420	7200	.00	19,258.66	.00	19,258.66	.00	19,258.66	.00
2019	701	420	7300	.00	16,421.60	1,461.71	14,959.89	.00	14,959.89	.00
2019	701	420	7400	.00	17,554.71	.00	17,554.71	.00	17,554.71	.00
DIVISION TOTALS:				.00	53,234.97	1,461.71	51,773.26	.00	51,773.26	.00
DEPARTMENT TOTALS:				.00	53,234.97	1,461.71	51,773.26	.00	51,773.26	.00
PERCENT EXPENDED: 2.7				PERCENT EXPENDED AND ENCUMBERED: 2.7						

701 430
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 8

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
430 MSD Div Of Wastewater Admin										
430 MSD Div Of Wastewater Admin										
2019	701	430	7200	.00	57,293.00	55.00	57,238.00	.00	57,238.00	.00
2019	701	430	7300	.00	6,436.54	.00	6,436.54	.00	6,436.54	.00
2019	701	430	7400	.00	181.42	.00	181.42	.00	181.42	.00
DIVISION TOTALS:				.00	63,910.96	55.00	63,855.96	.00	63,855.96	.00
431 MSD Division of Information Technology										
2019	701	431	7400	.00	76,514.41	.00	76,514.41	.00	76,514.41	.00
DIVISION TOTALS:				.00	76,514.41	.00	76,514.41	.00	76,514.41	.00
DEPARTMENT TOTALS:				.00	140,425.37	55.00	140,370.37	.00	140,370.37	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:			.0		
440 MSD Div Of Wastewater Treatmen										
442 MSD Millcreek Section										
2019	701	442	7200	.00	1,043,977.82	60,462.42	983,515.40	.00	983,515.40	.00
2019	701	442	7300	.00	663,254.54	53,098.00	610,156.54	.00	610,156.54	.00
2019	701	442	7400	.00	7,217.96	.00	7,217.96	.00	7,217.96	.00
DIVISION TOTALS:				.00	1,714,450.32	113,560.42	1,600,889.90	.00	1,600,889.90	.00
443 MSD Little Miami Section										
2019	701	443	7200	.00	360,941.22	9,720.00	351,221.22	.00	351,221.22	.00
2019	701	443	7300	.00	75,973.34	637.29	75,336.05	.00	75,336.05	.00
DIVISION TOTALS:				.00	436,914.56	10,357.29	426,557.27	.00	426,557.27	.00
444 MSD Muddy Creek Section										
2019	701	444	7200	.00	112,768.79	.00	112,768.79	.00	112,768.79	.00
2019	701	444	7300	.00	147,449.81	.00	147,449.81	.00	147,449.81	.00
DIVISION TOTALS:				.00	260,218.60	.00	260,218.60	.00	260,218.60	.00
445 MSD Sycamore Section										
2019	701	445	7200	.00	131,825.40	.00	131,825.40	.00	131,825.40	.00
2019	701	445	7300	.00	43,927.46	616.00	43,311.46	.00	43,311.46	.00
DIVISION TOTALS:				.00	175,752.86	616.00	175,136.86	.00	175,136.86	.00
446 MSD Taylor Creek Section										
2019	701	446	7200	.00	58,851.60	.00	58,851.60	.00	58,851.60	.00
2019	701	446	7300	.00	10,385.85	180.00	10,205.85	.00	10,205.85	.00
DIVISION TOTALS:				.00	69,237.45	180.00	69,057.45	.00	69,057.45	.00
447 MSD Polk Run Section										
2019	701	447	7200	.00	87,853.26	420.00	87,433.26	.00	87,433.26	.00
2019	701	447	7300	.00	51,344.50	.00	51,344.50	.00	51,344.50	.00
DIVISION TOTALS:				.00	139,197.76	420.00	138,777.76	.00	138,777.76	.00
449 MSD Maintenance Section										
2019	701	449	7200	.00	31,443.84	.00	31,443.84	.00	31,443.84	.00
2019	701	449	7300	.00	59,519.50	.00	59,519.50	.00	59,519.50	.00
DIVISION TOTALS:				.00	90,963.34	.00	90,963.34	.00	90,963.34	.00
DEPARTMENT TOTALS:				.00	2,886,734.89	125,133.71	2,761,601.18	.00	2,761,601.18	.00
PERCENT EXPENDED:				4.3	PERCENT EXPENDED AND ENCUMBERED:			4.3		

701 450
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 9

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
450 MSD Div Of Wastewater Collecti										
450 MSD Div Of Wastewater Collection										
2019	701	450	7200	.00	1,521,031.52	242,354.75	1,278,676.77	.00	1,278,676.77	.00
2019	701	450	7300	.00	321,907.95	.00	321,907.95	.00	321,907.95	.00
2019	701	450	7400	.00	7,436.63	.00	7,436.63	.00	7,436.63	.00
DIVISION TOTALS:				.00	1,850,376.10	242,354.75	1,608,021.35	.00	1,608,021.35	.00
DEPARTMENT TOTALS:				.00	1,850,376.10	242,354.75	1,608,021.35	.00	1,608,021.35	.00
PERCENT EXPENDED: 13.1				PERCENT EXPENDED AND ENCUMBERED: 13.1						
460 MSD Div Of Industrial Waste										
460 MSD Div Of Industrial Waste										
2019	701	460	7200	.00	179,060.31	.00	179,060.31	.00	179,060.31	.00
2019	701	460	7300	.00	148,415.46	1,302.30	147,113.16	.00	147,113.16	.00
2019	701	460	7400	.00	42,031.40	4,630.06	37,401.34	.00	37,401.34	.00
DIVISION TOTALS:				.00	369,507.17	5,932.36	363,574.81	.00	363,574.81	.00
DEPARTMENT TOTALS:				.00	369,507.17	5,932.36	363,574.81	.00	363,574.81	.00
PERCENT EXPENDED: 1.6				PERCENT EXPENDED AND ENCUMBERED: 1.6						
470 MSD Watershed Operations										
470 MSD Watershed Operations										
2019	701	470	7200	.00	1,381,601.73	3,421.32	1,378,180.41	.00	1,378,180.41	.00
2019	701	470	7300	.00	233,266.34	26,075.00	207,191.34	.00	207,191.34	.00
2019	701	470	7400	.00	13,295.75	.00	13,295.75	.00	13,295.75	.00
DIVISION TOTALS:				.00	1,628,163.82	29,496.32	1,598,667.50	.00	1,598,667.50	.00
DEPARTMENT TOTALS:				.00	1,628,163.82	29,496.32	1,598,667.50	.00	1,598,667.50	.00
PERCENT EXPENDED: 1.8				PERCENT EXPENDED AND ENCUMBERED: 1.8						
480 MSD SBU Program										
480 MSD SBU Program										
2019	701	480	7200	.00	2,972,384.14	.00	2,972,384.14	.00	2,972,384.14	.00
2019	701	480	7400	.00	3,502,304.21	34,033.33	3,468,270.88	1,589,509.39	1,878,761.49	.00
DIVISION TOTALS:				.00	6,474,688.35	34,033.33	6,440,655.02	1,589,509.39	4,851,145.63	.00
DEPARTMENT TOTALS:				.00	6,474,688.35	34,033.33	6,440,655.02	1,589,509.39	4,851,145.63	.00
PERCENT EXPENDED: .5				PERCENT EXPENDED AND ENCUMBERED: 25.1						
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2019	701	944	7200	.00	636,853.00	.00	636,853.00	.00	636,853.00	.00
DIVISION TOTALS:				.00	636,853.00	.00	636,853.00	.00	636,853.00	.00
DEPARTMENT TOTALS:				.00	636,853.00	.00	636,853.00	.00	636,853.00	.00
PERCENT EXPENDED: .0				PERCENT EXPENDED AND ENCUMBERED: .0						
980 Capital Outlay Accounts										
981 Motorized & Construction Equip										
2019	701	981	7600	.00	688,786.84	.00	688,786.84	.00	688,786.84	.00
DIVISION TOTALS:				.00	688,786.84	.00	688,786.84	.00	688,786.84	.00

701 982
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 10

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
982 Office & Technical Equip										
2019	701	982	7600	.00	303,206.41	.00	303,206.41	.00	303,206.41	.00
DIVISION TOTALS:				.00	303,206.41	.00	303,206.41	.00	303,206.41	.00
DEPARTMENT TOTALS:				.00	991,993.25	.00	991,993.25	.00	991,993.25	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:			.0		
050 General FUND										
010 Office Of The Clerk Of Council										
041 Office Of The Clerk Of Council										
2020	050	041	7200	.00	3,516.22	124.92	3,391.30	.00	3,391.30	.00
2020	050	041	7400	.00	1,798.22	.00	1,798.22	.00	1,798.22	.00
DIVISION TOTALS:				.00	5,314.44	124.92	5,189.52	.00	5,189.52	.00
DEPARTMENT TOTALS:				.00	5,314.44	124.92	5,189.52	.00	5,189.52	.00
PERCENT EXPENDED:				2.4	PERCENT EXPENDED AND ENCUMBERED:			2.4		
090 Enterprise Technology Solution										
091 Enterprise Technology Solutions										
2020	050	091	7200	.00	9,518.68	666.00	8,852.68	1,012.05	7,840.63	.00
2020	050	091	7300	.00	9,367.58	2,124.39	7,243.19	.00	7,243.19	.00
2020	050	091	7400	.00	5,029.96	3,360.60	1,669.36	.00	1,669.36	.00
DIVISION TOTALS:				.00	23,916.22	6,150.99	17,765.23	1,012.05	16,753.18	.00
DEPARTMENT TOTALS:				.00	23,916.22	6,150.99	17,765.23	1,012.05	16,753.18	.00
PERCENT EXPENDED:				25.7	PERCENT EXPENDED AND ENCUMBERED:			30.0		
100 Office Of The City Manager										
101 City Manager's Office										
2020	050	101	7200	.00	312,090.46	184,445.68	127,644.78	123,947.66	3,697.12	.00
2020	050	101	7300	.00	1,639,803.85	800,262.52	839,541.33	839,333.22	208.11	.00
2020	050	101	7400	.00	219,118.75	206,618.75	12,500.00	12,500.00	.00	.00
DIVISION TOTALS:				.00	2,171,013.06	1,191,326.95	979,686.11	975,780.88	3,905.23	.00
102 Office Of Budget & Evaluation										
2020	050	102	7200	.00	20,020.00	20,020.00	.00	.00	.00	.00
2020	050	102	7300	.00	833.70	.00	833.70	.00	833.70	.00
2020	050	102	7400	.00	242.75	58.80	183.95	.00	183.95	.00
DIVISION TOTALS:				.00	21,096.45	20,078.80	1,017.65	.00	1,017.65	.00
103 Emergency Communications										
2020	050	103	7200	.00	15,483.00	7,191.90	8,291.10	2,100.00	6,191.10	.00
2020	050	103	7300	.00	18,213.13	15,050.27	3,162.86	.00	3,162.86	.00
2020	050	103	7400	.00	4,251.46	325.65	3,925.81	3,600.00	325.81	.00
DIVISION TOTALS:				.00	37,947.59	22,567.82	15,379.77	5,700.00	9,679.77	.00
104 Office Of Environmental Qualities										
2020	050	104	7200	.00	627,078.20	570,473.41	56,604.79	56,181.20	423.59	.00
2020	050	104	7300	.00	1,533.64	.00	1,533.64	.00	1,533.64	.00
2020	050	104	7400	.00	21,441.23	16,700.00	4,741.23	4,741.23	.00	.00
DIVISION TOTALS:				.00	650,053.07	587,173.41	62,879.66	60,922.43	1,957.23	.00

050 108
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 11

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
108 Dept of Performance Management										
2020	050	108	7200	.00	9,375.00	2,500.00	6,875.00	6,875.00	.00	.00
2020	050	108	7300	.00	1,601.43	.00	1,601.43	.00	1,601.43	.00
DIVISION TOTALS:				.00	10,976.43	2,500.00	8,476.43	6,875.00	1,601.43	.00
109 Internal Audit										
2020	050	109	7200	.00	2.08	.00	2.08	.00	2.08	.00
2020	050	109	7300	.00	454.98	.00	454.98	.00	454.98	.00
DIVISION TOTALS:				.00	457.06	.00	457.06	.00	457.06	.00
DEPARTMENT TOTALS:				.00	2,891,543.66	1,823,646.98	1,067,896.68	1,049,278.31	18,618.37	.00
PERCENT EXPENDED: 63.1				PERCENT EXPENDED AND ENCUMBERED: 99.4						
110 Department Of Law										
111 Civil										
2020	050	111	7200	.00	122,988.75	84,131.46	38,857.29	34,207.44	4,649.85	.00
2020	050	111	7300	.00	12,949.14	10,347.88	2,601.26	2,500.00	101.26	.00
2020	050	111	7400	.00	33,120.99	25,193.18	7,927.81	6,155.39	1,772.42	.00
DIVISION TOTALS:				.00	169,058.88	119,672.52	49,386.36	42,862.83	6,523.53	.00
112 Administrative Hearings & Prosecution										
2020	050	112	7200	.00	34,045.86	14,295.86	19,750.00	11,500.00	8,250.00	.00
2020	050	112	7300	.00	2,033.15	1,780.01	253.14	.00	253.14	.00
2020	050	112	7400	.00	9,349.45	949.24	8,400.21	7,779.67	620.54	.00
DIVISION TOTALS:				.00	45,428.46	17,025.11	28,403.35	19,279.67	9,123.68	.00
DEPARTMENT TOTALS:				.00	214,487.34	136,697.63	77,789.71	62,142.50	15,647.21	.00
PERCENT EXPENDED: 63.7				PERCENT EXPENDED AND ENCUMBERED: 92.7						
120 Department Of Human Resources										
121 Department Of Human Resources										
2020	050	121	7200	.00	93,246.17	72,812.26	20,433.91	19,836.74	597.17	.00
2020	050	121	7300	.00	3,019.68	.00	3,019.68	.00	3,019.68	.00
2020	050	121	7400	.00	1,312.08	.00	1,312.08	.00	1,312.08	.00
DIVISION TOTALS:				.00	97,577.93	72,812.26	24,765.67	19,836.74	4,928.93	.00
DEPARTMENT TOTALS:				.00	97,577.93	72,812.26	24,765.67	19,836.74	4,928.93	.00
PERCENT EXPENDED: 74.6				PERCENT EXPENDED AND ENCUMBERED: 94.9						
130 Department Of Finance										
131 Finance, Office Of Director										
2020	050	131	7200	.00	1,600.00	.00	1,600.00	.00	1,600.00	.00
2020	050	131	7400	.00	71.97	59.06	12.91	.00	12.91	.00
DIVISION TOTALS:				.00	1,671.97	59.06	1,612.91	.00	1,612.91	.00
133 Finance, Accounts & Audits										
2020	050	133	7200	.00	101.84	.00	101.84	.00	101.84	.00
2020	050	133	7300	.00	1,920.71	408.03	1,512.68	.00	1,512.68	.00
2020	050	133	7400	.00	1,856.68	1,792.96	63.72	.00	63.72	.00
DIVISION TOTALS:				.00	3,879.23	2,200.99	1,678.24	.00	1,678.24	.00
134 Finance, Treasury										
2020	050	134	7200	.00	7,212.82	.00	7,212.82	.00	7,212.82	.00
2020	050	134	7300	.00	7,118.29	2,527.89	4,590.40	.00	4,590.40	.00
2020	050	134	7400	.00	698.15	114.15	584.00	.00	584.00	.00
DIVISION TOTALS:				.00	15,029.26	2,642.04	12,387.22	.00	12,387.22	.00

050 135
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 12

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
135 Finance, Risk Management										
2020	050	135	7200	.00	39,871.06	39,871.06	.00	.00	.00	.00
DIVISION TOTALS:				.00	39,871.06	39,871.06	.00	.00	.00	.00
136 Finance, Income Tax										
2020	050	136	7200	.00	76,070.72	26,067.84	50,002.88	49,426.16	576.72	.00
2020	050	136	7300	.00	893.86	.00	893.86	.00	893.86	.00
2020	050	136	7400	.00	21,574.68	21,448.00	126.68	.00	126.68	.00
DIVISION TOTALS:				.00	98,539.26	47,515.84	51,023.42	49,426.16	1,597.26	.00
137 Finance, Purchasing										
2020	050	137	7200	.00	21,458.27	318.00	21,140.27	9,682.00	11,458.27	.00
2020	050	137	7300	.00	22,630.41	4,562.61	18,067.80	18,067.80	.00	.00
2020	050	137	7400	.00	9,038.48	194.17	8,844.31	5,250.00	3,594.31	.00
DIVISION TOTALS:				.00	53,127.16	5,074.78	48,052.38	32,999.80	15,052.58	.00
DEPARTMENT TOTALS:				.00	212,117.94	97,363.77	114,754.17	82,425.96	32,328.21	.00
PERCENT EXPENDED: 45.9				PERCENT EXPENDED AND ENCUMBERED: 84.8						
160 Community Developmt										
161 Comm Dvlp, Office Of The Director										
2020	050	161	7200	.00	1,239.36	.00	1,239.36	.00	1,239.36	.00
2020	050	161	7300	.00	139.53	111.34	28.19	.00	28.19	.00
2020	050	161	7400	.00	541,159.22	280,295.37	260,863.85	.00	260,863.85	.00
DIVISION TOTALS:				.00	542,538.11	280,406.71	262,131.40	.00	262,131.40	.00
162 Comm Dvlp, Division Of Housing Devel										
2020	050	162	7200	.00	10,000.00	8,925.00	1,075.00	.00	1,075.00	.00
2020	050	162	7400	.00	137,753.82	87,878.65	49,875.17	12,362.39	37,512.78	.00
DIVISION TOTALS:				.00	147,753.82	96,803.65	50,950.17	12,362.39	38,587.78	.00
164 Division Of Community Devel										
2020	050	164	7200	.00	20,000.00	18,790.00	1,210.00	.00	1,210.00	.00
2020	050	164	7400	.00	134,374.06	62,687.50	71,686.56	15,000.00	56,686.56	.00
DIVISION TOTALS:				.00	154,374.06	81,477.50	72,896.56	15,000.00	57,896.56	.00
DEPARTMENT TOTALS:				.00	844,665.99	458,687.86	385,978.13	27,362.39	358,615.74	.00
PERCENT EXPENDED: 54.3				PERCENT EXPENDED AND ENCUMBERED: 57.5						
170 Department Of Planning & Build										
171 City Planning										
2020	050	171	7200	.00	3,947.81	2,874.87	1,072.94	.00	1,072.94	.00
2020	050	171	7300	.00	973.49	512.77	460.72	.00	460.72	.00
2020	050	171	7400	.00	1,398.59	386.14	1,012.45	.00	1,012.45	.00
DIVISION TOTALS:				.00	6,319.89	3,773.78	2,546.11	.00	2,546.11	.00
DEPARTMENT TOTALS:				.00	6,319.89	3,773.78	2,546.11	.00	2,546.11	.00
PERCENT EXPENDED: 59.7				PERCENT EXPENDED AND ENCUMBERED: 59.7						

050 181
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 13

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
180 Citizens' Complaint Authority										
181 Citizens' Complaint Authority										
2020	050	181	7200	.00	17,075.80	4,713.92	12,361.88	8,225.68	4,136.20	.00
2020	050	181	7300	.00	3,913.01	2,442.55	1,470.46	.00	1,470.46	.00
2020	050	181	7400	.00	85.64	55.63	30.01	.00	30.01	.00
DIVISION TOTALS:				.00	21,074.45	7,212.10	13,862.35	8,225.68	5,636.67	.00
DEPARTMENT TOTALS:				.00	21,074.45	7,212.10	13,862.35	8,225.68	5,636.67	.00
PERCENT EXPENDED: 34.2				PERCENT EXPENDED AND ENCUMBERED: 73.3						
190 Dept Of Public Recreation										
191 Recreation West Region										
2020	050	191	7200	.00	6,684.27	165.00	6,519.27	.00	6,519.27	.00
2020	050	191	7300	.00	1,885.45	1,740.08	145.37	.00	145.37	.00
DIVISION TOTALS:				.00	8,569.72	1,905.08	6,664.64	.00	6,664.64	.00
192 Recreation East Region										
2020	050	192	7200	.00	14,166.48	8,790.00	5,376.48	.00	5,376.48	.00
2020	050	192	7300	.00	1,529.34	1,401.50	127.84	.00	127.84	.00
2020	050	192	7400	.00	71.33	45.64	25.69	.00	25.69	.00
DIVISION TOTALS:				.00	15,767.15	10,237.14	5,530.01	.00	5,530.01	.00
193 Recreation Central Region										
2020	050	193	7200	.00	11,198.80	2,986.83	8,211.97	.00	8,211.97	.00
DIVISION TOTALS:				.00	11,198.80	2,986.83	8,211.97	.00	8,211.97	.00
194 Recreation Maintenance										
2020	050	194	7200	.00	80,049.95	41,992.71	38,057.24	16,881.76	21,175.48	.00
2020	050	194	7300	.00	73,030.59	39,421.73	33,608.86	2,517.00	31,091.86	.00
2020	050	194	7400	.00	6,526.65	557.50	5,969.15	.00	5,969.15	.00
DIVISION TOTALS:				.00	159,607.19	81,971.94	77,635.25	19,398.76	58,236.49	.00
197 Recreation Athletics										
2020	050	197	7200	.00	3,228.51	1,409.04	1,819.47	.00	1,819.47	.00
2020	050	197	7300	.00	311.50	290.86	20.64	.00	20.64	.00
2020	050	197	7400	.00	1,250.00	.00	1,250.00	.00	1,250.00	.00
DIVISION TOTALS:				.00	4,790.01	1,699.90	3,090.11	.00	3,090.11	.00
199 Recreation Administration										
2020	050	199	7200	.00	16,302.66	3,216.25	13,086.41	.00	13,086.41	.00
2020	050	199	7300	.00	12.21	.00	12.21	.00	12.21	.00
2020	050	199	7600	.00	15,860.25	.00	15,860.25	.00	15,860.25	.00
DIVISION TOTALS:				.00	32,175.12	3,216.25	28,958.87	.00	28,958.87	.00
DEPARTMENT TOTALS:				.00	232,107.99	102,017.14	130,090.85	19,398.76	110,692.09	.00
PERCENT EXPENDED: 44.0				PERCENT EXPENDED AND ENCUMBERED: 52.3						
200 Department Of Parks										
202 Parks, Operations & Facility Mgmt										
2020	050	202	7200	.00	109,514.59	101,244.75	8,269.84	.00	8,269.84	.00
2020	050	202	7300	.00	204,360.17	183,212.17	21,148.00	.00	21,148.00	.00
2020	050	202	7400	.00	21,416.28	11,261.41	10,154.87	.00	10,154.87	.00
DIVISION TOTALS:				.00	335,291.04	295,718.33	39,572.71	.00	39,572.71	.00

050 203
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 14

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
203 Parks, Adm & Program Services										
2020	050	203	7200	.00	38,314.05	29,152.80	9,161.25	.00	9,161.25	.00
2020	050	203	7300	.00	26,135.35	21,808.89	4,326.46	.00	4,326.46	.00
DIVISION TOTALS:				.00	64,449.40	50,961.69	13,487.71	.00	13,487.71	.00
DEPARTMENT TOTALS:				.00	399,740.44	346,680.02	53,060.42	.00	53,060.42	.00
PERCENT EXPENDED:				86.7	PERCENT EXPENDED AND ENCUMBERED:					
								86.7		
210 Dept Of Bldgs & Inspections										
211 Bldg & Inspections, Director										
2020	050	211	7200	.00	46,740.75	15,404.23	31,336.52	21,315.04	10,021.48	.00
2020	050	211	7300	.00	9,071.28	3,761.37	5,309.91	3,547.00	1,762.91	.00
2020	050	211	7400	.00	682.65	461.22	221.43	.00	221.43	.00
DIVISION TOTALS:				.00	56,494.68	19,626.82	36,867.86	24,862.04	12,005.82	.00
212 Bldg & Inspections, Licenses & Permits										
2020	050	212	7200	.00	4,243.20	2,250.00	1,993.20	1,993.20	.00	.00
2020	050	212	7300	.00	2,701.76	1,386.61	1,315.15	.00	1,315.15	.00
2020	050	212	7400	.00	565.95	463.22	102.73	.00	102.73	.00
DIVISION TOTALS:				.00	7,510.91	4,099.83	3,411.08	1,993.20	1,417.88	.00
DEPARTMENT TOTALS:				.00	64,005.59	23,726.65	40,278.94	26,855.24	13,423.70	.00
PERCENT EXPENDED:				37.1	PERCENT EXPENDED AND ENCUMBERED:					
								79.0		
220 Open										
222 Department Of Police										
2020	050	222	7200	.00	419,847.01	94,854.67	324,992.34	2,000.00	322,992.34	.00
2020	050	222	7300	.00	183,989.88	159,516.69	24,473.19	.00	24,473.19	.00
2020	050	222	7400	.00	2,299.55	45.00	2,254.55	.00	2,254.55	.00
DIVISION TOTALS:				.00	606,136.44	254,416.36	351,720.08	2,000.00	349,720.08	.00
225 Police - Investigations										
2020	050	225	7200	.00	95,048.01	72,865.83	22,182.18	633.75	21,548.43	.00
2020	050	225	7300	.00	957.02	931.90	25.12	.00	25.12	.00
2020	050	225	7400	.00	429.97	419.20	10.77	.00	10.77	.00
DIVISION TOTALS:				.00	96,435.00	74,216.93	22,218.07	633.75	21,584.32	.00
226 Police - Support										
2020	050	226	7200	.00	635,481.91	614,352.91	21,129.00	8,300.00	12,829.00	.00
2020	050	226	7300	.00	42,629.47	27,043.97	15,585.50	.00	15,585.50	.00
2020	050	226	7400	.00	1,272.88	1,272.88	.00	.00	.00	.00
DIVISION TOTALS:				.00	679,384.26	642,669.76	36,714.50	8,300.00	28,414.50	.00
227 Police - Administration										
2020	050	227	7200	.00	124,679.95	44,816.56	79,863.39	76,183.86	3,679.53	.00
2020	050	227	7300	.00	1,000.00	862.49	137.51	.00	137.51	.00
2020	050	227	7400	.00	27,194.43	26,173.89	1,020.54	.00	1,020.54	.00
DIVISION TOTALS:				.00	152,874.38	71,852.94	81,021.44	76,183.86	4,837.58	.00
DEPARTMENT TOTALS:				.00	1,534,830.08	1,043,155.99	491,674.09	87,117.61	404,556.48	.00
PERCENT EXPENDED:				68.0	PERCENT EXPENDED AND ENCUMBERED:					
								73.6		

050 231
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 15

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
230 Dept Of Transportation & Engin										
231 Trans & Eng, Director										
2020	050	231	7300	.00	99.95	99.95	.00	.00	.00	.00
2020	050	231	7400	.00	181.99	82.62	99.37	.00	99.37	.00
DIVISION TOTALS:				.00	281.94	182.57	99.37	.00	99.37	.00
232 Div Of Transportation Planning										
2020	050	232	7200	.00	179.24	19.48	159.76	.00	159.76	.00
DIVISION TOTALS:				.00	179.24	19.48	159.76	.00	159.76	.00
233 Division Of Engineering										
2020	050	233	7200	.00	215.09	48.16	166.93	.00	166.93	.00
2020	050	233	7400	.00	1,067.94	381.99	685.95	.00	685.95	.00
DIVISION TOTALS:				.00	1,283.03	430.15	852.88	.00	852.88	.00
239 Division Of Traffic Engineer										
2020	050	239	7200	.00	302,707.87	268,483.54	34,224.33	.00	34,224.33	.00
DIVISION TOTALS:				.00	302,707.87	268,483.54	34,224.33	.00	34,224.33	.00
DEPARTMENT TOTALS:				.00	304,452.08	269,115.74	35,336.34	.00	35,336.34	.00
PERCENT EXPENDED: 88.4				PERCENT EXPENDED AND ENCUMBERED:				88.4		
250 Dept Of Public Services										
251 Office Of The Director										
2020	050	251	7200	.00	11,296.18	2,211.22	9,084.96	8,548.34	536.62	.00
2020	050	251	7300	.00	2,506.84	1,353.87	1,152.97	1,086.13	66.84	.00
2020	050	251	7400	.00	4,819.19	554.99	4,264.20	341.11	3,923.09	.00
DIVISION TOTALS:				.00	18,622.21	4,120.08	14,502.13	9,975.58	4,526.55	.00
253 Div Of Neighborhood Operations										
2020	050	253	7100	.00	3,315.00	931.18	2,383.82	.00	2,383.82	.00
2020	050	253	7200	.00	352,423.96	294,816.27	57,607.69	20,465.38	37,142.31	.00
2020	050	253	7300	.00	9,989.22	4,874.95	5,114.27	.00	5,114.27	.00
2020	050	253	7400	.00	1,505.64	242.85	1,262.79	.00	1,262.79	.00
2020	050	253	7500	.00	1,971.00	399.75	1,571.25	.00	1,571.25	.00
DIVISION TOTALS:				.00	369,204.82	301,265.00	67,939.82	20,465.38	47,474.44	.00
255 Div Of City Facility Mgmt										
2020	050	255	7200	.00	165,273.31	143,428.04	21,845.27	.00	21,845.27	.00
2020	050	255	7400	.00	609.00	344.00	265.00	.00	265.00	.00
DIVISION TOTALS:				.00	165,882.31	143,772.04	22,110.27	.00	22,110.27	.00
256 Fleet Services										
2020	050	256	7300	.00	65.61	65.61	.00	.00	.00	.00
DIVISION TOTALS:				.00	65.61	65.61	.00	.00	.00	.00
DEPARTMENT TOTALS:				.00	553,774.95	449,222.73	104,552.22	30,440.96	74,111.26	.00
PERCENT EXPENDED: 81.1				PERCENT EXPENDED AND ENCUMBERED:				86.6		
270 Department Of Fire										
271 Fire - Response										
2020	050	271	7200	.00	188,750.81	167,497.16	21,253.65	13,969.63	7,284.02	.00
2020	050	271	7300	.00	235,839.02	99,347.76	136,491.26	123,436.24	13,055.02	.00
2020	050	271	7400	.00	8,290.29	7,996.86	293.43	.00	293.43	.00
DIVISION TOTALS:				.00	432,880.12	274,841.78	158,038.34	137,405.87	20,632.47	.00

050 272
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 16

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
272 Fire - Support Services										
2020	050	272	7200	.00	29,741.31	19,704.94	10,036.37	6,500.79	3,535.58	.00
2020	050	272	7300	.00	74,811.86	48,021.34	26,790.52	9,156.81	17,633.71	.00
2020	050	272	7400	.00	6,118.21	1,099.65	5,018.56	5,018.56	.00	.00
DIVISION TOTALS:				.00	110,671.38	68,825.93	41,845.45	20,676.16	21,169.29	.00
DEPARTMENT TOTALS:				.00	543,551.50	343,667.71	199,883.79	158,082.03	41,801.76	.00
PERCENT EXPENDED: 63.2				PERCENT EXPENDED AND ENCUMBERED: 92.3						
280										
281 Economic Inclusion										
2020	050	281	7200	.00	3,952.00	.00	3,952.00	800.00	3,152.00	.00
2020	050	281	7300	.00	351.75	121.97	229.78	.00	229.78	.00
2020	050	281	7400	.00	251.52	251.52	.00	.00	.00	.00
DIVISION TOTALS:				.00	4,555.27	373.49	4,181.78	800.00	3,381.78	.00
DEPARTMENT TOTALS:				.00	4,555.27	373.49	4,181.78	800.00	3,381.78	.00
PERCENT EXPENDED: 8.2				PERCENT EXPENDED AND ENCUMBERED: 25.8						
920 Employee Benefits (Cont)										
923 State Unemployment Comp										
2020	050	923	7500	.00	1,595,790.67	1,057,523.74	538,266.93	.00	538,266.93	.00
DIVISION TOTALS:				.00	1,595,790.67	1,057,523.74	538,266.93	.00	538,266.93	.00
924 Lump Sum Payment										
2020	050	924	7100	.00	2,993.93	2,993.93	.00	.00	.00	.00
DIVISION TOTALS:				.00	2,993.93	2,993.93	.00	.00	.00	.00
DEPARTMENT TOTALS:				.00	1,598,784.60	1,060,517.67	538,266.93	.00	538,266.93	.00
PERCENT EXPENDED: 66.3				PERCENT EXPENDED AND ENCUMBERED: 66.3						
940 Govt'Al & Prof'Al Services										
941 Audit And Examiner's Fees										
2020	050	941	7200	.00	369,896.00	38,934.20	330,961.80	845.00	330,116.80	.00
DIVISION TOTALS:				.00	369,896.00	38,934.20	330,961.80	845.00	330,116.80	.00
DEPARTMENT TOTALS:				.00	369,896.00	38,934.20	330,961.80	845.00	330,116.80	.00
PERCENT EXPENDED: 10.5				PERCENT EXPENDED AND ENCUMBERED: 10.8						
950 Miscellaneous Accounts										
951 Judgments Against The City										
2020	050	951	7400	.00	287,048.96	286,719.96	329.00	.00	329.00	.00
DIVISION TOTALS:				.00	287,048.96	286,719.96	329.00	.00	329.00	.00
952 Enterprise Software and Licenses										
2020	050	952	7200	.00	538,055.20	508,766.00	29,289.20	.00	29,289.20	.00
2020	050	952	7400	.00	1,105,278.27	1,023,283.42	81,994.85	39,599.07	42,395.78	.00
DIVISION TOTALS:				.00	1,643,333.47	1,532,049.42	111,284.05	39,599.07	71,684.98	.00
953 Memberships & Publications										
2020	050	953	7200	.00	24,952.53	24,952.53	.00	.00	.00	.00
DIVISION TOTALS:				.00	24,952.53	24,952.53	.00	.00	.00	.00

050 959
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 17

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
959 Manager's Office Obligations										
2020	050	959	7200	.00	83,865.00	72,604.00	11,261.00	.00	11,261.00	.00
DIVISION TOTALS:				.00	83,865.00	72,604.00	11,261.00	.00	11,261.00	.00
DEPARTMENT TOTALS:				.00	2,039,199.96	1,916,325.91	122,874.05	39,599.07	83,274.98	.00
PERCENT EXPENDED: 94.0				PERCENT EXPENDED AND ENCUMBERED: 95.9						
 101 Water Works FUND										
300 Department Of Water Works										
301 Water Works, Business Service										
2020	101	301	7200	.00	516,421.59	95,001.79	421,419.80	310,816.00	110,603.80	.00
2020	101	301	7300	.00	20,195.62	6,378.52	13,817.10	.00	13,817.10	.00
2020	101	301	7400	.00	190,482.72	190,354.72	128.00	.00	128.00	.00
DIVISION TOTALS:				.00	727,099.93	291,735.03	435,364.90	310,816.00	124,548.90	.00
 302 Water Works, Commercial Services										
2020	101	302	7200	.00	599,045.12	280,141.24	318,903.88	193,024.66	125,879.22	.00
2020	101	302	7300	.00	33,087.78	5,351.02	27,736.76	2,165.10	25,571.66	.00
2020	101	302	7400	.00	29,304.61	26,254.99	3,049.62	.55	3,049.07	.00
DIVISION TOTALS:				.00	661,437.51	311,747.25	349,690.26	195,190.31	154,499.95	.00
 303 Water Works, Div Of Supply										
2020	101	303	7200	.00	1,797,773.27	866,202.92	931,570.35	31,101.03	900,469.32	.00
2020	101	303	7300	.00	334,244.92	165,475.48	168,769.44	60,536.21	108,233.23	.00
2020	101	303	7400	.00	95,113.76	44,628.41	50,485.35	4,515.80	45,969.55	.00
DIVISION TOTALS:				.00	2,227,131.95	1,076,306.81	1,150,825.14	96,153.04	1,054,672.10	.00
 304 Water Works, Div Of Distribution										
2020	101	304	7200	.00	1,456,971.62	1,373,714.36	83,257.26	26,796.84	56,460.42	.00
2020	101	304	7300	.00	146,492.71	102,005.86	44,486.85	360.00	44,126.85	.00
2020	101	304	7400	.00	16,061.15	12,094.38	3,966.77	3,475.50	491.27	.00
DIVISION TOTALS:				.00	1,619,525.48	1,487,814.60	131,710.88	30,632.34	101,078.54	.00
 305 Div Of Wtr Quality & Treatment										
2020	101	305	7200	.00	179,496.78	48,385.42	131,111.36	35,862.00	95,249.36	.00
2020	101	305	7300	.00	173,373.34	58,514.64	114,858.70	87,976.57	26,882.13	.00
2020	101	305	7400	.00	2,748.20	174.40	2,573.80	.00	2,573.80	.00
DIVISION TOTALS:				.00	355,618.32	107,074.46	248,543.86	123,838.57	124,705.29	.00
 306 Water Works, Div Of Engineering										
2020	101	306	7200	.00	166,387.37	115,969.97	50,417.40	43,830.03	6,587.37	.00
2020	101	306	7300	.00	9,103.50	1,559.83	7,543.67	.00	7,543.67	.00
2020	101	306	7400	.00	408.00	408.00	.00	.00	.00	.00
DIVISION TOTALS:				.00	175,898.87	117,937.80	57,961.07	43,830.03	14,131.04	.00
 307 Water Works, Div Of Info Tech										
2020	101	307	7200	.00	349,141.47	201,543.23	147,598.24	81,204.50	66,393.74	.00
2020	101	307	7300	.00	18,708.09	16,731.43	1,976.66	507.29	1,469.37	.00
2020	101	307	7400	.00	337,886.89	308,301.41	29,585.48	3,585.76	25,999.72	.00
DIVISION TOTALS:				.00	705,736.45	526,576.07	179,160.38	85,297.55	93,862.83	.00

101 309
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 18

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
309 Water Works Debt Service										
2020	101	309	7700	.00	109,496.82	109,496.82	.00	.00	.00	.00
DIVISION TOTALS:				.00	109,496.82	109,496.82	.00	.00	.00	.00
DEPARTMENT TOTALS:				.00	6,581,945.33	4,028,688.84	2,553,256.49	885,757.84	1,667,498.65	.00
PERCENT EXPENDED: 61.2				PERCENT EXPENDED AND ENCUMBERED: 74.7						
102 Parking System Facilities FUND										
130 Department Of Finance										
134 Finance, Treasury										
2020	102	134	7200	.00	9,213.54	8,731.92	481.62	481.62	.00	.00
DIVISION TOTALS:				.00	9,213.54	8,731.92	481.62	481.62	.00	.00
DEPARTMENT TOTALS:				.00	9,213.54	8,731.92	481.62	481.62	.00	.00
PERCENT EXPENDED: 94.8				PERCENT EXPENDED AND ENCUMBERED: 100.0						
240 Dept. Of Enterprise Services										
248 Div Of Parking Facilities										
2020	102	248	7200	.00	742,199.51	243,498.39	498,701.12	498,701.12	.00	.00
2020	102	248	7300	.00	285.97	.00	285.97	285.97	.00	.00
2020	102	248	7400	.00	23,065.35	16.37	23,048.98	23,048.98	.00	.00
DIVISION TOTALS:				.00	765,550.83	243,514.76	522,036.07	522,036.07	.00	.00
DEPARTMENT TOTALS:				.00	765,550.83	243,514.76	522,036.07	522,036.07	.00	.00
PERCENT EXPENDED: 31.8				PERCENT EXPENDED AND ENCUMBERED: 100.0						
103 Convention-Exposition Center FUND										
240 Dept. Of Enterprise Services										
243 Duke Energy Center										
2020	103	243	7200	.00	581,453.52	.00	581,453.52	581,453.52	.00	.00
DIVISION TOTALS:				.00	581,453.52	.00	581,453.52	581,453.52	.00	.00
DEPARTMENT TOTALS:				.00	581,453.52	.00	581,453.52	581,453.52	.00	.00
PERCENT EXPENDED: .0				PERCENT EXPENDED AND ENCUMBERED: 100.0						
104 General Aviation FUND										
230 Dept Of Transportation & Engin										
234 Div Of Aviation										
2020	104	234	7200	.00	109,835.56	71,666.21	38,169.35	38,169.35	.00	.00
2020	104	234	7300	.00	2,575.19	835.65	1,739.54	1,739.54	.00	.00
2020	104	234	7400	.00	1,202.13	176.93	1,025.20	874.04	151.16	.00
DIVISION TOTALS:				.00	113,612.88	72,678.79	40,934.09	40,782.93	151.16	.00
DEPARTMENT TOTALS:				.00	113,612.88	72,678.79	40,934.09	40,782.93	151.16	.00
PERCENT EXPENDED: 64.0				PERCENT EXPENDED AND ENCUMBERED: 99.9						

105 195
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 19

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
105 Municipal Golf FUND										
190 Dept Of Public Recreation										
195 Recreation Golf										
2020	105	195	7200	.00	14,475.79	8,129.39	6,346.40	.00	6,346.40	.00
2020	105	195	7400	.00	10,323.94	952.97	9,370.97	.00	9,370.97	.00
DIVISION TOTALS:				.00	24,799.73	9,082.36	15,717.37	.00	15,717.37	.00
DEPARTMENT TOTALS:				.00	24,799.73	9,082.36	15,717.37	.00	15,717.37	.00
PERCENT EXPENDED:				36.6	PERCENT EXPENDED AND ENCUMBERED: 36.6					
107 Stormwater Management FUND										
100 Office Of The City Manager										
104 Office Of Environmental Qualities										
2020	107	104	7200	.00	52,033.33	52,033.33	.00	.00	.00	.00
DIVISION TOTALS:				.00	52,033.33	52,033.33	.00	.00	.00	.00
DEPARTMENT TOTALS:				.00	52,033.33	52,033.33	.00	.00	.00	.00
PERCENT EXPENDED:				100.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
200 Department Of Parks										
202 Parks, Operations & Facility Mgmt										
2020	107	202	7300	.00	3,242.63	2,696.73	545.90	.00	545.90	.00
DIVISION TOTALS:				.00	3,242.63	2,696.73	545.90	.00	545.90	.00
DEPARTMENT TOTALS:				.00	3,242.63	2,696.73	545.90	.00	545.90	.00
PERCENT EXPENDED:				83.2	PERCENT EXPENDED AND ENCUMBERED: 83.2					
250 Dept Of Public Services										
253 Div Of Neighborhood Operations										
2020	107	253	7200	.00	399,518.69	209,375.84	190,142.85	16,012.50	174,130.35	.00
2020	107	253	7300	.00	7,468.82	4,782.53	2,686.29	.00	2,686.29	.00
2020	107	253	7400	.00	1,046.61	690.60	356.01	.00	356.01	.00
2020	107	253	7600	.00	73,079.04	67,525.05	5,553.99	.00	5,553.99	.00
DIVISION TOTALS:				.00	481,113.16	282,374.02	198,739.14	16,012.50	182,726.64	.00
DEPARTMENT TOTALS:				.00	481,113.16	282,374.02	198,739.14	16,012.50	182,726.64	.00
PERCENT EXPENDED:				58.7	PERCENT EXPENDED AND ENCUMBERED: 62.0					
310 Open										
311 Stormwater Management Utility										
2020	107	311	7100	.00	55,000.00	.00	55,000.00	55,000.00	.00	.00
2020	107	311	7200	.00	823,135.89	462,425.90	360,709.99	344,010.76	16,699.23	.00
2020	107	311	7300	.00	13,208.87	7,049.61	6,159.26	.00	.00	.00
2020	107	311	7400	.00	26,372.13	21,326.71	5,045.42	3,663.97	1,381.45	.00
2020	107	311	7600	.00	49,940.00	49,940.00	.00	.00	.00	.00
DIVISION TOTALS:				.00	967,656.89	540,742.22	426,914.67	408,833.99	18,080.68	.00
DEPARTMENT TOTALS:				.00	967,656.89	540,742.22	426,914.67	408,833.99	18,080.68	.00
PERCENT EXPENDED:				55.9	PERCENT EXPENDED AND ENCUMBERED: 98.1					

151 134
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 20

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
151 Bond Retirement - City FUND										
130 Department Of Finance										
134 Finance, Treasury										
2020	151	134	7200	.00	208,724.49	54,741.66	153,982.83	153,982.83	.00	.00
2020	151	134	7300	.00	3,648.03	3,648.03	.00	.00	.00	.00
DIVISION TOTALS:				.00	212,372.52	58,389.69	153,982.83	153,982.83	.00	.00
DEPARTMENT TOTALS:				.00	212,372.52	58,389.69	153,982.83	153,982.83	.00	.00
PERCENT EXPENDED:				27.5	PERCENT EXPENDED AND ENCUMBERED: 100.0					
301 Street Const Maintenance & Rep FUND										
200 Department Of Parks										
202 Parks, Operations & Facility Mgmt										
2020	301	202	7200	.00	6,415.50	6,415.50	.00	.00	.00	.00
2020	301	202	7300	.00	36,495.98	18,771.96	17,724.02	.00	17,724.02	.00
DIVISION TOTALS:				.00	42,911.48	25,187.46	17,724.02	.00	17,724.02	.00
DEPARTMENT TOTALS:				.00	42,911.48	25,187.46	17,724.02	.00	17,724.02	.00
PERCENT EXPENDED:				58.7	PERCENT EXPENDED AND ENCUMBERED: 58.7					
230 Dept Of Transportation & Engin										
239 Division Of Traffic Engineer										
2020	301	239	7200	.00	436,241.62	307,234.02	129,007.60	115,459.42	13,548.18	.00
2020	301	239	7300	.00	158,065.37	141,114.85	16,950.52	13,555.85	3,394.67	.00
2020	301	239	7400	.00	22,006.86	21,885.51	121.35	.00	121.35	.00
2020	301	239	7600	.00	102,974.40	.00	102,974.40	102,974.40	.00	.00
DIVISION TOTALS:				.00	719,288.25	470,234.38	249,053.87	231,989.67	17,064.20	.00
DEPARTMENT TOTALS:				.00	719,288.25	470,234.38	249,053.87	231,989.67	17,064.20	.00
PERCENT EXPENDED:				65.4	PERCENT EXPENDED AND ENCUMBERED: 97.6					
250 Dept Of Public Services										
252 Traffic And Road Operations										
2020	301	252	7200	.00	158,045.03	53,643.52	104,401.51	29,730.53	74,670.98	.00
2020	301	252	7300	.00	133,904.82	62,499.67	71,405.15	66,906.68	4,498.47	.00
2020	301	252	7400	.00	13,305.65	2,319.42	10,986.23	8,918.07	2,068.16	.00
DIVISION TOTALS:				.00	305,255.50	118,462.61	186,792.89	105,555.28	81,237.61	.00
253 Div Of Neighborhood Operations										
2020	301	253	7200	.00	55,240.25	29,041.00	26,199.25	1,700.00	24,499.25	.00
2020	301	253	7300	.00	7,309.26	5,471.15	1,838.11	.00	1,838.11	.00
2020	301	253	7400	.00	221.10	13.76	207.34	.00	207.34	.00
DIVISION TOTALS:				.00	62,770.61	34,525.91	28,244.70	1,700.00	26,544.70	.00
DEPARTMENT TOTALS:				.00	368,026.11	152,988.52	215,037.59	107,255.28	107,782.31	.00
PERCENT EXPENDED:				41.6	PERCENT EXPENDED AND ENCUMBERED: 70.7					

302 102
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 21

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
302 Income Tax Infrastructure FUND										
100 Office Of The City Manager										
102 Office Of Budget & Evaluation										
2020	302	102	7400	.00	80.91	19.60	61.31	61.31	.00	.00
DIVISION TOTALS:				.00	80.91	19.60	61.31	61.31	.00	.00
DEPARTMENT TOTALS:				.00	80.91	19.60	61.31	61.31	.00	.00
PERCENT EXPENDED: 24.2				PERCENT EXPENDED AND ENCUMBERED: 100.0						
190 Dept Of Public Recreation										
194 Recreation Maintenance										
2020	302	194	7200	.00	26,427.91	24,493.19	1,934.72	.00	1,934.72	.00
2020	302	194	7300	.00	32,506.36	27,857.72	4,648.64	.00	4,648.64	.00
DIVISION TOTALS:				.00	58,934.27	52,350.91	6,583.36	.00	6,583.36	.00
DEPARTMENT TOTALS:				.00	58,934.27	52,350.91	6,583.36	.00	6,583.36	.00
PERCENT EXPENDED: 88.8				PERCENT EXPENDED AND ENCUMBERED: 88.8						
230 Dept Of Transportation & Engin										
231 Trans & Eng, Director										
2020	302	231	7300	.00	11,827.54	9,411.59	2,415.95	.00	2,415.95	.00
DIVISION TOTALS:				.00	11,827.54	9,411.59	2,415.95	.00	2,415.95	.00
233 Division Of Engineering										
2020	302	233	7200	.00	158,488.86	130,927.43	27,561.43	18,968.71	8,592.72	.00
2020	302	233	7300	.00	1,511.16	391.90	1,119.26	.00	1,119.26	.00
2020	302	233	7400	.00	11,000.00	11,000.00	.00	.00	.00	.00
DIVISION TOTALS:				.00	171,000.02	142,319.33	28,680.69	18,968.71	9,711.98	.00
239 Division Of Traffic Engineer										
2020	302	239	7200	.00	4,420.00	3,590.00	830.00	830.00	.00	.00
2020	302	239	7300	.00	21,623.45	3,082.18	18,541.27	18,538.24	3.03	.00
2020	302	239	7400	.00	882.87	165.00	717.87	.00	717.87	.00
DIVISION TOTALS:				.00	26,926.32	6,837.18	20,089.14	19,368.24	720.90	.00
DEPARTMENT TOTALS:				.00	209,753.88	158,568.10	51,185.78	38,336.95	12,848.83	.00
PERCENT EXPENDED: 75.6				PERCENT EXPENDED AND ENCUMBERED: 93.9						
250 Dept Of Public Services										
251 Office Of The Director										
2020	302	251	7200	.00	180.00	171.37	8.63	8.63	.00	.00
2020	302	251	7300	.00	272.15	.00	272.15	272.15	.00	.00
2020	302	251	7400	.00	86.91	86.91	.00	.00	.00	.00
DIVISION TOTALS:				.00	539.06	258.28	280.78	280.78	.00	.00
252 Traffic And Road Operations										
2020	302	252	7200	.00	12,415.16	1,651.59	10,763.57	10,136.32	627.25	.00
2020	302	252	7300	.00	63,279.51	36,283.81	26,995.70	23,999.27	2,996.43	.00
DIVISION TOTALS:				.00	75,694.67	37,935.40	37,759.27	34,135.59	3,623.68	.00

302 255
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 22

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
255 Div Of City Facility Mgmt										
2020	302	255	7200	.00	106,414.94	47,309.79	59,105.15	49,645.86	9,459.29	.00
2020	302	255	7300	.00	21,160.99	12,948.83	8,212.16	6,233.41	1,978.75	.00
2020	302	255	7400	.00	83.18	22.44	60.74	60.74	.00	.00
DIVISION TOTALS:				.00	127,659.11	60,281.06	67,378.05	55,940.01	11,438.04	.00
DEPARTMENT TOTALS:				.00	203,892.84	98,474.74	105,418.10	90,356.38	15,061.72	.00
PERCENT EXPENDED:				48.3	PERCENT EXPENDED AND ENCUMBERED:					
								92.6		
303 Parking Meter FUND										
240 Dept. Of Enterprise Services										
248 Div Of Parking Facilities										
2020	303	248	7200	.00	123,212.20	52,894.39	70,317.81	70,317.81	.00	.00
2020	303	248	7300	.00	24,906.33	2,911.92	21,994.41	21,994.41	.00	.00
2020	303	248	7400	.00	353.34	65.47	287.87	287.87	.00	.00
DIVISION TOTALS:				.00	148,471.87	55,871.78	92,600.09	92,600.09	.00	.00
DEPARTMENT TOTALS:				.00	148,471.87	55,871.78	92,600.09	92,600.09	.00	.00
PERCENT EXPENDED:				37.6	PERCENT EXPENDED AND ENCUMBERED:					
								100.0		
306 Municipal Motor Vehicle Lic Tx FUND										
250 Dept Of Public Services										
252 Traffic And Road Operations										
2020	306	252	7200	.00	19,780.49	971.76	18,808.73	18,758.73	50.00	.00
2020	306	252	7300	.00	5,793.12	559.80	5,233.32	5,226.60	6.72	.00
DIVISION TOTALS:				.00	25,573.61	1,531.56	24,042.05	23,985.33	56.72	.00
DEPARTMENT TOTALS:				.00	25,573.61	1,531.56	24,042.05	23,985.33	56.72	.00
PERCENT EXPENDED:				6.0	PERCENT EXPENDED AND ENCUMBERED:					
								99.8		
318 Sawyer Point FUND										
200 Department Of Parks										
202 Parks, Operations & Facility Mgmt										
2020	318	202	7200	.00	58,402.56	32,316.38	26,086.18	6,392.00	19,694.18	.00
2020	318	202	7300	.00	16,275.26	9,170.08	7,105.18	.00	7,105.18	.00
2020	318	202	7400	.00	22,377.38	12,750.65	9,626.73	.00	9,626.73	.00
DIVISION TOTALS:				.00	97,055.20	54,237.11	42,818.09	6,392.00	36,426.09	.00
DEPARTMENT TOTALS:				.00	97,055.20	54,237.11	42,818.09	6,392.00	36,426.09	.00
PERCENT EXPENDED:				55.9	PERCENT EXPENDED AND ENCUMBERED:					
								62.5		
323 Recreation Special Activities FUND										
190 Dept Of Public Recreation										
191 Recreation West Region										
2020	323	191	7200	.00	1,234.17	.00	1,234.17	1,234.17	.00	.00
2020	323	191	7300	.00	972.03	713.83	258.20	.00	258.20	.00
DIVISION TOTALS:				.00	2,206.20	713.83	1,492.37	1,234.17	258.20	.00
192 Recreation East Region										
2020	323	192	7200	.00	1,738.19	.00	1,738.19	1,608.06	130.13	.00
2020	323	192	7300	.00	1,593.28	.00	1,593.28	31.68	1,561.60	.00
DIVISION TOTALS:				.00	3,331.47	.00	3,331.47	1,639.74	1,691.73	.00

323 193
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 23

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
193 Recreation Central Region										
2020	323	193	7200	.00	2,030.79	.00	2,030.79	1,234.16	796.63	.00
2020	323	193	7300	.00	1,815.50	.00	1,815.50	.50	1,815.00	.00
DIVISION TOTALS:				.00	3,846.29	.00	3,846.29	1,234.66	2,611.63	.00
197 Recreation Athletics										
2020	323	197	7200	.00	50,277.26	12,559.80	37,717.46	23,822.75	13,894.71	.00
2020	323	197	7300	.00	8,080.89	5,695.76	2,385.13	1,061.90	1,323.23	.00
2020	323	197	7400	.00	2,077.39	2,077.39	.00	.00	.00	.00
DIVISION TOTALS:				.00	60,435.54	20,332.95	40,102.59	24,884.65	15,217.94	.00
199 Recreation Administration										
2020	323	199	7200	.00	3,200.00	.00	3,200.00	3,200.00	.00	.00
2020	323	199	7600	.00	59,410.00	.00	59,410.00	59,410.00	.00	.00
DIVISION TOTALS:				.00	62,610.00	.00	62,610.00	62,610.00	.00	.00
DEPARTMENT TOTALS:				.00	132,429.50	21,046.78	111,382.72	91,603.22	19,779.50	.00
PERCENT EXPENDED: 15.9				PERCENT EXPENDED AND ENCUMBERED: 85.1						
329 Cincinnati Riverfront Park FUND										
200 Department Of Parks										
202 Parks, Operations & Facility Mgmt										
2020	329	202	7200	.00	23,915.02	2,288.80	21,626.22	20,860.50	765.72	.00
2020	329	202	7300	.00	46,941.17	14,240.54	32,700.63	.00	32,700.63	.00
2020	329	202	7400	.00	760.00	760.00	.00	.00	.00	.00
DIVISION TOTALS:				.00	71,616.19	17,289.34	54,326.85	20,860.50	33,466.35	.00
DEPARTMENT TOTALS:				.00	71,616.19	17,289.34	54,326.85	20,860.50	33,466.35	.00
PERCENT EXPENDED: 24.1				PERCENT EXPENDED AND ENCUMBERED: 53.3						
347 Hazard Abatement Fund FUND										
210 Dept Of Bldgs & Inspections										
212 Bldg & Inspections, Licenses & Permits										
2020	347	212	7200	.00	169,768.82	24,896.74	144,872.08	143,072.08	1,800.00	.00
DIVISION TOTALS:				.00	169,768.82	24,896.74	144,872.08	143,072.08	1,800.00	.00
DEPARTMENT TOTALS:				.00	169,768.82	24,896.74	144,872.08	143,072.08	1,800.00	.00
PERCENT EXPENDED: 14.7				PERCENT EXPENDED AND ENCUMBERED: 98.9						
358 Bond Hill Roselawn Stabilization & Revitalization Operations FUND										
160 Community Developmt										
164 Division Of Community Devel										
2020	358	164	7400	.00	27,859.64	27,859.64	.00	.00	.00	.00
DIVISION TOTALS:				.00	27,859.64	27,859.64	.00	.00	.00	.00
DEPARTMENT TOTALS:				.00	27,859.64	27,859.64	.00	.00	.00	.00
PERCENT EXPENDED: 100.0				PERCENT EXPENDED AND ENCUMBERED: 100.0						

364 091
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 24

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
364 911 Cell Phone Fees FUND										
090 Enterprise Technology Solution										
091 Enterprise Technology Solutions										
2020	364	091	7400	.00	174,438.16	174,438.16	.00	.00	.00	.00
DIVISION TOTALS:				.00	174,438.16	174,438.16	.00	.00	.00	.00
DEPARTMENT TOTALS:				.00	174,438.16	174,438.16	.00	.00	.00	.00
PERCENT EXPENDED: 100.0				PERCENT EXPENDED AND ENCUMBERED: 100.0						
100 Office Of The City Manager										
103 Emergency Communications										
2020	364	103	7200	.00	74,975.00	74,975.00	.00	.00	.00	.00
2020	364	103	7300	.00	43,926.00	43,926.00	.00	.00	.00	.00
DIVISION TOTALS:				.00	118,901.00	118,901.00	.00	.00	.00	.00
DEPARTMENT TOTALS:				.00	118,901.00	118,901.00	.00	.00	.00	.00
PERCENT EXPENDED: 100.0				PERCENT EXPENDED AND ENCUMBERED: 100.0						
377 Citizen Safety FUND										
250 Dept Of Public Services										
253 Div Of Neighborhood Operations										
2020	377	253	7200	.00	39,924.44	36,138.74	3,785.70	3,785.70	.00	.00
DIVISION TOTALS:				.00	39,924.44	36,138.74	3,785.70	3,785.70	.00	.00
DEPARTMENT TOTALS:				.00	39,924.44	36,138.74	3,785.70	3,785.70	.00	.00
PERCENT EXPENDED: 90.5				PERCENT EXPENDED AND ENCUMBERED: 100.0						
395 Community Health Center FUND										
260 Department Of Public Health										
264 Primary Health Care - S.P.										
2020	395	264	7300	.00	436.78	.00	436.78	92.38	344.40	.00
DIVISION TOTALS:				.00	436.78	.00	436.78	92.38	344.40	.00
265 Primary Health Care - H.C.										
2020	395	265	7200	.00	374,835.99	180,601.82	194,234.17	46,397.32	147,836.85	.00
2020	395	265	7300	.00	192,948.39	41,246.82	151,701.57	132,874.90	18,826.67	.00
2020	395	265	7400	.00	47,307.26	28,416.36	18,890.90	6,816.67	12,074.23	.00
DIVISION TOTALS:				.00	615,091.64	250,265.00	364,826.64	186,088.89	178,737.75	.00
266 School & Adolescent Health										
2020	395	266	7200	.00	42,603.54	12,778.76	29,824.78	.00	29,824.78	.00
2020	395	266	7300	.00	81,856.82	8,614.69	73,242.13	64,558.82	8,683.31	.00
2020	395	266	7400	.00	8,803.15	3,283.30	5,519.85	.00	5,519.85	.00
DIVISION TOTALS:				.00	133,263.51	24,676.75	108,586.76	64,558.82	44,027.94	.00
DEPARTMENT TOTALS:				.00	748,791.93	274,941.75	473,850.18	250,740.09	223,110.09	.00
PERCENT EXPENDED: 36.7				PERCENT EXPENDED AND ENCUMBERED: 70.2						

416 261
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 25

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
416 Cincinnati Health District FUND										
260 Department Of Public Health										
261 Health, Office Of The Commissioner										
2020	416	261	7200	.00	20,320.77	2,075.40	18,245.37	6,480.40	11,764.97	.00
2020	416	261	7300	.00	8,567.84	1,835.38	6,732.46	6,659.02	73.44	.00
2020	416	261	7400	.00	8,447.80	6,600.00	1,847.80	.00	1,847.80	.00
DIVISION TOTALS:				.00	37,336.41	10,510.78	26,825.63	13,139.42	13,686.21	.00
262 Health, Technical Resources										
2020	416	262	7200	.00	49,379.38	33,694.45	15,684.93	10,594.22	5,090.71	.00
2020	416	262	7300	.00	6,198.83	941.17	5,257.66	.00	5,257.66	.00
2020	416	262	7400	.00	791.72	54.00	737.72	.00	737.72	.00
DIVISION TOTALS:				.00	56,369.93	34,689.62	21,680.31	10,594.22	11,086.09	.00
263 Div Of Community Health										
2020	416	263	7200	.00	17,120.80	3,602.40	13,518.40	6,370.49	7,147.91	.00
2020	416	263	7300	.00	558.90	.00	558.90	.00	558.90	.00
DIVISION TOTALS:				.00	17,679.70	3,602.40	14,077.30	6,370.49	7,706.81	.00
264 Primary Health Care - S.P.										
2020	416	264	7200	.00	1,492.31	.00	1,492.31	1,492.31	.00	.00
2020	416	264	7300	.00	547.90	28.40	519.50	205.00	314.50	.00
DIVISION TOTALS:				.00	2,040.21	28.40	2,011.81	1,697.31	314.50	.00
266 School & Adolescent Health										
2020	416	266	7300	.00	13,330.00	7,465.98	5,864.02	5,864.02	.00	.00
DIVISION TOTALS:				.00	13,330.00	7,465.98	5,864.02	5,864.02	.00	.00
DEPARTMENT TOTALS:				.00	126,756.25	56,297.18	70,459.07	37,665.46	32,793.61	.00
PERCENT EXPENDED:				44.4	PERCENT EXPENDED AND ENCUMBERED: 74.1					
449 Cinti Area Geographic Info Sys FUND										
090 Enterprise Technology Solution										
092 ETS-CAGIS										
2020	449	092	7200	.00	45,198.75	44,370.00	828.75	828.75	.00	.00
2020	449	092	7300	.00	1,349.90	.00	1,349.90	1,349.90	.00	.00
2020	449	092	7400	.00	69,267.86	46,968.62	22,299.24	22,299.24	.00	.00
DIVISION TOTALS:				.00	115,816.51	91,338.62	24,477.89	24,477.89	.00	.00
DEPARTMENT TOTALS:				.00	115,816.51	91,338.62	24,477.89	24,477.89	.00	.00
PERCENT EXPENDED:				78.9	PERCENT EXPENDED AND ENCUMBERED: 100.0					
455 Streetcar Operations FUND										
080 SORTA										
081 SORTA Operations										
2020	455	081	7200	.00	329,490.78	143,813.92	185,676.86	173,161.52	12,515.34	.00
DIVISION TOTALS:				.00	329,490.78	143,813.92	185,676.86	173,161.52	12,515.34	.00
DEPARTMENT TOTALS:				.00	329,490.78	143,813.92	185,676.86	173,161.52	12,515.34	.00
PERCENT EXPENDED:				43.6	PERCENT EXPENDED AND ENCUMBERED: 96.2					

455 111
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 26

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
110 Department Of Law										
111 Civil										
2020	455	111	7200	.00	104,927.56	.00	104,927.56	104,927.56	.00	.00
DIVISION TOTALS:				.00	104,927.56	.00	104,927.56	104,927.56	.00	.00
DEPARTMENT TOTALS:				.00	104,927.56	.00	104,927.56	104,927.56	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
230 Dept Of Transportation & Engin										
231 Trans & Eng, Director										
2020	455	231	7200	.00	87,658.15	.00	87,658.15	87,658.15	.00	.00
2020	455	231	7400	.00	2,684.00	2,114.80	569.20	.00	569.20	.00
DIVISION TOTALS:				.00	90,342.15	2,114.80	88,227.35	87,658.15	569.20	.00
DEPARTMENT TOTALS:				.00	90,342.15	2,114.80	88,227.35	87,658.15	569.20	.00
PERCENT EXPENDED:				2.3	PERCENT EXPENDED AND ENCUMBERED: 99.4					
250 Dept Of Public Services										
252 Traffic And Road Operations										
2020	455	252	7300	.00	10.01	.00	10.01	10.01	.00	.00
DIVISION TOTALS:				.00	10.01	.00	10.01	10.01	.00	.00
DEPARTMENT TOTALS:				.00	10.01	.00	10.01	10.01	.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
457 CLEAR FUND										
090 Enterprise Technology Solution										
093 ETS-CLEAR										
2020	457	093	7200	.00	149,817.06	85,782.90	64,034.16	64,034.16	.00	.00
2020	457	093	7300	.00	3,497.50	497.50	3,000.00	3,000.00	.00	.00
2020	457	093	7400	.00	56,238.50	54,088.50	2,150.00	2,150.00	.00	.00
DIVISION TOTALS:				.00	209,553.06	140,368.90	69,184.16	69,184.16	.00	.00
DEPARTMENT TOTALS:				.00	209,553.06	140,368.90	69,184.16	69,184.16	.00	.00
PERCENT EXPENDED:				67.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
701 Metropolitan Sewer District FUND										
410 Dept. of Sewers Director's Off										
410 Dept. of Sewers Director's Office										
2020	701	410	7100	.00	1,703,129.00	949,771.42	753,357.58	.00	753,357.58	.00
2020	701	410	7200	.00	924,219.32	174,143.35	750,075.97	317,258.76	432,817.21	.00
2020	701	410	7300	.00	30,358.81	2,065.61	28,293.20	8,723.89	19,569.31	.00
2020	701	410	7400	.00	394,470.00	244,475.60	149,994.40	.00	149,994.40	.00
2020	701	410	7500	.00	652,981.00	304,240.02	348,740.98	.00	348,740.98	.00
DIVISION TOTALS:				.00	3,705,158.13	1,674,696.00	2,030,462.13	325,982.65	1,704,479.48	.00
DEPARTMENT TOTALS:				.00	3,705,158.13	1,674,696.00	2,030,462.13	325,982.65	1,704,479.48	.00
PERCENT EXPENDED:				45.2	PERCENT EXPENDED AND ENCUMBERED: 54.0					

701 420
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 27

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
420 MSD Div Of Wastewater Engineer										
420 MSD Div Of Wastewater Engineering										
2020	701	420	7100	.00	6,215,980.00	4,718,184.59	1,497,795.41	.00	1,497,795.41	.00
2020	701	420	7200	.00	530,568.20	181,159.96	349,408.24	42,396.23	307,012.01	.00
2020	701	420	7300	.00	94,756.63	21,127.28	73,629.35	19,366.11	54,263.24	.00
2020	701	420	7400	.00	202,179.36	27,940.47	174,238.89	22,345.47	151,893.42	.00
2020	701	420	7500	.00	1,514,007.00	529,882.76	984,124.24	.00	984,124.24	.00
DIVISION TOTALS:				.00	8,557,491.19	5,478,295.06	3,079,196.13	84,107.81	2,995,088.32	.00
DEPARTMENT TOTALS:				.00	8,557,491.19	5,478,295.06	3,079,196.13	84,107.81	2,995,088.32	.00
PERCENT EXPENDED: 64.0				PERCENT EXPENDED AND ENCUMBERED: 65.0						
430 MSD Div Of Wastewater Admin										
430 MSD Div Of Wastewater Admin										
2020	701	430	7100	.00	3,404,410.00	1,628,450.18	1,775,959.82	.00	1,775,959.82	.00
2020	701	430	7200	.00	6,780,544.56	3,915,568.03	2,864,976.53	12,159.70	2,852,816.83	.00
2020	701	430	7300	.00	28,216.04	4,445.85	23,770.19	3,180.67	20,589.52	.00
2020	701	430	7400	.00	69,638.90	18,552.10	51,086.80	3,384.90	47,701.90	.00
2020	701	430	7500	.00	1,087,471.00	514,275.84	573,195.16	.00	573,195.16	.00
DIVISION TOTALS:				.00	11,370,280.50	6,081,292.00	5,288,988.50	18,725.27	5,270,263.23	.00
431 MSD Division of Information Technology										
2020	701	431	7100	.00	1,834,212.00	997,625.51	836,586.49	.00	836,586.49	.00
2020	701	431	7200	.00	1,606,298.38	1,048,002.97	558,295.41	62,899.80	495,395.61	.00
2020	701	431	7300	.00	413,616.76	343,373.87	70,242.89	12,704.63	57,538.26	.00
2020	701	431	7400	.00	2,263,475.00	1,083,004.48	1,180,470.52	41,610.00	1,138,860.52	.00
2020	701	431	7500	.00	637,234.00	311,284.58	325,949.42	.00	325,949.42	.00
DIVISION TOTALS:				.00	6,754,836.14	3,783,291.41	2,971,544.73	117,214.43	2,854,330.30	.00
DEPARTMENT TOTALS:				.00	18,125,116.64	9,864,583.41	8,260,533.23	135,939.70	8,124,593.53	.00
PERCENT EXPENDED: 54.4				PERCENT EXPENDED AND ENCUMBERED: 55.2						
440 MSD Div Of Wastewater Treatmen										
441 MSD Office Of Superintendent										
2020	701	441	7100	.00	1,616,082.00	874,962.24	741,119.76	.00	741,119.76	.00
2020	701	441	7200	.00	34,841.84	13,555.37	21,286.47	1,588.67	19,697.80	.00
2020	701	441	7300	.00	10,858.23	1,505.33	9,352.90	304.24	9,048.66	.00
2020	701	441	7400	.00	649.00	.00	649.00	.00	649.00	.00
2020	701	441	7500	.00	604,551.00	291,734.33	312,816.67	.00	312,816.67	.00
DIVISION TOTALS:				.00	2,266,982.07	1,181,757.27	1,085,224.80	1,892.91	1,083,331.89	.00
442 MSD Millcreek Section										
2020	701	442	7100	.00	4,352,887.00	2,308,834.18	2,044,052.82	.00	2,044,052.82	.00
2020	701	442	7200	.00	9,184,832.14	4,531,975.15	4,652,856.99	730,528.26	3,922,328.73	.00
2020	701	442	7300	.00	6,673,894.89	2,829,513.34	3,844,381.55	883,530.30	2,960,851.25	.00
2020	701	442	7400	.00	209,029.13	47,800.42	161,228.71	3,778.26	157,450.45	.00
2020	701	442	7500	.00	1,700,676.00	809,764.69	890,911.31	.00	890,911.31	.00
DIVISION TOTALS:				.00	22,121,319.16	10,527,887.78	11,593,431.38	1,617,836.82	9,975,594.56	.00
443 MSD Little Miami Section										
2020	701	443	7100	.00	1,741,167.00	986,875.41	754,291.59	.00	754,291.59	.00
2020	701	443	7200	.00	4,478,987.72	2,379,920.44	2,099,067.28	220,382.39	1,878,684.89	.00
2020	701	443	7300	.00	1,079,799.21	491,070.42	588,728.79	113,082.81	475,645.98	.00
2020	701	443	7400	.00	109,938.33	885.34	109,052.99	.00	109,052.99	.00
2020	701	443	7500	.00	624,646.00	302,459.96	322,186.04	.00	322,186.04	.00
DIVISION TOTALS:				.00	8,034,538.26	4,161,211.57	3,873,326.69	333,465.20	3,539,861.49	.00

701 444
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 28

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
444 MSD Muddy Creek Section										
2020	701	444	7100	.00	1,227,411.00	667,788.93	559,622.07	.00	559,622.07	.00
2020	701	444	7200	.00	1,716,378.06	875,550.66	840,827.40	104,843.24	735,984.16	.00
2020	701	444	7300	.00	559,450.38	245,746.60	313,703.78	48,909.65	264,794.13	.00
2020	701	444	7400	.00	32,249.20	-205.19	32,454.39	.00	32,454.39	.00
2020	701	444	7500	.00	486,423.00	246,367.72	240,055.28	.00	240,055.28	.00
DIVISION TOTALS:				.00	4,021,911.64	2,035,248.72	1,986,662.92	153,752.89	1,832,910.03	.00
445 MSD Sycamore Section										
2020	701	445	7100	.00	1,014,209.00	561,731.91	452,477.09	.00	452,477.09	.00
2020	701	445	7200	.00	1,190,002.28	575,844.51	614,157.77	116,300.41	497,857.36	.00
2020	701	445	7300	.00	402,914.69	223,097.11	179,817.58	60,329.12	119,488.46	.00
2020	701	445	7400	.00	18,987.56	1,151.44	17,836.12	75.32	17,760.80	.00
2020	701	445	7500	.00	421,181.00	219,887.07	201,293.93	.00	201,293.93	.00
DIVISION TOTALS:				.00	3,047,294.53	1,581,712.04	1,465,582.49	176,704.85	1,288,877.64	.00
446 MSD Taylor Creek Section										
2020	701	446	7100	.00	650,320.00	365,751.91	284,568.09	.00	284,568.09	.00
2020	701	446	7200	.00	1,194,743.22	654,253.92	540,489.30	71,131.97	469,357.33	.00
2020	701	446	7300	.00	285,505.90	171,832.63	113,673.27	18,288.27	95,385.00	.00
2020	701	446	7400	.00	11,180.28	1,632.77	9,547.51	.00	9,547.51	.00
2020	701	446	7500	.00	208,553.00	116,362.90	92,190.10	.00	92,190.10	.00
DIVISION TOTALS:				.00	2,350,302.40	1,309,834.13	1,040,468.27	89,420.24	951,048.03	.00
447 MSD Polk Run Section										
2020	701	447	7100	.00	615,405.00	347,294.89	268,110.11	.00	268,110.11	.00
2020	701	447	7200	.00	665,793.33	397,861.22	267,932.11	29,584.09	238,348.02	.00
2020	701	447	7300	.00	249,500.39	141,430.34	108,070.05	22,716.38	85,353.67	.00
2020	701	447	7400	.00	10,767.24	292.54	10,474.70	211.24	10,263.46	.00
2020	701	447	7500	.00	232,895.00	115,034.20	117,860.80	.00	117,860.80	.00
DIVISION TOTALS:				.00	1,774,360.96	1,001,913.19	772,447.77	52,511.71	719,936.06	.00
449 MSD Maintenance Section										
2020	701	449	7100	.00	4,187,537.00	2,121,164.35	2,066,372.65	.00	2,066,372.65	.00
2020	701	449	7200	.00	797,687.79	201,745.91	595,941.88	219,867.78	376,074.10	.00
2020	701	449	7300	.00	440,163.13	211,683.59	228,479.54	43,249.47	185,230.07	.00
2020	701	449	7400	.00	1,120,911.00	231,246.48	889,664.52	4,255.50	885,409.02	.00
2020	701	449	7500	.00	1,576,398.00	816,108.38	760,289.62	.00	760,289.62	.00
DIVISION TOTALS:				.00	8,122,696.92	3,581,948.71	4,540,748.21	267,372.75	4,273,375.46	.00
DEPARTMENT TOTALS:				.00	51,739,405.94	25,381,513.41	26,357,892.53	2,692,957.37	23,664,935.16	.00
PERCENT EXPENDED: 49.1				PERCENT EXPENDED AND ENCUMBERED: 54.3						
450 MSD Div Of Wastewater Collecti										
450 MSD Div Of Wastewater Collection										
2020	701	450	7100	.00	8,622,921.00	4,520,844.32	4,102,076.68	.00	4,102,076.68	.00
2020	701	450	7200	.00	7,285,809.57	3,073,125.06	4,212,684.51	1,171,669.45	3,041,015.06	.00
2020	701	450	7300	.00	3,486,489.07	1,616,979.28	1,869,509.79	271,539.03	1,597,970.76	.00
2020	701	450	7400	.00	185,721.96	84,399.89	101,322.07	13,102.41	88,219.66	.00
2020	701	450	7500	.00	3,368,548.00	1,666,163.96	1,702,384.04	.00	1,702,384.04	.00
DIVISION TOTALS:				.00	22,949,489.60	10,961,512.51	11,987,977.09	1,456,310.89	10,531,666.20	.00
DEPARTMENT TOTALS:				.00	22,949,489.60	10,961,512.51	11,987,977.09	1,456,310.89	10,531,666.20	.00
PERCENT EXPENDED: 47.8				PERCENT EXPENDED AND ENCUMBERED: 54.1						

701 460
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 29

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
460 MSD Div Of Industrial Waste										
460 MSD Div Of Industrial Waste										
2020	701	460	7100	.00	3,832,206.00	1,975,099.82	1,857,106.18	.00	1,857,106.18	.00
2020	701	460	7200	.00	1,448,930.73	433,837.77	1,015,092.96	377,122.10	637,970.86	.00
2020	701	460	7300	.00	1,226,581.40	395,649.03	830,932.37	288,869.70	542,062.67	.00
2020	701	460	7400	.00	44,376.08	5,584.78	38,791.30	3,463.83	35,327.47	.00
2020	701	460	7500	.00	1,595,484.00	707,000.04	888,483.96	.00	888,483.96	.00
DIVISION TOTALS:				.00	8,147,578.21	3,517,171.44	4,630,406.77	669,455.63	3,960,951.14	.00
DEPARTMENT TOTALS:				.00	8,147,578.21	3,517,171.44	4,630,406.77	669,455.63	3,960,951.14	.00
PERCENT EXPENDED: 43.2				PERCENT EXPENDED AND ENCUMBERED: 51.4						
470 MSD Watershed Operations										
470 MSD Watershed Operations										
2020	701	470	7100	.00	2,366,287.00	1,304,582.21	1,061,704.79	.00	1,061,704.79	.00
2020	701	470	7200	.00	6,314,875.22	3,485,225.79	2,829,649.43	652,063.04	2,177,586.39	.00
2020	701	470	7300	.00	833,184.03	308,925.78	524,258.25	79,599.47	444,658.78	.00
2020	701	470	7400	.00	343,167.87	59,594.57	283,573.30	14,495.87	269,077.43	.00
2020	701	470	7500	.00	907,230.00	455,449.41	451,780.59	.00	451,780.59	.00
DIVISION TOTALS:				.00	10,764,744.12	5,613,777.76	5,150,966.36	746,158.38	4,404,807.98	.00
DEPARTMENT TOTALS:				.00	10,764,744.12	5,613,777.76	5,150,966.36	746,158.38	4,404,807.98	.00
PERCENT EXPENDED: 52.1				PERCENT EXPENDED AND ENCUMBERED: 59.1						
480 MSD SBU Program										
480 MSD SBU Program										
2020	701	480	7100	.00	646,435.00	221,070.69	425,364.31	.00	425,364.31	.00
2020	701	480	7200	.00	13,347,880.77	5,566,739.75	7,781,141.02	1,627,527.27	6,153,613.75	.00
2020	701	480	7300	.00	73,287.00	.00	73,287.00	.00	73,287.00	.00
2020	701	480	7400	.00	804,007.00	713,508.78	90,498.22	.00	90,498.22	.00
2020	701	480	7500	.00	251,124.00	88,116.63	163,007.37	.00	163,007.37	.00
DIVISION TOTALS:				.00	15,122,733.77	6,589,435.85	8,533,297.92	1,627,527.27	6,905,770.65	.00
DEPARTMENT TOTALS:				.00	15,122,733.77	6,589,435.85	8,533,297.92	1,627,527.27	6,905,770.65	.00
PERCENT EXPENDED: 43.6				PERCENT EXPENDED AND ENCUMBERED: 54.3						
490 MSD Debt Service										
490 MSD Debt Service										
2020	701	490	7700	.00	86,400,900.00	40,585,008.76	45,815,891.24	.00	45,815,891.24	.00
DIVISION TOTALS:				.00	86,400,900.00	40,585,008.76	45,815,891.24	.00	45,815,891.24	.00
DEPARTMENT TOTALS:				.00	86,400,900.00	40,585,008.76	45,815,891.24	.00	45,815,891.24	.00
PERCENT EXPENDED: 47.0				PERCENT EXPENDED AND ENCUMBERED: 47.0						
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2020	701	944	7200	.00	2,941,761.00	2,582,066.00	359,695.00	.00	359,695.00	.00
DIVISION TOTALS:				.00	2,941,761.00	2,582,066.00	359,695.00	.00	359,695.00	.00
DEPARTMENT TOTALS:				.00	2,941,761.00	2,582,066.00	359,695.00	.00	359,695.00	.00
PERCENT EXPENDED: 87.8				PERCENT EXPENDED AND ENCUMBERED: 87.8						
980 Capital Outlay Accounts										
981 Motorized & Construction Equip										
2020	701	981	7600	.00	1,412,945.90	784,867.46	628,078.44	311,945.90	316,132.54	.00
DIVISION TOTALS:				.00	1,412,945.90	784,867.46	628,078.44	311,945.90	316,132.54	.00

701 982
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 30

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
982 Office & Technical Equip										
2020	701	982	7600	.00	1,963,555.32	797,789.78	1,165,765.54	411,552.61	754,212.93	.00
DIVISION TOTALS:				.00	1,963,555.32	797,789.78	1,165,765.54	411,552.61	754,212.93	.00
DEPARTMENT TOTALS:				.00	3,376,501.22	1,582,657.24	1,793,843.98	723,498.51	1,070,345.47	.00
PERCENT EXPENDED: 46.9				PERCENT EXPENDED AND ENCUMBERED: 68.3						
759 Income Tax Transit FUND										
230 Dept Of Transportation & Engin										
232 Div Of Transportation Planning										
2020	759	232	7200	.00	4,500.00	4,500.00	.00	.00	.00	.00
DIVISION TOTALS:				.00	4,500.00	4,500.00	.00	.00	.00	.00
DEPARTMENT TOTALS:				.00	4,500.00	4,500.00	.00	.00	.00	.00
PERCENT EXPENDED: 100.0				PERCENT EXPENDED AND ENCUMBERED: 100.0						
050 General FUND										
010 City Council										
011 Councilmember G. Landsman										
2021	050	011	7100	111,210.00	111,210.00	64,125.10	47,084.90	.00	47,084.90	.00
2021	050	011	7200	4,890.00	4,890.00	178.50	4,711.50	.00	4,711.50	.00
DIVISION TOTALS:				116,100.00	116,100.00	64,303.60	51,796.40	.00	51,796.40	.00
012 Councilmember L Keating										
2021	050	012	7100	111,210.00	111,210.00	60,039.03	51,170.97	.00	51,170.97	.00
2021	050	012	7200	4,890.00	4,890.00	571.86	4,318.14	.00	4,318.14	.00
DIVISION TOTALS:				116,100.00	116,100.00	60,610.89	55,489.11	.00	55,489.11	.00
015 Councilmember D. Mann										
2021	050	015	7100	111,210.00	111,210.00	51,636.43	59,573.57	.00	59,573.57	.00
2021	050	015	7200	4,890.00	4,890.00	674.85	4,215.15	.00	4,215.15	.00
DIVISION TOTALS:				116,100.00	116,100.00	52,311.28	63,788.72	.00	63,788.72	.00
016 Councilmember C. Seelbach										
2021	050	016	7100	111,210.00	111,210.00	63,477.84	47,732.16	.00	47,732.16	.00
2021	050	016	7200	4,890.00	4,890.00	357.00	4,533.00	.00	4,533.00	.00
DIVISION TOTALS:				116,100.00	116,100.00	63,834.84	52,265.16	.00	52,265.16	.00
017 Councilmember W. Young										
2021	050	017	7100	111,210.00	111,210.00	65,016.20	46,193.80	.00	46,193.80	.00
2021	050	017	7200	4,890.00	4,890.00	743.08	4,146.92	.00	4,146.92	.00
DIVISION TOTALS:				116,100.00	116,100.00	65,759.28	50,340.72	.00	50,340.72	.00
019 City Council										
2021	050	019	7100	545,010.00	545,010.00	325,386.54	219,623.46	.00	219,623.46	.00
2021	050	019	7500	491,580.00	491,580.00	259,604.67	231,975.33	.00	231,975.33	.00
DIVISION TOTALS:				1,036,590.00	1,036,590.00	584,991.21	451,598.79	.00	451,598.79	.00
024 Councilmember C. Smitherman										
2021	050	024	7100	111,210.00	111,210.00	60,166.36	51,043.64	.00	51,043.64	.00
2021	050	024	7200	4,890.00	4,890.00	866.47	4,023.53	.00	4,023.53	.00
DIVISION TOTALS:				116,100.00	116,100.00	61,032.83	55,067.17	.00	55,067.17	.00

050 026
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 31

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
026 Councilmember S Goodin										
2021	050	026	7100	111,210.00	111,210.00	57,313.69	53,896.31	.00	53,896.31	.00
2021	050	026	7200	4,890.00	4,890.00	1,016.86	3,873.14	.00	3,873.14	.00
DIVISION TOTALS:				116,100.00	116,100.00	58,330.55	57,769.45	.00	57,769.45	.00
028 Councilmember B. Sundermann										
2021	050	028	7100	111,210.00	111,210.00	59,022.54	52,187.46	.00	52,187.46	.00
2021	050	028	7200	4,890.00	4,890.00	349.90	4,540.10	.00	4,540.10	.00
DIVISION TOTALS:				116,100.00	116,100.00	59,372.44	56,727.56	.00	56,727.56	.00
029 Councilmember J. Kearney										
2021	050	029	7100	111,210.00	111,210.00	35,040.08	76,169.92	.00	76,169.92	.00
2021	050	029	7200	4,890.00	4,890.00	292.01	4,597.99	.00	4,597.99	.00
DIVISION TOTALS:				116,100.00	116,100.00	35,332.09	80,767.91	.00	80,767.91	.00
031 Office Of The Mayor										
2021	050	031	7100	623,420.00	635,630.00	286,860.30	348,769.70	.00	348,769.70	.00
2021	050	031	7200	7,650.00	6,650.00	3,769.03	2,880.97	.00	2,880.97	.00
2021	050	031	7300	5,420.00	5,420.00	1,658.34	3,761.66	.00	3,761.66	.00
2021	050	031	7400	.00	1,000.00	396.69	603.31	.00	603.31	.00
2021	050	031	7500	200,510.00	200,510.00	94,602.07	105,907.93	.00	105,907.93	.00
DIVISION TOTALS:				837,000.00	849,210.00	387,286.43	461,923.57	.00	461,923.57	.00
041 Office Of The Clerk Of Council										
2021	050	041	7100	327,880.00	338,240.00	227,187.60	111,052.40	.00	111,052.40	.00
2021	050	041	7200	95,250.00	95,250.00	30,800.50	64,449.50	6,941.84	57,507.66	.00
2021	050	041	7300	8,690.00	8,690.00	1,245.02	7,444.98	.00	7,444.98	.00
2021	050	041	7400	21,330.00	21,330.00	7,020.25	14,309.75	.00	14,309.75	.00
2021	050	041	7500	148,720.00	148,720.00	83,080.11	65,639.89	.00	65,639.89	.00
DIVISION TOTALS:				601,870.00	612,230.00	349,333.48	262,896.52	6,941.84	255,954.68	.00
DEPARTMENT TOTALS:				3,520,360.00	3,542,930.00	1,842,498.92	1,700,431.08	6,941.84	1,693,489.24	.00
PERCENT EXPENDED:				52.0	PERCENT EXPENDED AND ENCUMBERED:					
							52.2			
090 Enterprise Technology Solution										
091 Enterprise Technology Solutions										
2021	050	091	7100	3,667,800.00	3,690,958.00	2,350,744.69	1,340,213.31	.00	1,340,213.31	.00
2021	050	091	7200	211,250.00	211,250.00	116,298.44	94,951.56	20,895.11	74,056.45	.00
2021	050	091	7300	69,200.00	69,200.00	13,075.56	56,124.44	8,270.23	47,854.21	.00
2021	050	091	7400	299,840.00	299,840.00	269,244.84	30,595.16	3,041.40	27,553.76	.00
2021	050	091	7500	849,400.00	849,400.00	827,579.12	21,820.88	.00	21,820.88	.00
DIVISION TOTALS:				5,097,490.00	5,120,648.00	3,576,942.65	1,543,705.35	32,206.74	1,511,498.61	.00
DEPARTMENT TOTALS:				5,097,490.00	5,120,648.00	3,576,942.65	1,543,705.35	32,206.74	1,511,498.61	.00
PERCENT EXPENDED:				69.9	PERCENT EXPENDED AND ENCUMBERED:					
							70.5			
100 Office Of The City Manager										
101 City Manager's Office										
2021	050	101	7100	1,688,820.00	1,819,822.00	1,127,380.64	692,441.36	.00	692,441.36	.00
2021	050	101	7200	910,625.00	2,206,325.00	411,477.43	1,794,847.57	662,662.06	1,132,185.51	15,750.00
2021	050	101	7300	27,750.00	79,050.00	5,150.56	73,899.44	46,509.42	27,390.02	.00
2021	050	101	7400	118,270.00	122,270.00	45,045.49	77,224.51	34,460.03	42,764.48	.00
2021	050	101	7500	523,920.00	523,920.00	337,838.18	186,081.82	.00	186,081.82	.00
DIVISION TOTALS:				3,269,385.00	4,751,387.00	1,926,892.30	2,824,494.70	743,631.51	2,080,863.19	15,750.00

050 102
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 32

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
102 Office Of Budget & Evaluation										
2021	050	102	7100	595,730.00	616,662.00	336,055.02	280,606.98	.00	280,606.98	.00
2021	050	102	7200	93,310.00	90,810.00	14,990.70	75,819.30	.00	75,819.30	.00
2021	050	102	7300	2,330.00	4,830.00	622.72	4,207.28	.00	4,207.28	.00
2021	050	102	7400	2,230.00	2,230.00	412.22	1,817.78	637.78	1,180.00	.00
2021	050	102	7500	171,180.00	171,180.00	117,884.68	53,295.32	.00	53,295.32	.00
DIVISION TOTALS:				864,780.00	885,712.00	469,965.34	415,746.66	637.78	415,108.88	.00
103 Emergency Communications										
2021	050	103	7100	7,591,470.00	7,601,433.00	4,257,967.56	3,343,465.44	.00	3,343,465.44	.00
2021	050	103	7200	107,390.00	98,690.00	36,930.17	61,759.83	10,661.52	51,098.31	.00
2021	050	103	7300	34,510.00	34,510.00	26,267.71	8,242.29	3,016.40	5,225.89	.00
2021	050	103	7400	9,950.00	18,650.00	10,471.63	8,178.37	2,862.31	5,316.06	.00
2021	050	103	7500	3,656,390.00	3,656,390.00	1,720,928.62	1,935,461.38	.00	1,935,461.38	.00
DIVISION TOTALS:				11,399,710.00	11,409,673.00	6,052,565.69	5,357,107.31	16,540.23	5,340,567.08	.00
104 Office Of Environmental Qualities										
2021	050	104	7100	497,310.00	503,415.00	236,872.97	266,542.03	.00	266,542.03	.00
2021	050	104	7200	1,579,650.00	1,581,650.00	91,869.17	1,489,780.83	6,832.54	1,482,948.29	.00
2021	050	104	7300	14,110.00	14,110.00	1,227.99	12,882.01	1,782.65	11,099.36	.00
2021	050	104	7400	111,120.00	111,120.00	10,550.43	100,569.57	727.94	99,841.63	.00
2021	050	104	7500	162,730.00	162,730.00	82,902.97	79,827.03	.00	79,827.03	.00
DIVISION TOTALS:				2,364,920.00	2,373,025.00	423,423.53	1,949,601.47	9,343.13	1,940,258.34	.00
108 Dept of Performance Management										
2021	050	108	7100	623,430.00	821,579.00	404,330.57	417,248.43	.00	417,248.43	.00
2021	050	108	7200	25,260.00	25,760.00	11,348.65	14,411.35	12,875.00	1,536.35	.00
2021	050	108	7300	12,260.00	7,760.00	2,135.66	5,624.34	1,500.00	4,124.34	.00
2021	050	108	7400	890.00	4,890.00	2,028.72	2,861.28	.00	2,861.28	.00
2021	050	108	7500	185,150.00	248,275.00	115,424.87	132,850.13	.00	132,850.13	.00
DIVISION TOTALS:				846,990.00	1,108,264.00	535,268.47	572,995.53	14,375.00	558,620.53	.00
109 Internal Audit										
2021	050	109	7100	302,930.00	313,373.00	164,278.43	149,094.57	.00	149,094.57	.00
2021	050	109	7200	4,690.00	4,090.00	1,948.46	2,141.54	84.04	2,057.50	.00
2021	050	109	7300	1,610.00	1,610.00	47.28	1,562.72	952.72	610.00	.00
2021	050	109	7400	1,490.00	2,090.00	1,249.14	840.86	.00	840.86	.00
2021	050	109	7500	120,760.00	120,760.00	68,954.35	51,805.65	.00	51,805.65	.00
DIVISION TOTALS:				431,480.00	441,923.00	236,477.66	205,445.34	1,036.76	204,408.58	.00
DEPARTMENT TOTALS:				19,177,265.00	20,969,984.00	9,644,592.99	11,325,391.01	785,564.41	10,539,826.60	15,750.00
PERCENT EXPENDED:				46.0	PERCENT EXPENDED AND ENCUMBERED: 49.7					
110 Department Of Law										
111 Civil										
2021	050	111	7100	2,682,910.00	2,873,230.00	1,625,757.53	1,247,472.47	.00	1,247,472.47	.00
2021	050	111	7200	276,960.00	376,960.00	118,314.79	258,645.21	65,006.75	193,638.46	.00
2021	050	111	7300	28,060.00	28,060.00	9,360.92	18,699.08	.00	18,699.08	.00
2021	050	111	7400	162,700.00	162,700.00	130,009.26	32,690.74	29,225.35	3,465.39	.00
2021	050	111	7500	955,720.00	955,720.00	654,757.13	300,962.87	.00	300,962.87	.00
DIVISION TOTALS:				4,106,350.00	4,396,670.00	2,538,199.63	1,858,470.37	94,232.10	1,764,238.27	.00

050 112
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 33

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
112 Administrative Hearings & Prosecution										
2021	050	112	7100	2,187,190.00	2,251,814.00	1,269,061.22	982,752.78	.00	982,752.78	.00
2021	050	112	7200	106,710.00	106,710.00	23,115.19	83,594.81	.00	83,594.81	.00
2021	050	112	7300	15,970.00	15,970.00	9,342.79	6,627.21	1,436.01	5,191.20	.00
2021	050	112	7400	47,110.00	47,110.00	13,408.60	33,701.40	8,054.86	25,646.54	.00
2021	050	112	7500	706,960.00	706,960.00	458,752.98	248,207.02	.00	248,207.02	.00
DIVISION TOTALS:				3,063,940.00	3,128,564.00	1,773,680.78	1,354,883.22	9,490.87	1,345,392.35	.00
DEPARTMENT TOTALS:				7,170,290.00	7,525,234.00	4,311,880.41	3,213,353.59	103,722.97	3,109,630.62	.00
PERCENT EXPENDED:				57.3	PERCENT EXPENDED AND ENCUMBERED:					
								58.7		
120 Department Of Human Resources										
121 Department Of Human Resources										
2021	050	121	7100	1,154,170.00	1,183,441.00	671,603.53	511,837.47	.00	511,837.47	.00
2021	050	121	7200	177,240.00	177,240.00	45,116.18	132,123.82	7,754.35	124,369.47	.00
2021	050	121	7300	22,370.00	20,870.00	4,186.05	16,683.95	673.04	16,010.91	.00
2021	050	121	7400	14,610.00	16,110.00	12,086.05	4,023.95	3,025.95	998.00	.00
2021	050	121	7500	461,560.00	461,560.00	213,286.43	248,273.57	.00	248,273.57	.00
DIVISION TOTALS:				1,829,950.00	1,859,221.00	946,278.24	912,942.76	11,453.34	901,489.42	.00
DEPARTMENT TOTALS:				1,829,950.00	1,859,221.00	946,278.24	912,942.76	11,453.34	901,489.42	.00
PERCENT EXPENDED:				50.9	PERCENT EXPENDED AND ENCUMBERED:					
								51.5		
130 Department Of Finance										
131 Finance, Office Of Director										
2021	050	131	7100	313,730.00	318,533.00	146,045.99	172,487.01	.00	172,487.01	.00
2021	050	131	7200	67,090.00	107,090.00	7,640.79	99,449.21	34,550.00	64,899.21	.00
2021	050	131	7300	3,490.00	3,490.00	193.74	3,296.26	2,500.00	796.26	.00
2021	050	131	7400	6,790.00	6,790.00	691.35	6,098.65	304.44	5,794.21	.00
2021	050	131	7500	85,330.00	85,330.00	45,154.99	40,175.01	.00	40,175.01	.00
DIVISION TOTALS:				476,430.00	521,233.00	199,726.86	321,506.14	37,354.44	284,151.70	.00
133 Finance, Accounts & Audits										
2021	050	133	7100	1,106,840.00	1,118,550.00	577,889.59	540,660.41	.00	540,660.41	.00
2021	050	133	7200	15,460.00	15,460.00	9,912.67	5,547.33	188.00	5,359.33	.00
2021	050	133	7300	15,390.00	15,390.00	987.70	14,402.30	5,329.09	9,073.21	.00
2021	050	133	7400	12,160.00	12,160.00	2,146.21	10,013.79	1,440.79	8,573.00	.00
2021	050	133	7500	346,990.00	346,990.00	193,522.86	153,467.14	.00	153,467.14	.00
DIVISION TOTALS:				1,496,840.00	1,508,550.00	784,459.03	724,090.97	6,957.88	717,133.09	.00
134 Finance, Treasury										
2021	050	134	7100	598,400.00	600,341.00	316,074.67	284,266.33	.00	284,266.33	.00
2021	050	134	7200	92,030.00	92,030.00	30,433.21	61,596.79	30,283.68	31,313.11	.00
2021	050	134	7300	38,770.00	38,770.00	6,954.40	31,815.60	6,575.17	25,240.43	.00
2021	050	134	7400	7,860.00	7,860.00	1,887.97	5,972.03	364.47	5,607.56	.00
2021	050	134	7500	230,880.00	230,880.00	125,535.77	105,344.23	.00	105,344.23	.00
DIVISION TOTALS:				967,940.00	969,881.00	480,886.02	488,994.98	37,223.32	451,771.66	.00
135 Finance, Risk Management										
2021	050	135	7400	192,270.00	192,270.00	.00	192,270.00	.00	192,270.00	.00
DIVISION TOTALS:				192,270.00	192,270.00	.00	192,270.00	.00	192,270.00	.00

050 136
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 34

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
136 Finance, Income Tax										
2021	050	136	7100	1,864,180.00	1,872,850.00	1,115,371.67	757,478.33	.00	757,478.33	.00
2021	050	136	7200	176,250.00	170,250.00	21,159.94	149,090.06	2,647.00	146,443.06	.00
2021	050	136	7300	13,610.00	13,610.00	4,541.75	9,068.25	1,714.15	7,354.10	.00
2021	050	136	7400	149,450.00	155,450.00	108,368.17	47,081.83	44,502.83	2,579.00	.00
2021	050	136	7500	609,980.00	609,980.00	410,037.78	199,942.22	.00	199,942.22	.00
DIVISION TOTALS:				2,813,470.00	2,822,140.00	1,659,479.31	1,162,660.69	48,863.98	1,113,796.71	.00
137 Finance, Purchasing										
2021	050	137	7100	663,340.00	665,713.00	392,811.10	272,901.90	.00	272,901.90	.00
2021	050	137	7200	21,135.00	21,135.00	1,288.02	19,846.98	184.05	19,662.93	.00
2021	050	137	7300	88,710.00	88,710.00	5,541.47	83,168.53	255.66	82,912.87	.00
2021	050	137	7400	101,810.00	101,810.00	90,810.44	10,999.56	1,554.60	9,444.96	.00
2021	050	137	7500	155,520.00	161,370.00	161,351.12	18.88	.00	18.88	.00
DIVISION TOTALS:				1,030,515.00	1,038,738.00	651,802.15	386,935.85	1,994.31	384,941.54	.00
DEPARTMENT TOTALS:				6,977,465.00	7,052,812.00	3,776,353.37	3,276,458.63	132,393.93	3,144,064.70	.00
PERCENT EXPENDED:				53.5	PERCENT EXPENDED AND ENCUMBERED:					
								55.4		
160 Community Developmt										
161 Comm Dvlp, Office Of The Director										
2021	050	161	7100	178,280.00	190,947.00	114,367.03	76,579.97	.00	76,579.97	.00
2021	050	161	7200	51,930.00	201,930.00	17,246.82	184,683.18	1,000.00	183,683.18	.00
2021	050	161	7300	5,400.00	5,400.00	1,569.86	3,830.14	.00	3,830.14	.00
2021	050	161	7400	231,090.00	331,090.00	167,310.23	163,779.77	19,874.70	143,905.07	.00
2021	050	161	7500	63,770.00	63,770.00	62,299.22	1,470.78	.00	1,470.78	.00
DIVISION TOTALS:				530,470.00	793,137.00	362,793.16	430,343.84	20,874.70	409,469.14	.00
162 Comm Dvlp, Division Of Housing Devel										
2021	050	162	7100	118,860.00	120,480.00	86,318.52	34,161.48	.00	34,161.48	.00
2021	050	162	7200	5,000.00	5,000.00	507.00	4,493.00	.00	4,493.00	.00
2021	050	162	7400	874,500.00	1,194,500.00	249.28	1,194,250.72	558,250.72	636,000.00	.00
2021	050	162	7500	39,360.00	39,360.00	3,277.83	36,082.17	.00	36,082.17	.00
DIVISION TOTALS:				1,037,720.00	1,359,340.00	90,352.63	1,268,987.37	558,250.72	710,736.65	.00
164 Division Of Community Devel										
2021	050	164	7100	470,440.00	493,680.00	161,271.92	332,408.08	.00	332,408.08	.00
2021	050	164	7200	191,450.00	625,695.00	31,740.18	593,954.82	.00	593,954.82	.00
2021	050	164	7400	554,200.00	554,200.00	222,671.86	331,528.14	.00	331,528.14	.00
2021	050	164	7500	154,290.00	154,290.00	10,321.78	143,968.22	.00	143,968.22	.00
DIVISION TOTALS:				1,370,380.00	1,827,865.00	426,005.74	1,401,859.26	.00	1,401,859.26	.00
DEPARTMENT TOTALS:				2,938,570.00	3,980,342.00	879,151.53	3,101,190.47	579,125.42	2,522,065.05	.00
PERCENT EXPENDED:				22.1	PERCENT EXPENDED AND ENCUMBERED:					
								36.6		

050 171
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 35

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
170 Department Of Planning & Build										
171 City Planning										
2021	050	171	7100	320,560.00	285,818.00	121,168.48	164,649.52	.00	164,649.52	.00
2021	050	171	7200	34,820.00	34,820.00	25,118.64	9,701.36	1,231.46	8,469.90	.00
2021	050	171	7300	6,570.00	6,570.00	726.07	5,843.93	5,140.95	702.98	.00
2021	050	171	7400	7,050.00	7,050.00	3,524.74	3,525.26	2,779.26	746.00	.00
2021	050	171	7500	29,040.00	79,040.00	47,323.46	31,716.54	.00	31,716.54	.00
DIVISION TOTALS:				398,040.00	413,298.00	197,861.39	215,436.61	9,151.67	206,284.94	.00
DEPARTMENT TOTALS:				398,040.00	413,298.00	197,861.39	215,436.61	9,151.67	206,284.94	.00
PERCENT EXPENDED:				47.9	PERCENT EXPENDED AND ENCUMBERED:			50.1		
180 Citizens' Complaint Authority										
181 Citizens' Complaint Authority										
2021	050	181	7100	580,902.00	590,591.00	255,076.19	335,514.81	.00	335,514.81	.00
2021	050	181	7200	36,454.00	85,954.00	17,797.05	68,156.95	15,255.13	52,901.82	.00
2021	050	181	7300	11,480.00	11,280.00	2,118.52	9,161.48	767.10	8,394.38	.00
2021	050	181	7400	1,150.00	1,850.00	924.34	925.66	470.66	455.00	.00
2021	050	181	7500	219,054.00	219,054.00	84,706.50	134,347.50	.00	134,347.50	.00
DIVISION TOTALS:				849,040.00	908,729.00	360,622.60	548,106.40	16,492.89	531,613.51	.00
DEPARTMENT TOTALS:				849,040.00	908,729.00	360,622.60	548,106.40	16,492.89	531,613.51	.00
PERCENT EXPENDED:				39.7	PERCENT EXPENDED AND ENCUMBERED:			41.5		
190 Dept Of Public Recreation										
191 Recreation West Region										
2021	050	191	7100	1,968,941.00	1,972,059.00	905,927.79	1,066,131.21	.00	1,066,131.21	.00
2021	050	191	7200	391,090.00	391,090.00	229,040.30	162,049.70	122,843.55	39,206.15	9,837.00
2021	050	191	7300	69,920.00	69,920.00	24,053.15	45,866.85	807.05	45,059.80	.00
2021	050	191	7400	9,920.00	9,920.00	6,584.29	3,335.71	2,609.80	725.91	.00
2021	050	191	7500	679,629.00	679,629.00	334,634.78	344,994.22	.00	344,994.22	.00
DIVISION TOTALS:				3,119,500.00	3,122,618.00	1,500,240.31	1,622,377.69	126,260.40	1,496,117.29	9,837.00
192 Recreation East Region										
2021	050	192	7100	1,230,380.00	1,230,380.00	900,903.39	329,476.61	.00	329,476.61	.00
2021	050	192	7200	299,630.00	299,630.00	184,397.33	115,232.67	76,602.26	38,630.41	9,762.00
2021	050	192	7300	60,450.00	58,680.00	22,140.19	36,539.81	5,202.53	31,337.28	.00
2021	050	192	7400	10,030.00	11,800.00	7,154.71	4,645.29	3,865.64	779.65	.00
2021	050	192	7500	385,830.00	385,830.00	273,638.19	112,191.81	.00	112,191.81	.00
DIVISION TOTALS:				1,986,320.00	1,986,320.00	1,388,233.81	598,086.19	85,670.43	512,415.76	9,762.00
193 Recreation Central Region										
2021	050	193	7100	1,548,000.00	1,548,000.00	866,869.94	681,130.06	.00	681,130.06	.00
2021	050	193	7200	294,520.00	333,290.00	227,845.21	105,444.79	95,550.94	9,893.85	11,947.00
2021	050	193	7300	68,920.00	29,350.00	23,306.79	6,043.21	3,198.13	2,845.08	.00
2021	050	193	7400	8,650.00	9,450.00	6,386.37	3,063.63	2,821.80	241.83	.00
2021	050	193	7500	515,570.00	515,570.00	314,599.32	200,970.68	.00	200,970.68	.00
DIVISION TOTALS:				2,435,660.00	2,435,660.00	1,439,007.63	996,652.37	101,570.87	895,081.50	11,947.00
194 Recreation Maintenance										
2021	050	194	7100	1,512,060.00	1,517,199.00	1,386,679.28	130,519.72	.00	130,519.72	.00
2021	050	194	7200	454,155.00	454,155.00	344,294.10	109,860.90	67,946.51	41,914.39	.00
2021	050	194	7300	518,915.00	518,915.00	235,823.07	283,091.93	149,988.34	133,103.59	.00
2021	050	194	7400	25,840.00	25,840.00	6,315.05	19,524.95	3,022.72	16,502.23	.00
2021	050	194	7500	519,010.00	519,010.00	493,707.21	25,302.79	.00	25,302.79	.00
DIVISION TOTALS:				3,029,980.00	3,035,119.00	2,466,818.71	568,300.29	220,957.57	347,342.72	.00

050 197
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 36

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
197 Recreation Athletics										
2021	050	197	7100	1,999,324.00	1,999,324.00	1,087,512.86	911,811.14	.00	911,811.14	.00
2021	050	197	7200	329,770.00	329,770.00	151,097.84	178,672.16	67,006.70	111,665.46	.00
2021	050	197	7300	58,560.00	58,560.00	12,777.98	45,782.02	249.01	45,533.01	.00
2021	050	197	7400	18,840.00	18,840.00	2,842.54	15,997.46	770.05	15,227.41	.00
2021	050	197	7500	370,266.00	370,266.00	206,211.80	164,054.20	.00	164,054.20	.00
DIVISION TOTALS:				2,776,760.00	2,776,760.00	1,460,443.02	1,316,316.98	68,025.76	1,248,291.22	.00
199 Recreation Administration										
2021	050	199	7100	1,250,100.00	1,470,615.00	943,739.70	526,875.30	.00	526,875.30	.00
2021	050	199	7200	116,850.00	98,670.00	49,482.24	49,187.76	20,850.40	28,337.36	.00
2021	050	199	7300	25,120.00	43,300.00	37,455.16	5,844.84	2,866.43	2,978.41	.00
2021	050	199	7400	31,930.00	31,930.00	20,131.80	11,798.20	3,572.15	8,226.05	.00
2021	050	199	7500	475,110.00	475,110.00	347,682.16	127,427.84	.00	127,427.84	.00
2021	050	199	7600	25,340.00	25,340.00	15,860.25	9,479.75	.00	9,479.75	.00
DIVISION TOTALS:				1,924,450.00	2,144,965.00	1,414,351.31	730,613.69	27,288.98	703,324.71	.00
DEPARTMENT TOTALS:				15,272,670.00	15,501,442.00	9,669,094.79	5,832,347.21	629,774.01	5,202,573.20	31,546.00
PERCENT EXPENDED:				62.4	PERCENT EXPENDED AND ENCUMBERED:					
								66.4		
200 Department Of Parks										
201 Parks, Office Of The Director										
2021	050	201	7100	205,920.00	212,047.00	116,413.12	95,633.88	.00	95,633.88	.00
2021	050	201	7500	64,330.00	64,330.00	35,392.83	28,937.17	.00	28,937.17	.00
DIVISION TOTALS:				270,250.00	276,377.00	151,805.95	124,571.05	.00	124,571.05	.00
202 Parks, Operations & Facility Mgmt										
2021	050	202	7100	2,243,710.00	2,248,703.00	2,055,010.89	193,692.11	.00	193,692.11	.00
2021	050	202	7200	1,251,900.00	1,217,258.53	487,922.23	729,336.30	88,614.79	640,721.51	.00
2021	050	202	7300	613,310.00	574,719.00	235,080.44	339,638.56	78,180.59	261,457.97	.00
2021	050	202	7400	605,170.00	678,402.47	34,098.66	644,303.81	16,750.55	627,553.26	.00
2021	050	202	7500	799,640.00	799,640.00	772,354.75	27,285.25	.00	27,285.25	.00
DIVISION TOTALS:				5,513,730.00	5,518,723.00	3,584,466.97	1,934,256.03	183,545.93	1,750,710.10	.00
203 Parks, Adm & Program Services										
2021	050	203	7100	1,291,920.00	1,311,887.00	1,016,191.07	295,695.93	.00	295,695.93	.00
2021	050	203	7200	638,050.00	638,050.00	301,137.34	336,912.66	261,572.22	75,340.44	4,740.00
2021	050	203	7300	109,710.00	109,710.00	29,037.04	80,672.96	32,208.90	48,464.06	.00
2021	050	203	7400	15,390.00	15,390.00	8,395.04	6,994.96	4,377.49	2,617.47	.00
2021	050	203	7500	434,830.00	434,830.00	385,509.52	49,320.48	.00	49,320.48	.00
DIVISION TOTALS:				2,489,900.00	2,509,867.00	1,740,270.01	769,596.99	298,158.61	471,438.38	4,740.00
DEPARTMENT TOTALS:				8,273,880.00	8,304,967.00	5,476,542.93	2,828,424.07	481,704.54	2,346,719.53	4,740.00
PERCENT EXPENDED:				65.9	PERCENT EXPENDED AND ENCUMBERED:					
								71.7		
210 Dept Of Bldgs & Inspections										
211 Bldg & Inspections, Director										
2021	050	211	7100	4,902,630.00	4,930,025.00	2,575,215.56	2,354,809.44	.00	2,354,809.44	.00
2021	050	211	7200	258,630.00	258,630.00	128,910.25	129,719.75	5,265.41	124,454.34	.00
2021	050	211	7300	40,460.00	40,460.00	6,851.14	33,608.86	13,642.19	19,966.67	.00
2021	050	211	7400	298,170.00	298,170.00	193,045.87	105,124.13	93,270.31	11,853.82	.00
2021	050	211	7500	1,891,940.00	1,891,940.00	1,103,399.86	788,540.14	.00	788,540.14	.00
DIVISION TOTALS:				7,391,830.00	7,419,225.00	4,007,422.68	3,411,802.32	112,177.91	3,299,624.41	.00

050 212
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 37

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
212 Bldg & Inspections, Licenses & Permits										
2021	050	212	7100	725,750.00	731,132.00	404,264.82	326,867.18	.00	326,867.18	.00
2021	050	212	7200	209,170.00	209,170.00	57,902.71	151,267.29	336.88	150,930.41	.00
2021	050	212	7300	22,680.00	22,680.00	546.08	22,133.92	2,000.00	20,133.92	.00
2021	050	212	7400	3,290.00	3,290.00	2,439.72	850.28	850.28	.00	.00
2021	050	212	7500	248,210.00	248,210.00	219,570.34	28,639.66	.00	28,639.66	.00
DIVISION TOTALS:				1,209,100.00	1,214,482.00	684,723.67	529,758.33	3,187.16	526,571.17	.00
DEPARTMENT TOTALS:				8,600,930.00	8,633,707.00	4,692,146.35	3,941,560.65	115,365.07	3,826,195.58	.00
PERCENT EXPENDED:				54.3	PERCENT EXPENDED AND ENCUMBERED:					
								55.7		
220 Open										
222 Department Of Police										
2021	050	222	7100	66,675,010.00	66,781,853.00	40,851,017.62	25,930,835.38	.00	25,930,835.38	.00
2021	050	222	7200	4,442,080.00	4,442,080.00	2,678,867.94	1,763,212.06	929,568.51	833,643.55	.00
2021	050	222	7300	1,348,630.00	1,348,630.00	713,923.53	634,706.47	86,088.26	548,618.21	6,811.00
2021	050	222	7400	239,700.00	569,700.00	274,075.08	295,624.92	83,180.72	212,444.20	.00
2021	050	222	7500	26,877,560.00	26,577,560.00	15,883,824.02	10,693,735.98	.00	10,693,735.98	.00
DIVISION TOTALS:				99,582,980.00	99,719,823.00	60,401,708.19	39,318,114.81	1,098,837.49	38,219,277.32	6,811.00
225 Police - Investigations										
2021	050	225	7100	14,519,930.00	14,521,725.00	8,323,217.25	6,198,507.75	.00	6,198,507.75	.00
2021	050	225	7200	1,491,150.00	1,491,150.00	619,952.79	871,197.21	544,131.85	327,065.36	.00
2021	050	225	7300	127,800.00	112,800.00	58,098.51	54,701.49	7,799.06	46,902.43	.00
2021	050	225	7400	97,550.00	112,550.00	86,370.86	26,179.14	17,301.50	8,877.64	.00
2021	050	225	7500	5,455,560.00	5,455,560.00	3,230,786.86	2,224,773.14	.00	2,224,773.14	.00
DIVISION TOTALS:				21,691,990.00	21,693,785.00	12,318,426.27	9,375,358.73	569,232.41	8,806,126.32	.00
226 Police - Support										
2021	050	226	7100	7,093,510.00	7,097,275.00	3,555,434.45	3,541,840.55	.00	3,541,840.55	.00
2021	050	226	7200	4,851,470.00	4,761,470.00	4,076,134.47	685,335.53	589,225.56	96,109.97	.00
2021	050	226	7300	808,040.00	808,040.00	207,934.23	600,105.77	224,686.29	375,419.48	.00
2021	050	226	7400	929,680.00	929,680.00	424,895.55	504,784.45	166,254.03	338,530.42	.00
2021	050	226	7500	2,574,860.00	2,574,860.00	1,284,505.65	1,290,354.35	.00	1,290,354.35	.00
DIVISION TOTALS:				16,257,560.00	16,171,325.00	9,548,904.35	6,622,420.65	980,165.88	5,642,254.77	.00
227 Police - Administration										
2021	050	227	7100	5,435,100.00	5,316,863.00	3,990,643.50	1,326,219.50	.00	1,326,219.50	.00
2021	050	227	7200	404,580.00	399,580.00	151,943.56	247,636.44	56,510.82	191,125.62	.00
2021	050	227	7300	258,520.00	245,920.00	46,931.33	198,988.67	18,419.39	180,569.28	.00
2021	050	227	7400	23,210.00	40,810.00	24,032.94	16,777.06	15,459.78	1,317.28	14,523.24
2021	050	227	7500	2,565,300.00	2,565,300.00	1,319,542.76	1,245,757.24	.00	1,245,757.24	.00
DIVISION TOTALS:				8,686,710.00	8,568,473.00	5,533,094.09	3,035,378.91	90,389.99	2,944,988.92	14,523.24
228 Police - Resource Bureau										
2021	050	228	7100	4,494,660.00	4,494,660.00	2,476,740.72	2,017,919.28	.00	2,017,919.28	.00
2021	050	228	7200	121,230.00	116,730.00	48,029.56	68,700.44	13,300.81	55,399.63	.00
2021	050	228	7300	27,070.00	27,070.00	20,017.36	7,052.64	2,755.55	4,297.09	.00
2021	050	228	7400	5,530.00	10,030.00	6,790.72	3,239.28	3,225.18	14.10	.00
2021	050	228	7500	1,770,900.00	1,770,900.00	959,041.02	811,858.98	.00	811,858.98	.00
DIVISION TOTALS:				6,419,390.00	6,419,390.00	3,510,619.38	2,908,770.62	19,281.54	2,889,489.08	.00
DEPARTMENT TOTALS:				152,638,630.00	152,572,796.00	91,312,752.28	61,260,043.72	2,757,907.31	58,502,136.41	21,334.24
PERCENT EXPENDED:				59.8	PERCENT EXPENDED AND ENCUMBERED:					
								61.7		

050 231
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 38

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
230 Dept Of Transportation & Engin										
231 Trans & Eng, Director										
2021	050	231	7100	180,610.00	194,857.00	188,423.86	6,433.14	.00	6,433.14	.00
2021	050	231	7200	24,630.00	24,630.00	6,629.38	18,000.62	1,300.00	16,700.62	.00
2021	050	231	7300	39,600.00	39,600.00	6,761.25	32,838.75	13,388.75	19,450.00	.00
2021	050	231	7400	400.00	400.00	90.00	310.00	.00	310.00	.00
2021	050	231	7500	1,440.00	1,440.00	455.49	984.51	.00	984.51	.00
DIVISION TOTALS:				246,680.00	260,927.00	202,359.98	58,567.02	14,688.75	43,878.27	.00
232 Div Of Transportation Planning										
2021	050	232	7100	6,260.00	6,260.00	5,304.29	955.71	.00	955.71	.00
2021	050	232	7200	1,980.00	21,980.00	363.39	21,616.61	92.11	21,524.50	.00
2021	050	232	7300	610.00	610.00	.00	610.00	.00	610.00	.00
2021	050	232	7500	370.00	370.00	180.24	189.76	.00	189.76	.00
DIVISION TOTALS:				9,220.00	29,220.00	5,847.92	23,372.08	92.11	23,279.97	.00
233 Division Of Engineering										
2021	050	233	7100	43,790.00	43,790.00	-40,648.11	84,438.11	.00	84,438.11	.00
2021	050	233	7200	14,690.00	14,690.00	4,261.90	10,428.10	251.27	10,176.83	.00
2021	050	233	7400	7,920.00	7,920.00	2,222.07	5,697.93	2,997.93	2,700.00	.00
2021	050	233	7500	31,690.00	31,690.00	10,086.85	21,603.15	.00	21,603.15	.00
DIVISION TOTALS:				98,090.00	98,090.00	-24,077.29	122,167.29	3,249.20	118,918.09	.00
239 Division Of Traffic Engineer										
2021	050	239	7200	1,857,060.00	1,857,060.00	740,754.01	1,116,305.99	1,071,586.67	44,719.32	.00
2021	050	239	7300	66,110.00	66,110.00	.00	66,110.00	.00	66,110.00	.00
DIVISION TOTALS:				1,923,170.00	1,923,170.00	740,754.01	1,182,415.99	1,071,586.67	110,829.32	.00
DEPARTMENT TOTALS:				2,277,160.00	2,311,407.00	924,884.62	1,386,522.38	1,089,616.73	296,905.65	.00
PERCENT EXPENDED: 40.0				PERCENT EXPENDED AND ENCUMBERED:				87.2		
250 Dept Of Public Services										
251 Office Of The Director										
2021	050	251	7100	626,620.00	642,185.00	472,512.42	169,672.58	.00	169,672.58	.00
2021	050	251	7200	32,550.00	32,550.00	16,342.86	16,207.14	3,617.14	12,590.00	.00
2021	050	251	7300	38,150.00	38,150.00	7,526.25	30,623.75	2,546.22	28,077.53	.00
2021	050	251	7400	23,780.00	23,780.00	8,362.96	15,417.04	5,066.78	10,350.26	.00
2021	050	251	7500	235,980.00	235,980.00	147,129.61	88,850.39	.00	88,850.39	.00
DIVISION TOTALS:				957,080.00	972,645.00	651,874.10	320,770.90	11,230.14	309,540.76	.00
253 Div Of Neighborhood Operations										
2021	050	253	7100	4,030,960.00	4,033,230.00	2,022,150.91	2,011,079.09	.00	2,011,079.09	.00
2021	050	253	7200	4,079,170.00	4,079,170.00	2,140,502.04	1,938,667.96	1,430,812.71	507,855.25	.00
2021	050	253	7300	667,320.00	657,320.00	298,489.31	358,830.69	13,373.21	345,457.48	.00
2021	050	253	7400	47,640.00	57,640.00	10,898.60	46,741.40	44,271.28	2,470.12	.00
2021	050	253	7500	1,581,700.00	1,581,700.00	963,085.25	618,614.75	.00	618,614.75	.00
DIVISION TOTALS:				10,406,790.00	10,409,060.00	5,435,126.11	4,973,933.89	1,488,457.20	3,485,476.69	.00
255 Div Of City Facility Mgmt										
2021	050	255	7100	75,920.00	75,920.00	39,766.64	36,153.36	.00	36,153.36	.00
2021	050	255	7200	1,737,720.00	2,112,720.00	1,452,107.58	660,612.42	643,084.29	17,528.13	.00
2021	050	255	7300	900.00	900.00	179.16	720.84	.00	720.84	.00
2021	050	255	7400	1,031,120.00	656,120.00	650,003.00	6,117.00	.00	6,117.00	.00
2021	050	255	7500	33,830.00	33,830.00	16,217.77	17,612.23	.00	17,612.23	.00
DIVISION TOTALS:				2,879,490.00	2,879,490.00	2,158,274.15	721,215.85	643,084.29	78,131.56	.00

050 256
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 39

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
256 Fleet Services										
2021	050	256	7100	73,420.00	73,420.00	57,647.55	15,772.45	.00	15,772.45	.00
2021	050	256	7200	760.00	760.00	503.89	256.11	.00	256.11	.00
2021	050	256	7300	190.00	190.00	190.00	.00	.00	.00	.00
2021	050	256	7400	70.00	70.00	70.00	.00	.00	.00	.00
2021	050	256	7500	44,490.00	44,490.00	36,038.69	8,451.31	.00	8,451.31	.00
DIVISION TOTALS:				118,930.00	118,930.00	94,450.13	24,479.87	.00	24,479.87	.00
DEPARTMENT TOTALS:				14,362,290.00	14,380,125.00	8,339,724.49	6,040,400.51	2,142,771.63	3,897,628.88	.00
PERCENT EXPENDED:				58.0	PERCENT EXPENDED AND ENCUMBERED:					
								72.9		
270 Department Of Fire										
271 Fire - Response										
2021	050	271	7100	70,077,840.00	70,077,840.00	38,184,789.05	31,893,050.95	.00	31,893,050.95	.00
2021	050	271	7200	4,754,640.00	4,754,640.00	2,563,602.05	2,191,037.95	943,036.56	1,248,001.39	.00
2021	050	271	7300	2,216,440.00	2,268,940.00	819,324.24	1,449,615.76	416,683.94	1,032,931.82	.00
2021	050	271	7400	906,530.00	906,530.00	858,010.27	48,519.73	3,622.02	44,897.71	.00
2021	050	271	7500	30,690,090.00	30,690,090.00	15,663,745.68	15,026,344.32	.00	15,026,344.32	.00
DIVISION TOTALS:				108,645,540.00	108,698,040.00	58,089,471.29	50,608,568.71	1,363,342.52	49,245,226.19	.00
272 Fire - Support Services										
2021	050	272	7100	7,579,100.00	7,590,300.00	4,095,113.44	3,495,186.56	.00	3,495,186.56	.00
2021	050	272	7200	1,047,960.00	1,026,860.00	326,352.18	700,507.82	199,873.36	500,634.46	.00
2021	050	272	7300	861,120.00	861,120.00	90,463.57	770,656.43	68,117.02	702,539.41	.00
2021	050	272	7400	297,490.00	318,590.00	272,377.48	46,212.52	44,610.52	1,602.00	.00
2021	050	272	7500	2,883,260.00	2,883,260.00	1,642,652.23	1,240,607.77	.00	1,240,607.77	.00
DIVISION TOTALS:				12,668,930.00	12,680,130.00	6,426,958.90	6,253,171.10	312,600.90	5,940,570.20	.00
DEPARTMENT TOTALS:				121,314,470.00	121,378,170.00	64,516,430.19	56,861,739.81	1,675,943.42	55,185,796.39	.00
PERCENT EXPENDED:				53.2	PERCENT EXPENDED AND ENCUMBERED:					
								54.5		
280										
281 Economic Inclusion										
2021	050	281	7100	523,280.00	541,283.00	387,906.16	153,376.84	.00	153,376.84	.00
2021	050	281	7200	461,290.00	461,290.00	4,532.80	456,757.20	738.84	456,018.36	.00
2021	050	281	7300	3,720.00	3,720.00	158.87	3,561.13	341.13	3,220.00	.00
2021	050	281	7400	2,301,317.00	3,161,317.00	750,085.23	2,411,231.77	1,958,392.07	452,839.70	.00
2021	050	281	7500	140,540.00	140,540.00	122,651.37	17,888.63	.00	17,888.63	.00
DIVISION TOTALS:				3,430,147.00	4,308,150.00	1,265,334.43	3,042,815.57	1,959,472.04	1,083,343.53	.00
DEPARTMENT TOTALS:				3,430,147.00	4,308,150.00	1,265,334.43	3,042,815.57	1,959,472.04	1,083,343.53	.00
PERCENT EXPENDED:				29.4	PERCENT EXPENDED AND ENCUMBERED:					
								74.9		
910 Employee Benefits										
919 Public Employee Assistance										
2021	050	919	7500	320,010.00	320,010.00	.00	320,010.00	.00	320,010.00	.00
DIVISION TOTALS:				320,010.00	320,010.00	.00	320,010.00	.00	320,010.00	.00
DEPARTMENT TOTALS:				320,010.00	320,010.00	.00	320,010.00	.00	320,010.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	050	921	7500	3,919,730.00	3,919,730.00	3,919,730.00	.00	.00	.00	.00
DIVISION TOTALS:				3,919,730.00	3,919,730.00	3,919,730.00	.00	.00	.00	.00

050 922
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 40

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
922 Police & Fire Fighter's Ins										
2021	050	922	7400	300,000.00	300,000.00	250,000.00	50,000.00	.00	50,000.00	.00
DIVISION TOTALS:				300,000.00	300,000.00	250,000.00	50,000.00	.00	50,000.00	.00
923 State Unemployment Comp										
2021	050	923	7500	150,000.00	150,000.00	-95,588.81	245,588.81	150,000.00	95,588.81	.00
DIVISION TOTALS:				150,000.00	150,000.00	-95,588.81	245,588.81	150,000.00	95,588.81	.00
924 Lump Sum Payment										
2021	050	924	7100	3,907,510.00	3,907,510.00	535,808.50	3,371,701.50	.00	3,371,701.50	.00
DIVISION TOTALS:				3,907,510.00	3,907,510.00	535,808.50	3,371,701.50	.00	3,371,701.50	.00
928 Tuition Reimbursement										
2021	050	928	7400	.00	100,000.00	.00	100,000.00	.00	100,000.00	.00
DIVISION TOTALS:				.00	100,000.00	.00	100,000.00	.00	100,000.00	.00
DEPARTMENT TOTALS:				8,277,240.00	8,377,240.00	4,609,949.69	3,767,290.31	150,000.00	3,617,290.31	.00
PERCENT EXPENDED:				55.0	PERCENT EXPENDED AND ENCUMBERED:					
								56.8		
940 Govt'Al & Prof'Al Services										
941 Audit And Examiner's Fees										
2021	050	941	7200	400,000.00	391,037.00	248,487.70	142,549.30	127,099.10	15,450.20	.00
2021	050	941	7400	.00	8,963.00	8,962.75	.25	.00	.25	.00
DIVISION TOTALS:				400,000.00	400,000.00	257,450.45	142,549.55	127,099.10	15,450.45	.00
942 Hamco Treasurer & Auditor Fees										
2021	050	942	7200	500,000.00	500,000.00	159,544.55	340,455.45	.00	340,455.45	.00
DIVISION TOTALS:				500,000.00	500,000.00	159,544.55	340,455.45	.00	340,455.45	.00
944 General Fund Overhead										
2021	050	944	7200	83,270.00	83,270.00	83,270.00	.00	.00	.00	.00
DIVISION TOTALS:				83,270.00	83,270.00	83,270.00	.00	.00	.00	.00
946 Election Expense										
2021	050	946	7200	50,510.00	50,510.00	.00	50,510.00	.00	50,510.00	.00
2021	050	946	7400	40,410.00	40,410.00	.00	40,410.00	.00	40,410.00	.00
DIVISION TOTALS:				90,920.00	90,920.00	.00	90,920.00	.00	90,920.00	.00
DEPARTMENT TOTALS:				1,074,190.00	1,074,190.00	500,265.00	573,925.00	127,099.10	446,825.90	.00
PERCENT EXPENDED:				46.6	PERCENT EXPENDED AND ENCUMBERED:					
								58.4		
950 Miscellaneous Accounts										
951 Judgments Against The City										
2021	050	951	7400	900,000.00	900,000.00	401,072.14	498,927.86	498,927.86	.00	.00
DIVISION TOTALS:				900,000.00	900,000.00	401,072.14	498,927.86	498,927.86	.00	.00
952 Enterprise Software and Licenses										
2021	050	952	7200	1,394,200.00	1,394,200.00	612,927.21	781,272.79	33,059.00	748,213.79	.00
2021	050	952	7300	514,600.00	514,600.00	.00	514,600.00	.00	514,600.00	.00
2021	050	952	7400	4,196,790.00	4,196,790.00	1,200,067.51	2,996,722.49	190,564.32	2,806,158.17	83,209.80
DIVISION TOTALS:				6,105,590.00	6,105,590.00	1,812,994.72	4,292,595.28	223,623.32	4,068,971.96	83,209.80
953 Memberships & Publications										
2021	050	953	7200	172,270.00	172,270.00	36,780.89	135,489.11	28,550.00	106,939.11	.00
2021	050	953	7400	89,480.00	89,480.00	.00	89,480.00	.00	89,480.00	.00
DIVISION TOTALS:				261,750.00	261,750.00	36,780.89	224,969.11	28,550.00	196,419.11	.00

050 959
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 41

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
959 Manager's Office Obligations										
2021	050	959	7200	176,990.00	176,990.00	2,656.00	174,334.00	9,000.00	165,334.00	.00
DIVISION TOTALS:				176,990.00	176,990.00	2,656.00	174,334.00	9,000.00	165,334.00	.00
DEPARTMENT TOTALS:				7,444,330.00	7,444,330.00	2,253,503.75	5,190,826.25	760,101.18	4,430,725.07	83,209.80
PERCENT EXPENDED:				30.3	PERCENT EXPENDED AND ENCUMBERED:					
								40.5		
960 Miscellaneous Accounts (Cont)										
963 Spec Improv District										
2021	050	963	7200	45,000.00	45,000.00	958.93	44,041.07	.00	44,041.07	.00
DIVISION TOTALS:				45,000.00	45,000.00	958.93	44,041.07	.00	44,041.07	.00
968 Port Authority Gr Cinti Dev										
2021	050	968	7200	700,000.00	700,000.00	.00	700,000.00	.00	700,000.00	.00
DIVISION TOTALS:				700,000.00	700,000.00	.00	700,000.00	.00	700,000.00	.00
969 PIRAS										
2021	050	969	7200	30,180.00	30,180.00	.00	30,180.00	.00	30,180.00	.00
DIVISION TOTALS:				30,180.00	30,180.00	.00	30,180.00	.00	30,180.00	.00
DEPARTMENT TOTALS:				775,180.00	775,180.00	958.93	774,221.07	.00	774,221.07	.00
PERCENT EXPENDED:				.1	PERCENT EXPENDED AND ENCUMBERED:					
								.1		
101 Water Works FUND										
300 Department Of Water Works										
301 Water Works, Business Service										
2021	101	301	7100	6,636,492.00	6,694,695.00	3,302,763.28	3,391,931.72	.00	3,391,931.72	.00
2021	101	301	7200	2,020,810.00	2,020,810.00	269,920.79	1,750,889.21	169,553.19	1,581,336.02	.00
2021	101	301	7300	173,910.00	173,910.00	26,290.47	147,619.53	13,188.38	134,431.15	.00
2021	101	301	7400	922,600.00	922,600.00	330,945.17	591,654.83	420,640.11	171,014.72	.00
2021	101	301	7500	2,332,087.00	2,332,087.00	1,240,538.31	1,091,548.69	.00	1,091,548.69	.00
DIVISION TOTALS:				12,085,899.00	12,144,102.00	5,170,458.02	6,973,643.98	603,381.68	6,370,262.30	.00
302 Water Works, Commercial Services										
2021	101	302	7100	6,292,837.00	6,306,088.00	2,971,739.76	3,334,348.24	.00	3,334,348.24	.00
2021	101	302	7200	5,187,350.00	5,187,350.00	1,887,324.36	3,300,025.64	2,805,561.05	494,464.59	.00
2021	101	302	7300	764,200.00	764,200.00	572,763.97	191,436.03	44,834.62	146,601.41	.00
2021	101	302	7400	235,340.00	235,340.00	198,284.35	37,055.65	13,483.45	23,572.20	.00
2021	101	302	7500	2,520,403.00	2,520,403.00	1,303,510.17	1,216,892.83	.00	1,216,892.83	.00
DIVISION TOTALS:				15,000,130.00	15,013,381.00	6,933,622.61	8,079,758.39	2,863,879.12	5,215,879.27	.00
303 Water Works, Div Of Supply										
2021	101	303	7100	8,762,780.00	8,775,370.00	4,234,943.14	4,540,426.86	.00	4,540,426.86	.00
2021	101	303	7200	11,257,160.00	11,257,160.00	5,421,531.60	5,835,628.40	4,799,251.72	1,036,376.68	.00
2021	101	303	7300	1,571,210.00	1,571,210.00	517,931.67	1,053,278.33	543,597.05	509,681.28	.00
2021	101	303	7400	148,090.00	148,090.00	48,066.30	100,023.70	37,973.31	62,050.39	.00
2021	101	303	7500	3,493,450.00	3,493,450.00	1,784,410.21	1,709,039.79	.00	1,709,039.79	.00
DIVISION TOTALS:				25,232,690.00	25,245,280.00	12,006,882.92	13,238,397.08	5,380,822.08	7,857,575.00	.00

101 304
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 42

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
304 Water Works, Div Of Distribution										
2021	101	304	7100	8,518,840.00	8,520,468.00	4,008,375.10	4,512,092.90	.00	4,512,092.90	.00
2021	101	304	7200	4,368,900.00	4,368,900.00	2,189,659.85	2,179,240.15	1,479,423.21	699,816.94	.00
2021	101	304	7300	2,335,330.00	2,335,330.00	1,130,652.27	1,204,677.73	205,498.31	999,179.42	.00
2021	101	304	7400	39,210.00	39,210.00	13,370.61	25,839.39	23,256.26	2,583.13	.00
2021	101	304	7500	3,692,330.00	3,692,330.00	1,759,950.13	1,932,379.87	.00	1,932,379.87	.00
DIVISION TOTALS:				18,954,610.00	18,956,238.00	9,102,007.96	9,854,230.04	1,708,177.78	8,146,052.26	.00
305 Div Of Wtr Quality & Treatment										
2021	101	305	7100	3,031,450.00	3,040,512.00	1,516,247.48	1,524,264.52	.00	1,524,264.52	.00
2021	101	305	7200	862,860.00	862,860.00	183,563.48	679,296.52	167,446.63	511,849.89	24,608.00
2021	101	305	7300	5,094,910.00	5,094,910.00	2,261,762.22	2,833,147.78	120,729.58	2,712,418.20	.00
2021	101	305	7400	97,560.00	97,560.00	2,359.45	95,200.55	44,750.00	50,450.55	.00
2021	101	305	7500	1,139,280.00	1,139,280.00	621,540.25	517,739.75	.00	517,739.75	.00
DIVISION TOTALS:				10,226,060.00	10,235,122.00	4,585,472.88	5,649,649.12	332,926.21	5,316,722.91	24,608.00
306 Water Works, Div Of Engineering										
2021	101	306	7100	3,941,590.00	3,951,269.00	1,243,185.17	2,708,083.83	.00	2,708,083.83	.00
2021	101	306	7200	996,140.00	996,140.00	174,699.94	821,440.06	11,516.34	809,923.72	.00
2021	101	306	7300	178,350.00	178,350.00	39,191.37	139,158.63	15,555.49	123,603.14	.00
2021	101	306	7400	143,050.00	143,050.00	7,754.31	135,295.69	30,148.38	105,147.31	.00
2021	101	306	7500	1,791,290.00	1,791,290.00	575,001.69	1,216,288.31	.00	1,216,288.31	.00
DIVISION TOTALS:				7,050,420.00	7,060,099.00	2,039,832.48	5,020,266.52	57,220.21	4,963,046.31	.00
307 Water Works, Div Of Info Tech										
2021	101	307	7100	3,221,480.00	3,228,713.00	1,693,130.06	1,535,582.94	.00	1,535,582.94	.00
2021	101	307	7200	1,258,320.00	1,258,320.00	265,941.71	992,378.29	181,171.93	811,206.36	.00
2021	101	307	7300	88,200.00	88,200.00	30,118.99	58,081.01	2,184.69	55,896.32	.00
2021	101	307	7400	2,443,960.00	2,443,960.00	582,255.93	1,861,704.07	233,420.52	1,628,283.55	29,055.00
2021	101	307	7500	1,076,770.00	1,076,770.00	636,561.60	440,208.40	.00	440,208.40	.00
DIVISION TOTALS:				8,088,730.00	8,095,963.00	3,208,008.29	4,887,954.71	416,777.14	4,471,177.57	29,055.00
309 Water Works Debt Service										
2021	101	309	7700	43,412,000.00	43,412,000.00	23,456,116.20	19,955,883.80	2,712,558.06	17,243,325.74	.00
DIVISION TOTALS:				43,412,000.00	43,412,000.00	23,456,116.20	19,955,883.80	2,712,558.06	17,243,325.74	.00
DEPARTMENT TOTALS:				140,050,539.00	140,162,185.00	66,502,401.36	73,659,783.64	14,075,742.28	59,584,041.36	53,663.00
PERCENT EXPENDED:				47.4	PERCENT EXPENDED AND ENCUMBERED:		57.5			
910 Employee Benefits										
911 Contribution To City Pension										
2021	101	911	7700	342,380.00	342,380.00	171,216.73	171,163.27	.00	171,163.27	.00
DIVISION TOTALS:				342,380.00	342,380.00	171,216.73	171,163.27	.00	171,163.27	.00
919 Public Employee Assistance										
2021	101	919	7500	44,010.00	44,010.00	.00	44,010.00	.00	44,010.00	.00
DIVISION TOTALS:				44,010.00	44,010.00	.00	44,010.00	.00	44,010.00	.00
DEPARTMENT TOTALS:				386,390.00	386,390.00	171,216.73	215,173.27	.00	215,173.27	.00
PERCENT EXPENDED:				44.3	PERCENT EXPENDED AND ENCUMBERED:		44.3			

101 921
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 43

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	101	921	7500	686,100.00	686,100.00	617,690.36	68,409.64	.00	68,409.64	.00
DIVISION TOTALS:				686,100.00	686,100.00	617,690.36	68,409.64	.00	68,409.64	.00
DEPARTMENT TOTALS:				686,100.00	686,100.00	617,690.36	68,409.64	.00	68,409.64	.00
PERCENT EXPENDED:				90.0	PERCENT EXPENDED AND ENCUMBERED: 90.0					
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	101	944	7200	4,447,151.00	4,447,151.00	3,389,438.10	1,057,712.90	.00	1,057,712.90	.00
DIVISION TOTALS:				4,447,151.00	4,447,151.00	3,389,438.10	1,057,712.90	.00	1,057,712.90	.00
DEPARTMENT TOTALS:				4,447,151.00	4,447,151.00	3,389,438.10	1,057,712.90	.00	1,057,712.90	.00
PERCENT EXPENDED:				76.2	PERCENT EXPENDED AND ENCUMBERED: 76.2					
102 Parking System Facilities FUND										
130 Department Of Finance										
134 Finance, Treasury										
2021	102	134	7100	18,490.00	18,490.00	.00	18,490.00	.00	18,490.00	.00
2021	102	134	7200	27,500.00	27,500.00	.00	27,500.00	.00	27,500.00	18,000.00
2021	102	134	7500	8,560.00	8,560.00	.00	8,560.00	.00	8,560.00	.00
DIVISION TOTALS:				54,550.00	54,550.00	.00	54,550.00	.00	54,550.00	18,000.00
DEPARTMENT TOTALS:				54,550.00	54,550.00	.00	54,550.00	.00	54,550.00	18,000.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: .0					
240 Dept. Of Enterprise Services										
248 Div Of Parking Facilities										
2021	102	248	7100	394,170.00	396,124.00	197,474.98	198,649.02	.00	198,649.02	.00
2021	102	248	7200	3,270,660.00	3,270,660.00	1,081,237.75	2,189,422.25	1,740,964.37	448,457.88	.00
2021	102	248	7300	17,000.00	17,000.00	626.96	16,373.04	873.04	15,500.00	.00
2021	102	248	7400	1,347,020.00	1,347,020.00	627,150.10	719,869.90	29,250.16	690,619.74	.00
2021	102	248	7500	131,980.00	131,980.00	83,791.97	48,188.03	.00	48,188.03	.00
2021	102	248	7700	2,205,910.00	2,205,910.00	1,790,547.71	415,362.29	.00	415,362.29	.00
DIVISION TOTALS:				7,366,740.00	7,368,694.00	3,780,829.47	3,587,864.53	1,771,087.57	1,816,776.96	.00
DEPARTMENT TOTALS:				7,366,740.00	7,368,694.00	3,780,829.47	3,587,864.53	1,771,087.57	1,816,776.96	.00
PERCENT EXPENDED:				51.3	PERCENT EXPENDED AND ENCUMBERED: 75.3					
910 Employee Benefits										
911 Contribution To City Pension										
2021	102	911	7700	35,880.00	35,880.00	17,935.42	17,944.58	.00	17,944.58	.00
DIVISION TOTALS:				35,880.00	35,880.00	17,935.42	17,944.58	.00	17,944.58	.00
919 Public Employee Assistance										
2021	102	919	7500	2,710.00	2,710.00	.00	2,710.00	.00	2,710.00	.00
DIVISION TOTALS:				2,710.00	2,710.00	.00	2,710.00	.00	2,710.00	.00
DEPARTMENT TOTALS:				38,590.00	38,590.00	17,935.42	20,654.58	.00	20,654.58	.00
PERCENT EXPENDED:				46.5	PERCENT EXPENDED AND ENCUMBERED: 46.5					

102 921
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 44

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	102	921	7500	6,580.00	6,580.00	6,580.00	.00	.00	.00	.00
DIVISION TOTALS:				6,580.00	6,580.00	6,580.00	.00	.00	.00	.00
DEPARTMENT TOTALS:				6,580.00	6,580.00	6,580.00	.00	.00	.00	.00
PERCENT EXPENDED: 100.0				PERCENT EXPENDED AND ENCUMBERED: 100.0						
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	102	944	7200	42,770.00	42,770.00	36,580.22	6,189.78	.00	6,189.78	.00
DIVISION TOTALS:				42,770.00	42,770.00	36,580.22	6,189.78	.00	6,189.78	.00
DEPARTMENT TOTALS:				42,770.00	42,770.00	36,580.22	6,189.78	.00	6,189.78	.00
PERCENT EXPENDED: 85.5				PERCENT EXPENDED AND ENCUMBERED: 85.5						
960 Miscellaneous Accounts (Cont)										
966 Cincinnati Music Hall										
2021	102	966	7400	100,000.00	100,000.00	50,000.00	50,000.00	50,000.00	.00	.00
DIVISION TOTALS:				100,000.00	100,000.00	50,000.00	50,000.00	50,000.00	.00	.00
DEPARTMENT TOTALS:				100,000.00	100,000.00	50,000.00	50,000.00	50,000.00	.00	.00
PERCENT EXPENDED: 50.0				PERCENT EXPENDED AND ENCUMBERED: 100.0						
103 Convention-Exposition Center FUND										
240 Dept. Of Enterprise Services										
243 Duke Energy Center										
2021	103	243	7100	42,000.00	42,000.00	29,630.00	12,370.00	.00	12,370.00	.00
2021	103	243	7200	8,870,170.00	8,741,645.00	3,514,587.38	5,227,057.62	2,471,262.12	2,755,795.50	.00
2021	103	243	7300	.00	1,112,850.00	461,789.74	651,060.26	55,670.00	595,390.26	.00
2021	103	243	7400	92,260.00	107,935.00	.00	107,935.00	15,675.00	92,260.00	.00
2021	103	243	7500	36,000.00	36,000.00	4,574.36	31,425.64	.00	31,425.64	.00
2021	103	243	7700	309,400.00	309,400.00	210,149.97	99,250.03	.00	99,250.03	.00
DIVISION TOTALS:				9,349,830.00	10,349,830.00	4,220,731.45	6,129,098.55	2,542,607.12	3,586,491.43	.00
DEPARTMENT TOTALS:				9,349,830.00	10,349,830.00	4,220,731.45	6,129,098.55	2,542,607.12	3,586,491.43	.00
PERCENT EXPENDED: 40.8				PERCENT EXPENDED AND ENCUMBERED: 65.3						
990 Reserve For Contingencies										
990 Reserve For Contingencies										
2021	103	990	7200	300,000.00	300,000.00	.00	300,000.00	.00	300,000.00	.00
DIVISION TOTALS:				300,000.00	300,000.00	.00	300,000.00	.00	300,000.00	.00
DEPARTMENT TOTALS:				300,000.00	300,000.00	.00	300,000.00	.00	300,000.00	.00
PERCENT EXPENDED: .0				PERCENT EXPENDED AND ENCUMBERED: .0						

104 234
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 45

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
104 General Aviation FUND										
230 Dept Of Transportation & Engin										
234 Div Of Aviation										
2021	104	234	7100	815,710.00	819,374.00	457,022.15	362,351.85	.00	362,351.85	.00
2021	104	234	7200	515,780.00	515,780.00	258,143.62	257,636.38	134,646.50	122,989.88	.00
2021	104	234	7300	114,910.00	114,910.00	41,704.87	73,205.13	14,676.07	58,529.06	.00
2021	104	234	7400	225,110.00	225,110.00	115,752.52	109,357.48	5,867.70	103,489.78	.00
2021	104	234	7500	348,900.00	348,900.00	186,159.86	162,740.14	.00	162,740.14	.00
2021	104	234	7700	53,210.00	53,210.00	47,332.30	5,877.70	.00	5,877.70	.00
DIVISION TOTALS:				2,073,620.00	2,077,284.00	1,106,115.32	971,168.68	155,190.27	815,978.41	.00
DEPARTMENT TOTALS:				2,073,620.00	2,077,284.00	1,106,115.32	971,168.68	155,190.27	815,978.41	.00
PERCENT EXPENDED:				53.2	PERCENT EXPENDED AND ENCUMBERED: 60.7					
910 Employee Benefits										
919 Public Employee Assistance										
2021	104	919	7500	1,010.00	1,010.00	.00	1,010.00	.00	1,010.00	.00
DIVISION TOTALS:				1,010.00	1,010.00	.00	1,010.00	.00	1,010.00	.00
DEPARTMENT TOTALS:				1,010.00	1,010.00	.00	1,010.00	.00	1,010.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: .0					
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	104	921	7500	15,400.00	15,400.00	12,538.58	2,861.42	.00	2,861.42	.00
DIVISION TOTALS:				15,400.00	15,400.00	12,538.58	2,861.42	.00	2,861.42	.00
DEPARTMENT TOTALS:				15,400.00	15,400.00	12,538.58	2,861.42	.00	2,861.42	.00
PERCENT EXPENDED:				81.4	PERCENT EXPENDED AND ENCUMBERED: 81.4					
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	104	944	7200	99,560.00	99,560.00	68,898.85	30,661.15	.00	30,661.15	.00
DIVISION TOTALS:				99,560.00	99,560.00	68,898.85	30,661.15	.00	30,661.15	.00
DEPARTMENT TOTALS:				99,560.00	99,560.00	68,898.85	30,661.15	.00	30,661.15	.00
PERCENT EXPENDED:				69.2	PERCENT EXPENDED AND ENCUMBERED: 69.2					
105 Municipal Golf FUND										
190 Dept Of Public Recreation										
195 Recreation Golf										
2021	105	195	7100	131,020.00	131,020.00	51,959.52	79,060.48	.00	79,060.48	.00
2021	105	195	7200	4,420,930.00	4,420,930.00	2,259,303.96	2,161,626.04	142,637.67	2,018,988.37	.00
2021	105	195	7300	143,890.00	143,890.00	87,948.79	55,941.21	.00	55,941.21	.00
2021	105	195	7400	69,590.00	69,590.00	12,289.51	57,300.49	21,111.94	36,188.55	.00
2021	105	195	7500	44,030.00	44,030.00	15,311.08	28,718.92	.00	28,718.92	.00
2021	105	195	7700	673,130.00	673,130.00	476,937.50	196,192.50	.00	196,192.50	.00
DIVISION TOTALS:				5,482,590.00	5,482,590.00	2,903,750.36	2,578,839.64	163,749.61	2,415,090.03	.00

105 199
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 46

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
199 Recreation Administration										
2021	105	199	7100	60,150.00	60,150.00	.00	60,150.00	.00	60,150.00	.00
2021	105	199	7500	20,120.00	20,120.00	.00	20,120.00	.00	20,120.00	.00
DIVISION TOTALS:				80,270.00	80,270.00	.00	80,270.00	.00	80,270.00	.00
DEPARTMENT TOTALS:				5,562,860.00	5,562,860.00	2,903,750.36	2,659,109.64	163,749.61	2,495,360.03	.00
PERCENT EXPENDED:				52.2	PERCENT EXPENDED AND ENCUMBERED:					
								55.1		
910 Employee Benefits										
919 Public Employee Assistance										
2021	105	919	7500	310.00	310.00	.00	310.00	.00	310.00	.00
DIVISION TOTALS:				310.00	310.00	.00	310.00	.00	310.00	.00
DEPARTMENT TOTALS:				310.00	310.00	.00	310.00	.00	310.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	105	921	7500	3,470.00	3,470.00	3,014.18	455.82	.00	455.82	.00
DIVISION TOTALS:				3,470.00	3,470.00	3,014.18	455.82	.00	455.82	.00
DEPARTMENT TOTALS:				3,470.00	3,470.00	3,014.18	455.82	.00	455.82	.00
PERCENT EXPENDED:				86.9	PERCENT EXPENDED AND ENCUMBERED:					
								86.9		
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	105	944	7200	22,180.00	22,180.00	16,312.06	5,867.94	.00	5,867.94	.00
DIVISION TOTALS:				22,180.00	22,180.00	16,312.06	5,867.94	.00	5,867.94	.00
DEPARTMENT TOTALS:				22,180.00	22,180.00	16,312.06	5,867.94	.00	5,867.94	.00
PERCENT EXPENDED:				73.5	PERCENT EXPENDED AND ENCUMBERED:					
								73.5		
107 Stormwater Management FUND										
100 Office Of The City Manager										
104 Office Of Environmental Qualities										
2021	107	104	7200	1,026,050.00	1,026,050.00	891,842.27	134,207.73	134,207.73	.00	.00
DIVISION TOTALS:				1,026,050.00	1,026,050.00	891,842.27	134,207.73	134,207.73	.00	.00
DEPARTMENT TOTALS:				1,026,050.00	1,026,050.00	891,842.27	134,207.73	134,207.73	.00	.00
PERCENT EXPENDED:				86.9	PERCENT EXPENDED AND ENCUMBERED:					
								100.0		
190 Dept Of Public Recreation										
194 Recreation Maintenance										
2021	107	194	7100	767,390.00	767,390.00	.00	767,390.00	.00	767,390.00	.00
2021	107	194	7500	275,800.00	275,800.00	.00	275,800.00	.00	275,800.00	.00
DIVISION TOTALS:				1,043,190.00	1,043,190.00	.00	1,043,190.00	.00	1,043,190.00	.00
DEPARTMENT TOTALS:				1,043,190.00	1,043,190.00	.00	1,043,190.00	.00	1,043,190.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		

107 202
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 47

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
200 Department Of Parks										
202 Parks, Operations & Facility Mgmt										
2021	107	202	7100	1,330,140.00	1,330,140.00	665,065.43	665,074.57	.00	665,074.57	.00
2021	107	202	7300	16,120.00	16,120.00	2,169.58	13,950.42	3,821.50	10,128.92	.00
2021	107	202	7500	588,600.00	588,600.00	294,298.01	294,301.99	.00	294,301.99	.00
DIVISION TOTALS:				1,934,860.00	1,934,860.00	961,533.02	973,326.98	3,821.50	969,505.48	.00
DEPARTMENT TOTALS:				1,934,860.00	1,934,860.00	961,533.02	973,326.98	3,821.50	969,505.48	.00
PERCENT EXPENDED:				49.7	PERCENT EXPENDED AND ENCUMBERED: 49.9					
210 Dept Of Bldgs & Inspections										
212 Bldg & Inspections, Licenses & Permits										
2021	107	212	7100	.00	413,300.00	64,761.16	348,538.84	.00	348,538.84	.00
2021	107	212	7200	.00	167,300.00	66,284.31	101,015.69	87,223.44	13,792.25	.00
2021	107	212	7300	.00	50,600.00	1,306.58	49,293.42	.00	49,293.42	.00
2021	107	212	7400	.00	10,900.00	.00	10,900.00	.00	10,900.00	.00
2021	107	212	7500	.00	185,420.00	32,787.67	152,632.33	.00	152,632.33	.00
DIVISION TOTALS:				.00	827,520.00	165,139.72	662,380.28	87,223.44	575,156.84	.00
DEPARTMENT TOTALS:				.00	827,520.00	165,139.72	662,380.28	87,223.44	575,156.84	.00
PERCENT EXPENDED:				20.0	PERCENT EXPENDED AND ENCUMBERED: 30.5					
250 Dept Of Public Services										
253 Div Of Neighborhood Operations										
2021	107	253	7100	4,017,810.00	3,604,510.00	1,819,628.92	1,784,881.08	.00	1,784,881.08	.00
2021	107	253	7200	2,247,960.00	2,110,660.00	1,049,217.05	1,061,442.95	613,943.76	447,499.19	.00
2021	107	253	7300	337,970.00	327,370.00	211,006.69	116,363.31	8,070.30	108,293.01	.00
2021	107	253	7400	235,870.00	194,970.00	3,619.54	191,350.46	1,800.01	189,550.45	.00
2021	107	253	7500	1,537,620.00	1,352,200.00	696,561.31	655,638.69	.00	655,638.69	.00
DIVISION TOTALS:				8,377,230.00	7,589,710.00	3,780,033.51	3,809,676.49	623,814.07	3,185,862.42	.00
DEPARTMENT TOTALS:				8,377,230.00	7,589,710.00	3,780,033.51	3,809,676.49	623,814.07	3,185,862.42	.00
PERCENT EXPENDED:				49.8	PERCENT EXPENDED AND ENCUMBERED: 58.0					
310 Open										
311 Stormwater Management Utility										
2021	107	311	7100	2,842,610.00	2,848,871.00	1,275,181.63	1,573,689.37	.00	1,573,689.37	.00
2021	107	311	7200	4,858,380.00	4,858,380.00	1,864,663.53	2,993,716.47	690,452.06	2,303,264.41	22,019.50
2021	107	311	7300	331,000.00	331,000.00	112,838.65	218,161.35	29,976.01	188,185.34	.00
2021	107	311	7400	583,990.00	583,990.00	351,771.30	232,218.70	28,132.14	204,086.56	.00
2021	107	311	7500	1,052,550.00	1,052,550.00	517,408.64	535,141.36	.00	535,141.36	.00
2021	107	311	7600	295,000.00	295,000.00	9,288.00	285,712.00	34,779.96	250,932.04	123,794.10
2021	107	311	7700	884,610.00	884,610.00	679,095.72	205,514.28	.00	205,514.28	.00
DIVISION TOTALS:				10,848,140.00	10,854,401.00	4,810,247.47	6,044,153.53	783,340.17	5,260,813.36	145,813.60
DEPARTMENT TOTALS:				10,848,140.00	10,854,401.00	4,810,247.47	6,044,153.53	783,340.17	5,260,813.36	145,813.60
PERCENT EXPENDED:				44.3	PERCENT EXPENDED AND ENCUMBERED: 51.5					
910 Employee Benefits										
911 Contribution To City Pension										
2021	107	911	7700	8,540.00	8,540.00	4,262.54	4,277.46	.00	4,277.46	.00
DIVISION TOTALS:				8,540.00	8,540.00	4,262.54	4,277.46	.00	4,277.46	.00

107 919
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 48

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
919 Public Employee Assistance										
2021	107	919	7500	7,010.00	7,010.00	.00	7,010.00	.00	7,010.00	.00
DIVISION TOTALS:				7,010.00	7,010.00	.00	7,010.00	.00	7,010.00	.00
DEPARTMENT TOTALS:				15,550.00	15,550.00	4,262.54	11,287.46	.00	11,287.46	.00
PERCENT EXPENDED:				27.4	PERCENT EXPENDED AND ENCUMBERED: 27.4					
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	107	921	7500	141,600.00	141,600.00	141,600.00	.00	.00	.00	.00
DIVISION TOTALS:				141,600.00	141,600.00	141,600.00	.00	.00	.00	.00
DEPARTMENT TOTALS:				141,600.00	141,600.00	141,600.00	.00	.00	.00	.00
PERCENT EXPENDED:				100.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	107	944	7200	915,270.00	915,270.00	781,095.45	134,174.55	.00	134,174.55	.00
DIVISION TOTALS:				915,270.00	915,270.00	781,095.45	134,174.55	.00	134,174.55	.00
DEPARTMENT TOTALS:				915,270.00	915,270.00	781,095.45	134,174.55	.00	134,174.55	.00
PERCENT EXPENDED:				85.3	PERCENT EXPENDED AND ENCUMBERED: 85.3					
151 Bond Retirement - City FUND										
130 Department Of Finance										
131 Finance, Office Of Director										
2021	151	131	7100	16,830.00	16,830.00	7,733.57	9,096.43	.00	9,096.43	.00
2021	151	131	7500	5,950.00	5,950.00	2,719.84	3,230.16	.00	3,230.16	.00
DIVISION TOTALS:				22,780.00	22,780.00	10,453.41	12,326.59	.00	12,326.59	.00
134 Finance, Treasury										
2021	151	134	7100	219,270.00	222,206.00	89,028.16	133,177.84	.00	133,177.84	.00
2021	151	134	7200	3,211,770.00	3,211,770.00	1,138,925.57	2,072,844.43	50,000.00	2,022,844.43	.00
2021	151	134	7300	18,480.00	18,480.00	.00	18,480.00	.00	18,480.00	.00
2021	151	134	7400	157,250.00	157,250.00	499.50	156,750.50	.00	156,750.50	.00
2021	151	134	7500	90,449.00	90,449.00	34,267.75	56,181.25	.00	56,181.25	.00
2021	151	134	7700	143,785,720.00	143,879,470.00	58,343,344.67	85,536,125.33	.00	85,536,125.33	.00
DIVISION TOTALS:				147,482,939.00	147,579,625.00	59,606,065.65	87,973,559.35	50,000.00	87,923,559.35	.00
DEPARTMENT TOTALS:				147,505,719.00	147,602,405.00	59,616,519.06	87,985,885.94	50,000.00	87,935,885.94	.00
PERCENT EXPENDED:				40.4	PERCENT EXPENDED AND ENCUMBERED: 40.4					
910 Employee Benefits										
919 Public Employee Assistance										
2021	151	919	7500	310.00	310.00	.00	310.00	.00	310.00	.00
DIVISION TOTALS:				310.00	310.00	.00	310.00	.00	310.00	.00
DEPARTMENT TOTALS:				310.00	310.00	.00	310.00	.00	310.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: .0					

151 921
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 49

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	151	921	7500	5,001.00	5,001.00	4,110.76	890.24	.00	890.24	.00
DIVISION TOTALS:				5,001.00	5,001.00	4,110.76	890.24	.00	890.24	.00
DEPARTMENT TOTALS:				5,001.00	5,001.00	4,110.76	890.24	.00	890.24	.00
PERCENT EXPENDED:				82.2	PERCENT EXPENDED AND ENCUMBERED: 82.2					
301 Street Const Maintenance & Rep FUND										
200 Department Of Parks										
202 Parks, Operations & Facility Mgmt										
2021	301	202	7100	224,260.00	224,260.00	62,826.59	161,433.41	.00	161,433.41	.00
2021	301	202	7200	23,430.00	23,430.00	13,425.00	10,005.00	6,300.00	3,705.00	.00
2021	301	202	7300	94,140.00	84,973.00	25,933.20	59,039.80	9,786.00	49,253.80	.00
2021	301	202	7400	1,010.00	10,177.00	.00	10,177.00	6,436.00	3,741.00	.00
2021	301	202	7500	52,400.00	52,400.00	11,750.62	40,649.38	.00	40,649.38	.00
DIVISION TOTALS:				395,240.00	395,240.00	113,935.41	281,304.59	22,522.00	258,782.59	.00
DEPARTMENT TOTALS:				395,240.00	395,240.00	113,935.41	281,304.59	22,522.00	258,782.59	.00
PERCENT EXPENDED:				28.8	PERCENT EXPENDED AND ENCUMBERED: 34.5					
230 Dept Of Transportation & Engin										
238 Division of Traffic Services										
2021	301	238	7100	41,770.00	41,770.00	22,495.46	19,274.54	.00	19,274.54	.00
2021	301	238	7200	42,030.00	308,030.00	223,851.65	84,178.35	76,681.88	7,496.47	.00
2021	301	238	7300	814,950.00	448,950.00	193,706.10	255,243.90	107,175.73	148,068.17	.00
2021	301	238	7400	10,180.00	110,180.00	77,209.97	32,970.03	26,590.03	6,380.00	.00
2021	301	238	7500	15,220.00	15,220.00	8,549.19	6,670.81	.00	6,670.81	.00
DIVISION TOTALS:				924,150.00	924,150.00	525,812.37	398,337.63	210,447.64	187,889.99	.00
239 Division Of Traffic Engineer										
2021	301	239	7200	479,760.00	479,760.00	128,438.22	351,321.78	351,321.78	.00	.00
DIVISION TOTALS:				479,760.00	479,760.00	128,438.22	351,321.78	351,321.78	.00	.00
DEPARTMENT TOTALS:				1,403,910.00	1,403,910.00	654,250.59	749,659.41	561,769.42	187,889.99	.00
PERCENT EXPENDED:				46.6	PERCENT EXPENDED AND ENCUMBERED: 86.6					
250 Dept Of Public Services										
252 Traffic And Road Operations										
2021	301	252	7100	3,753,770.00	3,758,591.00	1,573,528.34	2,185,062.66	.00	2,185,062.66	.00
2021	301	252	7200	1,677,950.00	1,677,950.00	610,135.47	1,067,814.53	166,403.46	901,411.07	.00
2021	301	252	7300	2,471,930.00	2,471,930.00	294,765.64	2,177,164.36	177,597.50	1,999,566.86	.00
2021	301	252	7400	97,560.00	97,560.00	24,057.59	73,502.41	3,948.59	69,553.82	.00
2021	301	252	7500	1,603,760.00	1,603,760.00	821,864.56	781,895.44	.00	781,895.44	.00
DIVISION TOTALS:				9,604,970.00	9,609,791.00	3,324,351.60	6,285,439.40	347,949.55	5,937,489.85	.00

301 253
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 50

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
253 Div Of Neighborhood Operations										
2021	301	253	7100	2,213,090.00	2,213,090.00	970,302.00	1,242,788.00	.00	1,242,788.00	.00
2021	301	253	7200	552,360.00	552,360.00	306,298.78	246,061.22	177,987.96	68,073.26	.00
2021	301	253	7300	151,210.00	148,210.00	40,175.05	108,034.95	8,982.25	99,052.70	.00
2021	301	253	7400	37,650.00	40,650.00	2,565.34	38,084.66	35,107.16	2,977.50	.00
2021	301	253	7500	930,970.00	930,970.00	441,367.42	489,602.58	.00	489,602.58	.00
DIVISION TOTALS:				3,885,280.00	3,885,280.00	1,760,708.59	2,124,571.41	222,077.37	1,902,494.04	.00
DEPARTMENT TOTALS:				13,490,250.00	13,495,071.00	5,085,060.19	8,410,010.81	570,026.92	7,839,983.89	.00
PERCENT EXPENDED:				37.7	PERCENT EXPENDED AND ENCUMBERED:					
								41.9		
910 Employee Benefits										
919 Public Employee Assistance										
2021	301	919	7500	7,810.00	7,810.00	.00	7,810.00	.00	7,810.00	.00
DIVISION TOTALS:				7,810.00	7,810.00	.00	7,810.00	.00	7,810.00	.00
DEPARTMENT TOTALS:				7,810.00	7,810.00	.00	7,810.00	.00	7,810.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	301	921	7500	104,480.00	104,480.00	95,492.56	8,987.44	.00	8,987.44	.00
DIVISION TOTALS:				104,480.00	104,480.00	95,492.56	8,987.44	.00	8,987.44	.00
DEPARTMENT TOTALS:				104,480.00	104,480.00	95,492.56	8,987.44	.00	8,987.44	.00
PERCENT EXPENDED:				91.4	PERCENT EXPENDED AND ENCUMBERED:					
								91.4		
302 Income Tax Infrastructure FUND										
090 Enterprise Technology Solution										
092 ETS-CAGIS										
2021	302	092	7200	882,050.00	882,050.00	663,210.00	218,840.00	.00	218,840.00	.00
2021	302	092	7400	2,230.00	2,230.00	.00	2,230.00	.00	2,230.00	.00
DIVISION TOTALS:				884,280.00	884,280.00	663,210.00	221,070.00	.00	221,070.00	.00
DEPARTMENT TOTALS:				884,280.00	884,280.00	663,210.00	221,070.00	.00	221,070.00	.00
PERCENT EXPENDED:				75.0	PERCENT EXPENDED AND ENCUMBERED:					
								75.0		
100 Office Of The City Manager										
102 Office Of Budget & Evaluation										
2021	302	102	7100	110,660.00	110,660.00	.00	110,660.00	.00	110,660.00	.00
2021	302	102	7200	900.00	900.00	178.50	721.50	.00	721.50	.00
2021	302	102	7300	120.00	120.00	.00	120.00	.00	120.00	.00
2021	302	102	7400	480.00	480.00	87.41	392.59	212.59	180.00	.00
2021	302	102	7500	34,650.00	34,650.00	.00	34,650.00	.00	34,650.00	.00
DIVISION TOTALS:				146,810.00	146,810.00	265.91	146,544.09	212.59	146,331.50	.00
DEPARTMENT TOTALS:				146,810.00	146,810.00	265.91	146,544.09	212.59	146,331.50	.00
PERCENT EXPENDED:				.2	PERCENT EXPENDED AND ENCUMBERED:					
								.3		

302 111
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 51

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
110 Department Of Law										
111 Civil										
2021	302	111	7100	139,460.00	146,123.00	87,383.85	58,739.15	.00	58,739.15	.00
2021	302	111	7200	2,090.00	2,090.00	2,089.83	.17	.00	.17	.00
2021	302	111	7300	400.00	400.00	242.74	157.26	.00	157.26	.00
2021	302	111	7400	960.00	960.00	505.53	454.47	.00	454.47	.00
2021	302	111	7500	42,110.00	42,110.00	32,281.72	9,828.28	.00	9,828.28	.00
DIVISION TOTALS:				185,020.00	191,683.00	122,503.67	69,179.33	.00	69,179.33	.00
113 Real Estate										
2021	302	113	7100	.00	.00	-8,310.41	8,310.41	.00	8,310.41	.00
2021	302	113	7200	1,950.00	1,950.00	208.50	1,741.50	.00	1,741.50	.00
2021	302	113	7300	400.00	400.00	.00	400.00	.00	400.00	.00
2021	302	113	7400	950.00	950.00	.00	950.00	.00	950.00	.00
2021	302	113	7500	.00	.00	-736.55	736.55	.00	736.55	.00
DIVISION TOTALS:				3,300.00	3,300.00	-8,838.46	12,138.46	.00	12,138.46	.00
DEPARTMENT TOTALS:				188,320.00	194,983.00	113,665.21	81,317.79	.00	81,317.79	.00
PERCENT EXPENDED: 58.3				PERCENT EXPENDED AND ENCUMBERED: 58.3						
120 Department Of Human Resources										
121 Department Of Human Resources										
2021	302	121	7100	321,910.00	326,452.00	121,068.98	205,383.02	.00	205,383.02	.00
2021	302	121	7500	129,600.00	129,600.00	51,117.04	78,482.96	.00	78,482.96	.00
DIVISION TOTALS:				451,510.00	456,052.00	172,186.02	283,865.98	.00	283,865.98	.00
DEPARTMENT TOTALS:				451,510.00	456,052.00	172,186.02	283,865.98	.00	283,865.98	.00
PERCENT EXPENDED: 37.8				PERCENT EXPENDED AND ENCUMBERED: 37.8						
130 Department Of Finance										
133 Finance, Accounts & Audits										
2021	302	133	7100	159,020.00	159,020.00	74,552.37	84,467.63	.00	84,467.63	.00
2021	302	133	7200	1,480.00	1,480.00	567.00	913.00	.00	913.00	.00
2021	302	133	7500	56,030.00	56,030.00	30,362.34	25,667.66	.00	25,667.66	.00
DIVISION TOTALS:				216,530.00	216,530.00	105,481.71	111,048.29	.00	111,048.29	.00
137 Finance, Purchasing										
2021	302	137	7100	121,010.00	121,010.00	11,147.83	109,862.17	.00	109,862.17	.00
2021	302	137	7500	58,900.00	58,900.00	4,387.08	54,512.92	.00	54,512.92	.00
DIVISION TOTALS:				179,910.00	179,910.00	15,534.91	164,375.09	.00	164,375.09	.00
DEPARTMENT TOTALS:				396,440.00	396,440.00	121,016.62	275,423.38	.00	275,423.38	.00
PERCENT EXPENDED: 30.5				PERCENT EXPENDED AND ENCUMBERED: 30.5						
190 Dept Of Public Recreation										
194 Recreation Maintenance										
2021	302	194	7100	561,950.00	561,950.00	140,025.13	421,924.87	.00	421,924.87	.00
2021	302	194	7200	7,010.00	6,510.00	683.52	5,826.48	4,525.52	1,300.96	.00
2021	302	194	7300	17,580.00	18,080.00	5,321.59	12,758.41	12,283.64	474.77	.00
2021	302	194	7500	246,100.00	246,100.00	71,175.54	174,924.46	.00	174,924.46	.00
DIVISION TOTALS:				832,640.00	832,640.00	217,205.78	615,434.22	16,809.16	598,625.06	.00
DEPARTMENT TOTALS:				832,640.00	832,640.00	217,205.78	615,434.22	16,809.16	598,625.06	.00
PERCENT EXPENDED: 26.1				PERCENT EXPENDED AND ENCUMBERED: 28.1						

302 202
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 52

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
200 Department Of Parks										
202 Parks, Operations & Facility Mgmt										
2021	302	202	7100	1,091,720.00	1,091,720.00	631,589.46	460,130.54	.00	460,130.54	.00
2021	302	202	7300	6,520.00	6,520.00	.00	6,520.00	.00	6,520.00	.00
2021	302	202	7400	5,010.00	5,010.00	.00	5,010.00	.00	5,010.00	.00
2021	302	202	7500	436,040.00	436,040.00	272,643.32	163,396.68	.00	163,396.68	.00
DIVISION TOTALS:				1,539,290.00	1,539,290.00	904,232.78	635,057.22	.00	635,057.22	.00
203 Parks, Adm & Program Services										
2021	302	203	7100	47,060.00	47,060.00	25,495.65	21,564.35	.00	21,564.35	.00
2021	302	203	7500	16,230.00	16,230.00	9,515.45	6,714.55	.00	6,714.55	.00
DIVISION TOTALS:				63,290.00	63,290.00	35,011.10	28,278.90	.00	28,278.90	.00
DEPARTMENT TOTALS:				1,602,580.00	1,602,580.00	939,243.88	663,336.12	.00	663,336.12	.00
PERCENT EXPENDED:				58.6	PERCENT EXPENDED AND ENCUMBERED:					
								58.6		
210 Dept Of Bldgs & Inspections										
211 Bldg & Inspections, Director										
2021	302	211	7100	32,920.00	32,920.00	13,725.17	19,194.83	.00	19,194.83	.00
2021	302	211	7500	13,860.00	13,860.00	4,918.81	8,941.19	.00	8,941.19	.00
DIVISION TOTALS:				46,780.00	46,780.00	18,643.98	28,136.02	.00	28,136.02	.00
DEPARTMENT TOTALS:				46,780.00	46,780.00	18,643.98	28,136.02	.00	28,136.02	.00
PERCENT EXPENDED:				39.9	PERCENT EXPENDED AND ENCUMBERED:					
								39.9		
230 Dept Of Transportation & Engin										
231 Trans & Eng, Director										
2021	302	231	7100	1,011,330.00	986,975.00	541,064.08	445,910.92	.00	445,910.92	.00
2021	302	231	7200	3,280.00	3,280.00	3,168.00	112.00	.00	112.00	.00
2021	302	231	7300	8,070.00	8,070.00	4,428.25	3,641.75	.00	3,641.75	.00
2021	302	231	7400	11,870.00	11,870.00	.00	11,870.00	.00	11,870.00	.00
2021	302	231	7500	393,760.00	420,760.00	242,688.54	178,071.46	.00	178,071.46	.00
DIVISION TOTALS:				1,428,310.00	1,430,955.00	791,348.87	639,606.13	.00	639,606.13	.00
232 Div Of Transportation Planning										
2021	302	232	7100	1,057,100.00	1,064,212.00	586,821.68	477,390.32	.00	477,390.32	.00
2021	302	232	7200	46,500.00	46,500.00	2,571.00	43,929.00	37,458.84	6,470.16	.00
2021	302	232	7300	9,570.00	9,570.00	466.99	9,103.01	853.01	8,250.00	.00
2021	302	232	7400	100.00	100.00	.00	100.00	.00	100.00	.00
2021	302	232	7500	351,530.00	351,530.00	255,917.64	95,612.36	.00	95,612.36	.00
DIVISION TOTALS:				1,464,800.00	1,471,912.00	845,777.31	626,134.69	38,311.85	587,822.84	.00
233 Division Of Engineering										
2021	302	233	7100	953,340.00	822,115.00	133,716.22	688,398.78	.00	688,398.78	.00
2021	302	233	7200	167,680.00	167,680.00	106,846.30	60,833.70	25,154.44	35,679.26	.00
2021	302	233	7300	77,570.00	77,570.00	23,897.47	53,672.53	5,587.03	48,085.50	.00
2021	302	233	7400	440.00	440.00	.00	440.00	.00	440.00	.00
2021	302	233	7500	54,070.00	205,070.00	84,015.36	121,054.64	.00	121,054.64	.00
DIVISION TOTALS:				1,253,100.00	1,272,875.00	348,475.35	924,399.65	30,741.47	893,658.18	.00

302 238
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 53

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
238 Division of Traffic Services										
2021	302	238	7100	1,783,700.00	1,789,149.00	1,007,945.14	781,203.86	.00	781,203.86	.00
2021	302	238	7200	12,730.00	42,730.00	-49,441.29	92,171.29	1,642.75	90,528.54	.00
2021	302	238	7300	114,950.00	84,950.00	-34,381.49	119,331.49	25.44	119,306.05	.00
2021	302	238	7400	1,150.00	1,150.00	.00	1,150.00	.00	1,150.00	.00
2021	302	238	7500	670,980.00	670,980.00	384,952.44	286,027.56	.00	286,027.56	.00
DIVISION TOTALS:				2,583,510.00	2,588,959.00	1,309,074.80	1,279,884.20	1,668.19	1,278,216.01	.00
239 Division Of Traffic Engineer										
2021	302	239	7100	1,215,590.00	1,193,701.00	881,391.80	312,309.20	.00	312,309.20	.00
2021	302	239	7200	321,407.00	321,407.00	46,787.95	274,619.05	.00	274,619.05	.00
2021	302	239	7300	7,223.00	7,223.00	5,472.25	1,750.75	1,210.01	540.74	.00
2021	302	239	7400	10,700.00	10,700.00	967.95	9,732.05	2,332.05	7,400.00	.00
2021	302	239	7500	326,240.00	357,240.00	355,281.74	1,958.26	.00	1,958.26	.00
DIVISION TOTALS:				1,881,160.00	1,890,271.00	1,289,901.69	600,369.31	3,542.06	596,827.25	.00
DEPARTMENT TOTALS:				8,610,880.00	8,654,972.00	4,584,578.02	4,070,393.98	74,263.57	3,996,130.41	.00
PERCENT EXPENDED: 53.0				PERCENT EXPENDED AND ENCUMBERED: 53.8						
250 Dept Of Public Services										
251 Office Of The Director										
2021	302	251	7100	98,800.00	98,800.00	50,182.00	48,618.00	.00	48,618.00	.00
2021	302	251	7200	35,480.00	35,480.00	3,001.80	32,478.20	1,270.74	31,207.46	.00
2021	302	251	7300	11,680.00	11,680.00	504.30	11,175.70	70.10	11,105.60	.00
2021	302	251	7400	3,550.00	3,550.00	1,394.08	2,155.92	1,950.92	205.00	.00
2021	302	251	7500	38,300.00	38,300.00	21,678.28	16,621.72	.00	16,621.72	.00
DIVISION TOTALS:				187,810.00	187,810.00	76,760.46	111,049.54	3,291.76	107,757.78	.00
252 Traffic And Road Operations										
2021	302	252	7100	246,550.00	246,550.00	129,965.61	116,584.39	.00	116,584.39	.00
2021	302	252	7200	270,670.00	270,670.00	101,238.02	169,431.98	6,606.36	162,825.62	.00
2021	302	252	7300	113,590.00	113,590.00	21,029.45	92,560.55	961.67	91,598.88	.00
2021	302	252	7400	7,550.00	7,550.00	3,572.06	3,977.94	.00	3,977.94	.00
2021	302	252	7500	106,980.00	106,980.00	57,570.29	49,409.71	.00	49,409.71	.00
DIVISION TOTALS:				745,340.00	745,340.00	313,375.43	431,964.57	7,568.03	424,396.54	.00
255 Div Of City Facility Mgmt										
2021	302	255	7100	1,357,250.00	1,364,419.00	837,518.41	526,900.59	.00	526,900.59	.00
2021	302	255	7200	852,590.00	844,490.00	402,185.39	442,304.61	313,097.81	129,206.80	.00
2021	302	255	7300	242,280.00	234,680.00	190,002.44	44,677.56	27,995.36	16,682.20	.00
2021	302	255	7400	59,600.00	75,300.00	59,456.93	15,843.07	14,850.58	992.49	.00
2021	302	255	7500	690,410.00	690,410.00	369,036.31	321,373.69	.00	321,373.69	.00
DIVISION TOTALS:				3,202,130.00	3,209,299.00	1,858,199.48	1,351,099.52	355,943.75	995,155.77	.00
DEPARTMENT TOTALS:				4,135,280.00	4,142,449.00	2,248,335.37	1,894,113.63	366,803.54	1,527,310.09	.00
PERCENT EXPENDED: 54.3				PERCENT EXPENDED AND ENCUMBERED: 63.1						
280										
281 Economic Inclusion										
2021	302	281	7100	246,280.00	246,280.00	66,100.82	180,179.18	.00	180,179.18	.00
2021	302	281	7500	77,710.00	77,710.00	24,810.96	52,899.04	.00	52,899.04	.00
DIVISION TOTALS:				323,990.00	323,990.00	90,911.78	233,078.22	.00	233,078.22	.00
DEPARTMENT TOTALS:				323,990.00	323,990.00	90,911.78	233,078.22	.00	233,078.22	.00
PERCENT EXPENDED: 28.1				PERCENT EXPENDED AND ENCUMBERED: 28.1						

302 919
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 54

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
910 Employee Benefits										
919 Public Employee Assistance										
2021	302	919	7500	14,010.00	14,010.00	.00	14,010.00	.00	14,010.00	.00
DIVISION TOTALS:				14,010.00	14,010.00	.00	14,010.00	.00	14,010.00	.00
DEPARTMENT TOTALS:				14,010.00	14,010.00	.00	14,010.00	.00	14,010.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	302	921	7500	190,470.00	190,470.00	183,230.41	7,239.59	.00	7,239.59	.00
DIVISION TOTALS:				190,470.00	190,470.00	183,230.41	7,239.59	.00	7,239.59	.00
924 Lump Sum Payment										
2021	302	924	7100	600,010.00	600,010.00	164,016.03	435,993.97	.00	435,993.97	.00
DIVISION TOTALS:				600,010.00	600,010.00	164,016.03	435,993.97	.00	435,993.97	.00
DEPARTMENT TOTALS:				790,480.00	790,480.00	347,246.44	443,233.56	.00	443,233.56	.00
PERCENT EXPENDED:				43.9	PERCENT EXPENDED AND ENCUMBERED:					
								43.9		
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	302	944	7200	1,236,020.00	1,236,020.00	1,007,684.87	228,335.13	.00	228,335.13	.00
DIVISION TOTALS:				1,236,020.00	1,236,020.00	1,007,684.87	228,335.13	.00	228,335.13	.00
DEPARTMENT TOTALS:				1,236,020.00	1,236,020.00	1,007,684.87	228,335.13	.00	228,335.13	.00
PERCENT EXPENDED:				81.5	PERCENT EXPENDED AND ENCUMBERED:					
								81.5		
303 Parking Meter FUND										
130 Department Of Finance										
134 Finance, Treasury										
2021	303	134	7100	18,500.00	18,500.00	.00	18,500.00	.00	18,500.00	.00
2021	303	134	7200	18,950.00	18,950.00	.00	18,950.00	.00	18,950.00	.00
2021	303	134	7500	8,880.00	8,880.00	.00	8,880.00	.00	8,880.00	.00
DIVISION TOTALS:				46,330.00	46,330.00	.00	46,330.00	.00	46,330.00	.00
DEPARTMENT TOTALS:				46,330.00	46,330.00	.00	46,330.00	.00	46,330.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		
240 Dept. Of Enterprise Services										
248 Div Of Parking Facilities										
2021	303	248	7100	1,504,850.00	1,504,850.00	829,546.51	675,303.49	.00	675,303.49	.00
2021	303	248	7200	1,881,270.00	1,881,270.00	711,338.04	1,169,931.96	264,171.32	905,760.64	.00
2021	303	248	7300	118,880.00	118,880.00	19,443.49	99,436.51	54,304.21	45,132.30	.00
2021	303	248	7400	61,460.00	61,460.00	53,194.41	8,265.59	320.59	7,945.00	.00
2021	303	248	7500	574,040.00	574,040.00	363,756.98	210,283.02	.00	210,283.02	.00
DIVISION TOTALS:				4,140,500.00	4,140,500.00	1,977,279.43	2,163,220.57	318,796.12	1,844,424.45	.00
DEPARTMENT TOTALS:				4,140,500.00	4,140,500.00	1,977,279.43	2,163,220.57	318,796.12	1,844,424.45	.00
PERCENT EXPENDED:				47.8	PERCENT EXPENDED AND ENCUMBERED:					
								55.5		

303 919
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 55

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
910 Employee Benefits										
919 Public Employee Assistance										
2021	303	919	7500	2,310.00	2,310.00	.00	2,310.00	.00	2,310.00	.00
DIVISION TOTALS:				2,310.00	2,310.00	.00	2,310.00	.00	2,310.00	.00
DEPARTMENT TOTALS:				2,310.00	2,310.00	.00	2,310.00	.00	2,310.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	303	921	7500	27,640.00	27,640.00	22,056.69	5,583.31	.00	5,583.31	.00
DIVISION TOTALS:				27,640.00	27,640.00	22,056.69	5,583.31	.00	5,583.31	.00
DEPARTMENT TOTALS:				27,640.00	27,640.00	22,056.69	5,583.31	.00	5,583.31	.00
PERCENT EXPENDED:				79.8	PERCENT EXPENDED AND ENCUMBERED:					
								79.8		
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	303	944	7200	181,180.00	181,180.00	4,634.00	176,546.00	.00	176,546.00	.00
DIVISION TOTALS:				181,180.00	181,180.00	4,634.00	176,546.00	.00	176,546.00	.00
DEPARTMENT TOTALS:				181,180.00	181,180.00	4,634.00	176,546.00	.00	176,546.00	.00
PERCENT EXPENDED:				2.6	PERCENT EXPENDED AND ENCUMBERED:					
								2.6		
306 Municipal Motor Vehicle Lic Tx FUND										
230 Dept Of Transportation & Engin										
238 Division of Traffic Services										
2021	306	238	7100	118,200.00	118,200.00	67,179.14	51,020.86	.00	51,020.86	.00
2021	306	238	7300	34,400.00	34,400.00	13,303.60	21,096.40	8,245.00	12,851.40	.00
2021	306	238	7500	49,420.00	49,420.00	28,345.77	21,074.23	.00	21,074.23	.00
DIVISION TOTALS:				202,020.00	202,020.00	108,828.51	93,191.49	8,245.00	84,946.49	.00
DEPARTMENT TOTALS:				202,020.00	202,020.00	108,828.51	93,191.49	8,245.00	84,946.49	.00
PERCENT EXPENDED:				53.9	PERCENT EXPENDED AND ENCUMBERED:					
								58.0		
250 Dept Of Public Services										
252 Traffic And Road Operations										
2021	306	252	7100	1,320,730.00	1,320,730.00	594,000.52	726,729.48	.00	726,729.48	.00
2021	306	252	7200	378,590.00	374,090.00	143,453.44	230,636.56	31,828.51	198,808.05	.00
2021	306	252	7300	1,002,800.00	1,002,800.00	75,221.83	927,578.17	62,226.58	865,351.59	.00
2021	306	252	7400	9,260.00	13,760.00	9,529.20	4,230.80	2,652.94	1,577.86	.00
2021	306	252	7500	605,470.00	605,470.00	276,758.03	328,711.97	.00	328,711.97	.00
DIVISION TOTALS:				3,316,850.00	3,316,850.00	1,098,963.02	2,217,886.98	96,708.03	2,121,178.95	.00
DEPARTMENT TOTALS:				3,316,850.00	3,316,850.00	1,098,963.02	2,217,886.98	96,708.03	2,121,178.95	.00
PERCENT EXPENDED:				33.1	PERCENT EXPENDED AND ENCUMBERED:					
								36.0		
910 Employee Benefits										
919 Public Employee Assistance										
2021	306	919	7500	2,010.00	2,010.00	.00	2,010.00	.00	2,010.00	.00
DIVISION TOTALS:				2,010.00	2,010.00	.00	2,010.00	.00	2,010.00	.00
DEPARTMENT TOTALS:				2,010.00	2,010.00	.00	2,010.00	.00	2,010.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		

306 921
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 56

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	306	921	7500	24,130.00	24,130.00	22,665.57	1,464.43	.00	1,464.43	.00
DIVISION TOTALS:				24,130.00	24,130.00	22,665.57	1,464.43	.00	1,464.43	.00
DEPARTMENT TOTALS:				24,130.00	24,130.00	22,665.57	1,464.43	.00	1,464.43	.00
PERCENT EXPENDED:				93.9	PERCENT EXPENDED AND ENCUMBERED:					
								93.9		
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	306	944	7200	158,090.00	158,090.00	125,790.72	32,299.28	.00	32,299.28	.00
DIVISION TOTALS:				158,090.00	158,090.00	125,790.72	32,299.28	.00	32,299.28	.00
DEPARTMENT TOTALS:				158,090.00	158,090.00	125,790.72	32,299.28	.00	32,299.28	.00
PERCENT EXPENDED:				79.6	PERCENT EXPENDED AND ENCUMBERED:					
								79.6		
318 Sawyer Point FUND										
200 Department Of Parks										
202 Parks, Operations & Facility Mgmt										
2021	318	202	7100	615,770.00	615,770.00	58,150.28	557,619.72	.00	557,619.72	.00
2021	318	202	7200	401,640.00	401,640.00	73,105.14	328,534.86	52,419.21	276,115.65	.00
2021	318	202	7300	170,870.00	170,870.00	17,537.75	153,332.25	10,725.50	142,606.75	.00
2021	318	202	7400	58,980.00	58,980.00	12,326.76	46,653.24	15,305.22	31,348.02	.00
2021	318	202	7500	228,560.00	228,560.00	21,821.97	206,738.03	.00	206,738.03	.00
DIVISION TOTALS:				1,475,820.00	1,475,820.00	182,941.90	1,292,878.10	78,449.93	1,214,428.17	.00
203 Parks, Adm & Program Services										
2021	318	203	7200	15,000.00	15,000.00	.00	15,000.00	.00	15,000.00	.00
DIVISION TOTALS:				15,000.00	15,000.00	.00	15,000.00	.00	15,000.00	.00
DEPARTMENT TOTALS:				1,490,820.00	1,490,820.00	182,941.90	1,307,878.10	78,449.93	1,229,428.17	.00
PERCENT EXPENDED:				12.3	PERCENT EXPENDED AND ENCUMBERED:					
								17.5		
910 Employee Benefits										
919 Public Employee Assistance										
2021	318	919	7500	430.00	430.00	.00	430.00	.00	430.00	.00
DIVISION TOTALS:				430.00	430.00	.00	430.00	.00	430.00	.00
DEPARTMENT TOTALS:				430.00	430.00	.00	430.00	.00	430.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	318	921	7500	7,590.00	7,590.00	7,590.00	.00	.00	.00	.00
DIVISION TOTALS:				7,590.00	7,590.00	7,590.00	.00	.00	.00	.00
DEPARTMENT TOTALS:				7,590.00	7,590.00	7,590.00	.00	.00	.00	.00
PERCENT EXPENDED:				100.0	PERCENT EXPENDED AND ENCUMBERED:					
								100.0		

318 944
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 57

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	318	944	7200	48,590.00	48,590.00	43,652.99	4,937.01	.00	4,937.01	.00
DIVISION TOTALS:				48,590.00	48,590.00	43,652.99	4,937.01	.00	4,937.01	.00
DEPARTMENT TOTALS:				48,590.00	48,590.00	43,652.99	4,937.01	.00	4,937.01	.00
PERCENT EXPENDED: 89.8				PERCENT EXPENDED AND ENCUMBERED: 89.8						
323 Recreation Special Activities FUND										
190 Dept Of Public Recreation										
191 Recreation West Region										
2021	323	191	7100	916,400.00	916,400.00	204,986.33	711,413.67	.00	711,413.67	.00
2021	323	191	7200	154,230.00	154,230.00	17,653.42	136,576.58	15,057.45	121,519.13	.00
2021	323	191	7300	67,470.00	67,470.00	21,172.43	46,297.57	.00	46,297.57	.00
2021	323	191	7400	8,000.00	8,000.00	950.00	7,050.00	.00	7,050.00	.00
2021	323	191	7500	40,790.00	40,790.00	21,226.39	19,563.61	.00	19,563.61	.00
DIVISION TOTALS:				1,186,890.00	1,186,890.00	265,988.57	920,901.43	15,057.45	905,843.98	.00
192 Recreation East Region										
2021	323	192	7100	1,423,670.00	1,423,670.00	237,631.79	1,186,038.21	.00	1,186,038.21	.00
2021	323	192	7200	195,360.00	195,360.00	19,395.42	175,964.58	13,692.54	162,272.04	.00
2021	323	192	7300	82,340.00	82,340.00	34,370.89	47,969.11	.00	47,969.11	.00
2021	323	192	7400	16,880.00	16,880.00	367.96	16,512.04	.00	16,512.04	.00
2021	323	192	7500	128,780.00	128,780.00	23,239.60	105,540.40	.00	105,540.40	.00
DIVISION TOTALS:				1,847,030.00	1,847,030.00	315,005.66	1,532,024.34	13,692.54	1,518,331.80	.00
193 Recreation Central Region										
2021	323	193	7100	1,467,880.00	1,467,880.00	287,498.31	1,180,381.69	.00	1,180,381.69	.00
2021	323	193	7200	159,950.00	159,950.00	19,565.18	140,384.82	20,212.81	120,172.01	.00
2021	323	193	7300	81,920.00	81,920.00	50,010.03	31,909.97	1,146.90	30,763.07	.00
2021	323	193	7400	17,780.00	17,780.00	375.00	17,405.00	.00	17,405.00	.00
2021	323	193	7500	146,200.00	146,200.00	29,614.58	116,585.42	.00	116,585.42	.00
DIVISION TOTALS:				1,873,730.00	1,873,730.00	387,063.10	1,486,666.90	21,359.71	1,465,307.19	.00
197 Recreation Athletics										
2021	323	197	7100	241,610.00	206,610.00	48,507.08	158,102.92	.00	158,102.92	.00
2021	323	197	7200	290,390.00	290,390.00	66,673.50	223,716.50	45,738.25	177,978.25	.00
2021	323	197	7300	184,070.00	184,070.00	17,555.72	166,514.28	14,713.90	151,800.38	.00
2021	323	197	7400	77,380.00	77,380.00	41,861.98	35,518.02	1,468.62	34,049.40	.00
2021	323	197	7500	190.00	35,190.00	2,635.95	32,554.05	.00	32,554.05	.00
DIVISION TOTALS:				793,640.00	793,640.00	177,234.23	616,405.77	61,920.77	554,485.00	.00
199 Recreation Administration										
2021	323	199	7100	51,230.00	50,330.00	38,883.53	11,446.47	.00	11,446.47	.00
2021	323	199	7200	32,930.00	32,930.00	7.07	32,922.93	.00	32,922.93	.00
2021	323	199	7300	2,350.00	2,350.00	.00	2,350.00	.00	2,350.00	.00
2021	323	199	7400	100,420.00	100,420.00	51,674.72	48,745.28	30,720.50	18,024.78	.00
2021	323	199	7500	10,530.00	11,430.00	11,392.84	37.16	.00	37.16	.00
2021	323	199	7600	13,440.00	13,440.00	.00	13,440.00	.00	13,440.00	.00
DIVISION TOTALS:				210,900.00	210,900.00	101,958.16	108,941.84	30,720.50	78,221.34	.00
DEPARTMENT TOTALS:				5,912,190.00	5,912,190.00	1,247,249.72	4,664,940.28	142,750.97	4,522,189.31	.00
PERCENT EXPENDED: 21.1				PERCENT EXPENDED AND ENCUMBERED: 23.5						

323 919
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 58

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
910 Employee Benefits										
919 Public Employee Assistance										
2021	323	919	7500	4,510.00	4,510.00	.00	4,510.00	.00	4,510.00	.00
DIVISION TOTALS:				4,510.00	4,510.00	.00	4,510.00	.00	4,510.00	.00
DEPARTMENT TOTALS:				4,510.00	4,510.00	.00	4,510.00	.00	4,510.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	323	921	7500	45,650.00	45,650.00	45,650.00	.00	.00	.00	.00
DIVISION TOTALS:				45,650.00	45,650.00	45,650.00	.00	.00	.00	.00
DEPARTMENT TOTALS:				45,650.00	45,650.00	45,650.00	.00	.00	.00	.00
PERCENT EXPENDED:				100.0	PERCENT EXPENDED AND ENCUMBERED:					
								100.0		
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	323	944	7200	292,240.00	292,240.00	273,436.32	18,803.68	.00	18,803.68	.00
DIVISION TOTALS:				292,240.00	292,240.00	273,436.32	18,803.68	.00	18,803.68	.00
DEPARTMENT TOTALS:				292,240.00	292,240.00	273,436.32	18,803.68	.00	18,803.68	.00
PERCENT EXPENDED:				93.6	PERCENT EXPENDED AND ENCUMBERED:					
								93.6		
329 Cincinnati Riverfront Park FUND										
200 Department Of Parks										
202 Parks, Operations & Facility Mgmt										
2021	329	202	7100	510,530.00	510,530.00	7,340.82	503,189.18	.00	503,189.18	.00
2021	329	202	7200	147,670.00	147,670.00	103,647.19	44,022.81	10,776.74	33,246.07	.00
2021	329	202	7300	102,010.00	102,010.00	20,896.09	81,113.91	32,948.15	48,165.76	.00
2021	329	202	7400	17,000.00	17,000.00	-9,635.37	26,635.37	.00	26,635.37	.00
2021	329	202	7500	213,380.00	213,380.00	3,982.53	209,397.47	.00	209,397.47	.00
DIVISION TOTALS:				990,590.00	990,590.00	126,231.26	864,358.74	43,724.89	820,633.85	.00
203 Parks, Adm & Program Services										
2021	329	203	7200	7,250.00	7,250.00	.00	7,250.00	.00	7,250.00	.00
DIVISION TOTALS:				7,250.00	7,250.00	.00	7,250.00	.00	7,250.00	.00
DEPARTMENT TOTALS:				997,840.00	997,840.00	126,231.26	871,608.74	43,724.89	827,883.85	.00
PERCENT EXPENDED:				12.7	PERCENT EXPENDED AND ENCUMBERED:					
								17.0		
910 Employee Benefits										
919 Public Employee Assistance										
2021	329	919	7500	110.00	110.00	.00	110.00	.00	110.00	.00
DIVISION TOTALS:				110.00	110.00	.00	110.00	.00	110.00	.00
DEPARTMENT TOTALS:				110.00	110.00	.00	110.00	.00	110.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		

329 921
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 59

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	329	921	7500	3,770.00	3,770.00	3,770.00	.00	.00	.00	.00
DIVISION TOTALS:				3,770.00	3,770.00	3,770.00	.00	.00	.00	.00
DEPARTMENT TOTALS:				3,770.00	3,770.00	3,770.00	.00	.00	.00	.00
PERCENT EXPENDED: 100.0				PERCENT EXPENDED AND ENCUMBERED: 100.0						
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	329	944	7200	24,110.00	24,110.00	24,021.88	88.12	.00	88.12	.00
DIVISION TOTALS:				24,110.00	24,110.00	24,021.88	88.12	.00	88.12	.00
DEPARTMENT TOTALS:				24,110.00	24,110.00	24,021.88	88.12	.00	88.12	.00
PERCENT EXPENDED: 99.6				PERCENT EXPENDED AND ENCUMBERED: 99.6						
347 Hazard Abatement Fund FUND										
210 Dept Of Bldgs & Inspections										
212 Bldg & Inspections, Licenses & Permits										
2021	347	212	7100	1,240,400.00	1,240,400.00	527,982.29	712,417.71	.00	712,417.71	.00
2021	347	212	7200	856,230.00	856,230.00	33,165.09	823,064.91	6,044.75	817,020.16	.00
2021	347	212	7300	46,980.00	46,980.00	.00	46,980.00	10,170.50	36,809.50	.00
2021	347	212	7400	4,000.00	4,000.00	.00	4,000.00	.00	4,000.00	.00
2021	347	212	7500	581,200.00	581,200.00	202,683.71	378,516.29	.00	378,516.29	.00
DIVISION TOTALS:				2,728,810.00	2,728,810.00	763,831.09	1,964,978.91	16,215.25	1,948,763.66	.00
DEPARTMENT TOTALS:				2,728,810.00	2,728,810.00	763,831.09	1,964,978.91	16,215.25	1,948,763.66	.00
PERCENT EXPENDED: 28.0				PERCENT EXPENDED AND ENCUMBERED: 28.6						
358 Bond Hill Roselawn Stabilization & Revitalization Operations FUND										
160 Community Developmt										
164 Division Of Community Devel										
2021	358	164	7400	200,000.00	200,000.00	101,467.53	98,532.47	.00	98,532.47	.00
DIVISION TOTALS:				200,000.00	200,000.00	101,467.53	98,532.47	.00	98,532.47	.00
DEPARTMENT TOTALS:				200,000.00	200,000.00	101,467.53	98,532.47	.00	98,532.47	.00
PERCENT EXPENDED: 50.7				PERCENT EXPENDED AND ENCUMBERED: 50.7						
364 911 Cell Phone Fees FUND										
090 Enterprise Technology Solution										
091 Enterprise Technology Solutions										
2021	364	091	7200	20,220.00	20,220.00	99.00	20,121.00	.00	20,121.00	.00
DIVISION TOTALS:				20,220.00	20,220.00	99.00	20,121.00	.00	20,121.00	.00
DEPARTMENT TOTALS:				20,220.00	20,220.00	99.00	20,121.00	.00	20,121.00	.00
PERCENT EXPENDED: .5				PERCENT EXPENDED AND ENCUMBERED: .5						

364 103
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 60

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
100 Office Of The City Manager										
103 Emergency Communications										
2021	364	103	7100	998,410.00	998,410.00	.00	998,410.00	.00	998,410.00	.00
2021	364	103	7200	205,570.00	205,570.00	10,323.00	195,247.00	.00	195,247.00	51,885.00
2021	364	103	7300	123,020.00	123,020.00	10,525.84	112,494.16	3,503.26	108,990.90	.00
2021	364	103	7400	284,610.00	284,610.00	16,108.04	268,501.96	.00	268,501.96	.00
DIVISION TOTALS:				1,611,610.00	1,611,610.00	36,956.88	1,574,653.12	3,503.26	1,571,149.86	51,885.00
DEPARTMENT TOTALS:				1,611,610.00	1,611,610.00	36,956.88	1,574,653.12	3,503.26	1,571,149.86	51,885.00
PERCENT EXPENDED:				2.3	PERCENT EXPENDED AND ENCUMBERED:					
								2.5		
377 Citizen Safety FUND										
250 Dept Of Public Services										
253 Div Of Neighborhood Operations										
2021	377	253	7200	51,010.00	51,010.00	2,037.49	48,972.51	48,972.51	.00	.00
DIVISION TOTALS:				51,010.00	51,010.00	2,037.49	48,972.51	48,972.51	.00	.00
DEPARTMENT TOTALS:				51,010.00	51,010.00	2,037.49	48,972.51	48,972.51	.00	.00
PERCENT EXPENDED:				4.0	PERCENT EXPENDED AND ENCUMBERED:					
								100.0		
395 Community Health Center FUND										
260 Department Of Public Health										
264 Primary Health Care - S.P.										
2021	395	264	7100	245,420.00	248,798.00	130,856.94	117,941.06	.00	117,941.06	.00
2021	395	264	7200	720.00	720.00	406.11	313.89	40.00	273.89	.00
2021	395	264	7300	2,150.00	2,150.00	487.37	1,662.63	.00	1,662.63	.00
2021	395	264	7500	85,010.00	85,010.00	48,431.79	36,578.21	.00	36,578.21	.00
DIVISION TOTALS:				333,300.00	336,678.00	180,182.21	156,495.79	40.00	156,455.79	.00
265 Primary Health Care - H.C.										
2021	395	265	7100	3,773,930.00	3,794,501.00	2,267,136.06	1,527,364.94	.00	1,527,364.94	.00
2021	395	265	7200	3,415,770.00	3,415,770.00	495,069.50	2,920,700.50	1,392,800.06	1,527,900.44	.00
2021	395	265	7300	1,594,960.00	1,594,960.00	81,527.70	1,513,432.30	147,298.15	1,366,134.15	.00
2021	395	265	7400	1,043,000.00	1,043,000.00	185,017.72	857,982.28	599,056.74	258,925.54	.00
2021	395	265	7500	1,606,360.00	1,606,360.00	731,929.09	874,430.91	.00	874,430.91	.00
DIVISION TOTALS:				11,434,020.00	11,454,591.00	3,760,680.07	7,693,910.93	2,139,154.95	5,554,755.98	.00
266 School & Adolescent Health										
2021	395	266	7100	6,637,760.00	6,668,806.00	2,356,300.19	4,312,505.81	.00	4,312,505.81	.00
2021	395	266	7200	308,940.00	300,940.00	37,413.18	263,526.82	263,210.85	315.97	.00
2021	395	266	7300	137,900.00	146,900.00	70,323.71	76,576.29	70,412.59	6,163.70	.00
2021	395	266	7400	171,730.00	170,730.00	19,673.94	151,056.06	143,111.06	7,945.00	.00
2021	395	266	7500	2,251,620.00	2,251,620.00	1,106,460.83	1,145,159.17	.00	1,145,159.17	.00
DIVISION TOTALS:				9,507,950.00	9,538,996.00	3,590,171.85	5,948,824.15	476,734.50	5,472,089.65	.00
DEPARTMENT TOTALS:				21,275,270.00	21,330,265.00	7,531,034.13	13,799,230.87	2,615,929.45	11,183,301.42	.00
PERCENT EXPENDED:				35.3	PERCENT EXPENDED AND ENCUMBERED:					
								47.6		

395 919
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 61

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
910 Employee Benefits										
919 Public Employee Assistance										
2021	395	919	7500	13,010.00	13,010.00	.00	13,010.00	.00	13,010.00	.00
DIVISION TOTALS:				13,010.00	13,010.00	.00	13,010.00	.00	13,010.00	.00
DEPARTMENT TOTALS:				13,010.00	13,010.00	.00	13,010.00	.00	13,010.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:			.0		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	395	921	7500	224,370.00	224,370.00	.00	224,370.00	.00	224,370.00	.00
DIVISION TOTALS:				224,370.00	224,370.00	.00	224,370.00	.00	224,370.00	.00
DEPARTMENT TOTALS:				224,370.00	224,370.00	.00	224,370.00	.00	224,370.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:			.0		
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	395	944	7200	1,456,630.00	1,456,630.00	22,658.00	1,433,972.00	.00	1,433,972.00	.00
DIVISION TOTALS:				1,456,630.00	1,456,630.00	22,658.00	1,433,972.00	.00	1,433,972.00	.00
DEPARTMENT TOTALS:				1,456,630.00	1,456,630.00	22,658.00	1,433,972.00	.00	1,433,972.00	.00
PERCENT EXPENDED:				1.6	PERCENT EXPENDED AND ENCUMBERED:			1.6		
416 Cincinnati Health District FUND										
260 Department Of Public Health										
261 Health, Office Of The Commissioner										
2021	416	261	7100	1,372,790.00	1,394,788.00	760,262.96	634,525.04	.00	634,525.04	.00
2021	416	261	7200	99,110.00	111,110.00	108,128.64	2,981.36	2,919.13	62.23	.00
2021	416	261	7300	30,150.00	17,650.00	13,221.47	4,428.53	3,450.75	977.78	.00
2021	416	261	7400	39,670.00	40,170.00	24,881.87	15,288.13	14,953.13	335.00	.00
2021	416	261	7500	448,800.00	448,800.00	241,908.98	206,891.02	.00	206,891.02	.00
2021	416	261	7600	2,920.00	2,920.00	.00	2,920.00	.00	2,920.00	.00
DIVISION TOTALS:				1,993,440.00	2,015,438.00	1,148,403.92	867,034.08	21,323.01	845,711.07	.00
262 Health, Technical Resources										
2021	416	262	7100	1,412,820.00	1,417,561.00	711,377.26	706,183.74	.00	706,183.74	.00
2021	416	262	7200	361,910.00	362,910.00	210,373.57	152,536.43	156,262.03	-3,725.60	.00
2021	416	262	7300	48,400.00	46,400.00	32,507.25	13,892.75	13,558.71	334.04	.00
2021	416	262	7400	3,420.00	4,420.00	2,517.24	1,902.76	1,742.76	160.00	.00
2021	416	262	7500	580,610.00	580,610.00	314,165.82	266,444.18	.00	266,444.18	.00
DIVISION TOTALS:				2,407,160.00	2,411,901.00	1,270,941.14	1,140,959.86	171,563.50	969,396.36	.00
263 Div Of Community Health										
2021	416	263	7100	2,634,880.00	2,639,283.00	1,506,697.50	1,132,585.50	.00	1,132,585.50	.00
2021	416	263	7200	210,140.00	197,140.00	152,894.49	44,245.51	43,726.36	519.15	.00
2021	416	263	7300	35,610.00	35,610.00	31,344.33	4,265.67	4,216.42	49.25	.00
2021	416	263	7400	980.00	13,980.00	3,849.71	10,130.29	7,063.60	3,066.69	.00
2021	416	263	7500	1,199,320.00	1,199,320.00	639,487.06	559,832.94	.00	559,832.94	.00
DIVISION TOTALS:				4,080,930.00	4,085,333.00	2,334,273.09	1,751,059.91	55,006.38	1,696,053.53	.00

416 264
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 62

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
264 Primary Health Care - S.P.										
2021	416	264	7100	1,431,000.00	1,435,325.00	676,138.53	759,186.47	.00	759,186.47	.00
2021	416	264	7200	42,130.00	70,130.00	24,720.00	45,410.00	42,881.31	2,528.69	.00
2021	416	264	7300	2,760.00	6,760.00	110.65	6,649.35	4,976.85	1,672.50	.00
2021	416	264	7400	80,000.00	48,000.00	29,981.50	18,018.50	4,990.13	13,028.37	.00
2021	416	264	7500	586,780.00	586,780.00	249,621.01	337,158.99	.00	337,158.99	.00
DIVISION TOTALS:				2,142,670.00	2,146,995.00	980,571.69	1,166,423.31	52,848.29	1,113,575.02	.00
265 Primary Health Care - H.C.										
2021	416	265	7100	4,353,010.00	4,395,973.00	1,984,942.36	2,411,030.64	.00	2,411,030.64	.00
2021	416	265	7200	7,120.00	7,120.00	5,888.18	1,231.82	705.48	526.34	.00
2021	416	265	7500	1,210,700.00	1,210,700.00	606,144.68	604,555.32	.00	604,555.32	.00
DIVISION TOTALS:				5,570,830.00	5,613,793.00	2,596,975.22	3,016,817.78	705.48	3,016,112.30	.00
266 School & Adolescent Health										
2021	416	266	7100	1,165,920.00	1,165,920.00	500,477.38	665,442.62	.00	665,442.62	.00
2021	416	266	7200	24,490.00	24,490.00	1,540.81	22,949.19	437.47	22,511.72	.00
2021	416	266	7500	430,430.00	430,430.00	194,338.65	236,091.35	.00	236,091.35	.00
DIVISION TOTALS:				1,620,840.00	1,620,840.00	696,356.84	924,483.16	437.47	924,045.69	.00
DEPARTMENT TOTALS:				17,815,870.00	17,894,300.00	9,027,521.90	8,866,778.10	301,884.13	8,564,893.97	.00
PERCENT EXPENDED:				50.4	PERCENT EXPENDED AND ENCUMBERED:					
								52.1		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	416	921	7500	196,110.00	196,110.00	196,110.00	.00	.00	.00	.00
DIVISION TOTALS:				196,110.00	196,110.00	196,110.00	.00	.00	.00	.00
DEPARTMENT TOTALS:				196,110.00	196,110.00	196,110.00	.00	.00	.00	.00
PERCENT EXPENDED:				100.0	PERCENT EXPENDED AND ENCUMBERED:					
								100.0		
940 Govt'Al & Prof'Al Services										
941 Audit And Examiner's Fees										
2021	416	941	7200	13,000.00	13,000.00	.00	13,000.00	4,510.00	8,490.00	.00
DIVISION TOTALS:				13,000.00	13,000.00	.00	13,000.00	4,510.00	8,490.00	.00
944 General Fund Overhead										
2021	416	944	7200	14,760.00	14,760.00	14,398.00	362.00	.00	362.00	.00
DIVISION TOTALS:				14,760.00	14,760.00	14,398.00	362.00	.00	362.00	.00
DEPARTMENT TOTALS:				27,760.00	27,760.00	14,398.00	13,362.00	4,510.00	8,852.00	.00
PERCENT EXPENDED:				51.9	PERCENT EXPENDED AND ENCUMBERED:					
								68.1		

449 092
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 63

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
449 Cinti Area Geographic Info Sys FUND										
090 Enterprise Technology Solution										
092 ETS-CAGIS										
2021	449	092	7100	1,798,962.00	1,812,142.00	831,073.05	981,068.95	.00	981,068.95	.00
2021	449	092	7200	996,110.00	996,110.00	647,581.17	348,528.83	.00	348,528.83	.00
2021	449	092	7300	51,770.00	51,770.00	.00	51,770.00	3,500.00	48,270.00	.00
2021	449	092	7400	861,420.00	861,420.00	476,966.10	384,453.90	62,757.58	321,696.32	.00
2021	449	092	7500	591,459.00	591,459.00	279,047.08	312,411.92	.00	312,411.92	.00
DIVISION TOTALS:				4,299,721.00	4,312,901.00	2,234,667.40	2,078,233.60	66,257.58	2,011,976.02	.00
DEPARTMENT TOTALS:				4,299,721.00	4,312,901.00	2,234,667.40	2,078,233.60	66,257.58	2,011,976.02	.00
PERCENT EXPENDED:				51.8	PERCENT EXPENDED AND ENCUMBERED:					
								53.3		
910 Employee Benefits										
919 Public Employee Assistance										
2021	449	919	7500	2,210.00	2,210.00	.00	2,210.00	.00	2,210.00	.00
DIVISION TOTALS:				2,210.00	2,210.00	.00	2,210.00	.00	2,210.00	.00
DEPARTMENT TOTALS:				2,210.00	2,210.00	.00	2,210.00	.00	2,210.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	449	921	7500	29,770.00	29,770.00	26,297.18	3,472.82	.00	3,472.82	.00
DIVISION TOTALS:				29,770.00	29,770.00	26,297.18	3,472.82	.00	3,472.82	.00
DEPARTMENT TOTALS:				29,770.00	29,770.00	26,297.18	3,472.82	.00	3,472.82	.00
PERCENT EXPENDED:				88.3	PERCENT EXPENDED AND ENCUMBERED:					
								88.3		
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	449	944	7200	190,529.00	190,529.00	142,314.15	48,214.85	.00	48,214.85	.00
DIVISION TOTALS:				190,529.00	190,529.00	142,314.15	48,214.85	.00	48,214.85	.00
DEPARTMENT TOTALS:				190,529.00	190,529.00	142,314.15	48,214.85	.00	48,214.85	.00
PERCENT EXPENDED:				74.7	PERCENT EXPENDED AND ENCUMBERED:					
								74.7		
455 Streetcar Operations FUND										
110 Department Of Law										
111 Civil										
2021	455	111	7100	93,010.00	94,746.00	41,188.35	53,557.65	.00	53,557.65	.00
2021	455	111	7500	27,690.00	27,690.00	15,214.41	12,475.59	.00	12,475.59	.00
DIVISION TOTALS:				120,700.00	122,436.00	56,402.76	66,033.24	.00	66,033.24	.00
DEPARTMENT TOTALS:				120,700.00	122,436.00	56,402.76	66,033.24	.00	66,033.24	.00
PERCENT EXPENDED:				46.1	PERCENT EXPENDED AND ENCUMBERED:					
								46.1		
230 Dept Of Transportation & Engin										
236 Division of Streetcar Operations										
2021	455	236	7100	351,210.00	444,941.00	128,770.05	316,170.95	.00	316,170.95	.00
2021	455	236	7200	2,183,770.00	3,087,770.00	1,141,654.76	1,946,115.24	516,294.23	1,429,821.01	.00
2021	455	236	7400	5,730.00	5,730.00	421.51	5,308.49	1,178.49	4,130.00	.00
2021	455	236	7500	76,990.00	76,990.00	-10,493.95	87,483.95	.00	87,483.95	.00
DIVISION TOTALS:				2,617,700.00	3,615,431.00	1,260,352.37	2,355,078.63	517,472.72	1,837,605.91	.00

455 239
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 64

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
239 Division Of Traffic Engineer										
2021	455	239	7100	127,275.00	127,275.00	41,439.38	85,835.62	.00	85,835.62	.00
2021	455	239	7500	50,725.00	50,725.00	10,688.24	40,036.76	.00	40,036.76	.00
DIVISION TOTALS:				178,000.00	178,000.00	52,127.62	125,872.38	.00	125,872.38	.00
DEPARTMENT TOTALS:				2,795,700.00	3,793,431.00	1,312,479.99	2,480,951.01	517,472.72	1,963,478.29	.00
PERCENT EXPENDED:				34.6	PERCENT EXPENDED AND ENCUMBERED:					
								48.2		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	455	921	7500	8,750.00	8,750.00	6,180.81	2,569.19	.00	2,569.19	.00
DIVISION TOTALS:				8,750.00	8,750.00	6,180.81	2,569.19	.00	2,569.19	.00
DEPARTMENT TOTALS:				8,750.00	8,750.00	6,180.81	2,569.19	.00	2,569.19	.00
PERCENT EXPENDED:				70.6	PERCENT EXPENDED AND ENCUMBERED:					
								70.6		
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	455	944	7200	56,170.00	56,170.00	33,449.08	22,720.92	.00	22,720.92	.00
DIVISION TOTALS:				56,170.00	56,170.00	33,449.08	22,720.92	.00	22,720.92	.00
DEPARTMENT TOTALS:				56,170.00	56,170.00	33,449.08	22,720.92	.00	22,720.92	.00
PERCENT EXPENDED:				59.5	PERCENT EXPENDED AND ENCUMBERED:					
								59.5		
457 CLEAR FUND										
090 Enterprise Technology Solution										
093 ETS-CLEAR										
2021	457	093	7100	1,476,380.00	1,483,640.00	439,583.06	1,044,056.94	.00	1,044,056.94	.00
2021	457	093	7200	2,166,270.00	2,166,270.00	616,061.20	1,550,208.80	374,049.60	1,176,159.20	.00
2021	457	093	7300	351,080.00	351,080.00	4,191.67	346,888.33	2,880.03	344,008.30	.00
2021	457	093	7400	774,520.00	774,520.00	169,301.41	605,218.59	73,550.00	531,668.59	149,350.00
2021	457	093	7500	404,310.00	404,310.00	141,447.54	262,862.46	.00	262,862.46	.00
DIVISION TOTALS:				5,172,560.00	5,179,820.00	1,370,584.88	3,809,235.12	450,479.63	3,358,755.49	149,350.00
DEPARTMENT TOTALS:				5,172,560.00	5,179,820.00	1,370,584.88	3,809,235.12	450,479.63	3,358,755.49	149,350.00
PERCENT EXPENDED:				26.5	PERCENT EXPENDED AND ENCUMBERED:					
								35.2		
910 Employee Benefits										
919 Public Employee Assistance										
2021	457	919	7500	1,410.00	1,410.00	.00	1,410.00	.00	1,410.00	.00
DIVISION TOTALS:				1,410.00	1,410.00	.00	1,410.00	.00	1,410.00	.00
DEPARTMENT TOTALS:				1,410.00	1,410.00	.00	1,410.00	.00	1,410.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED:					
								.0		
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	457	921	7500	24,580.00	24,580.00	17,606.44	6,973.56	.00	6,973.56	.00
DIVISION TOTALS:				24,580.00	24,580.00	17,606.44	6,973.56	.00	6,973.56	.00
DEPARTMENT TOTALS:				24,580.00	24,580.00	17,606.44	6,973.56	.00	6,973.56	.00
PERCENT EXPENDED:				71.6	PERCENT EXPENDED AND ENCUMBERED:					
								71.6		

457 944
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 65

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	457	944	7200	157,330.00	157,330.00	95,281.90	62,048.10	.00	62,048.10	.00
DIVISION TOTALS:				157,330.00	157,330.00	95,281.90	62,048.10	.00	62,048.10	.00
DEPARTMENT TOTALS:				157,330.00	157,330.00	95,281.90	62,048.10	.00	62,048.10	.00
PERCENT EXPENDED:				60.6	PERCENT EXPENDED AND ENCUMBERED: 60.6					
 701 Metropolitan Sewer District FUND										
410 Dept. of Sewers Director's Off										
410 Dept. of Sewers Director's Office										
2021	701	410	7100	1,762,738.00	1,762,738.00	12,594.15	1,750,143.85	.00	1,750,143.85	.00
2021	701	410	7200	707,610.00	707,610.00	2,527.41	705,082.59	119,000.00	586,082.59	.00
2021	701	410	7300	20,936.00	20,936.00	48.30	20,887.70	6,000.00	14,887.70	.00
2021	701	410	7400	431,180.00	431,180.00	112.99	431,067.01	28,080.00	402,987.01	.00
2021	701	410	7500	675,835.00	675,835.00	44,628.36	631,206.64	.00	631,206.64	.00
DIVISION TOTALS:				3,598,299.00	3,598,299.00	59,911.21	3,538,387.79	153,080.00	3,385,307.79	.00
DEPARTMENT TOTALS:				3,598,299.00	3,598,299.00	59,911.21	3,538,387.79	153,080.00	3,385,307.79	.00
PERCENT EXPENDED:				1.7	PERCENT EXPENDED AND ENCUMBERED: 5.9					
 420 MSD Div Of Wastewater Engineer										
420 MSD Div Of Wastewater Engineering										
2021	701	420	7100	5,985,643.00	5,985,643.00	71,507.16	5,914,135.84	.00	5,914,135.84	.00
2021	701	420	7200	582,547.00	582,547.00	8,980.51	573,566.49	85,960.00	487,606.49	.00
2021	701	420	7300	69,732.00	69,732.00	1,902.35	67,829.65	22,000.00	45,829.65	.00
2021	701	420	7400	227,325.00	227,325.00	21,704.61	205,620.39	39,850.45	165,769.94	.00
2021	701	420	7500	2,014,894.00	2,014,894.00	88,340.03	1,926,553.97	.00	1,926,553.97	.00
DIVISION TOTALS:				8,880,141.00	8,880,141.00	192,434.66	8,687,706.34	147,810.45	8,539,895.89	.00
DEPARTMENT TOTALS:				8,880,141.00	8,880,141.00	192,434.66	8,687,706.34	147,810.45	8,539,895.89	.00
PERCENT EXPENDED:				2.2	PERCENT EXPENDED AND ENCUMBERED: 3.8					
 430 MSD Div Of Wastewater Admin										
430 MSD Div Of Wastewater Admin										
2021	701	430	7100	3,464,896.00	3,464,896.00	54,519.50	3,410,376.50	.00	3,410,376.50	.00
2021	701	430	7200	6,955,707.00	6,955,707.00	562,836.39	6,392,870.61	6,192,706.70	200,163.91	.00
2021	701	430	7300	30,940.00	30,940.00	111.23	30,828.77	6,000.00	24,828.77	.00
2021	701	430	7400	68,270.00	68,270.00	1,407.00	66,863.00	.00	66,863.00	.00
2021	701	430	7500	1,249,481.00	1,249,481.00	66,904.90	1,182,576.10	.00	1,182,576.10	.00
DIVISION TOTALS:				11,769,294.00	11,769,294.00	685,779.02	11,083,514.98	6,198,706.70	4,884,808.28	.00
 431 MSD Division of Information Technology										
2021	701	431	7100	1,724,110.00	1,724,110.00	38,151.09	1,685,958.91	.00	1,685,958.91	.00
2021	701	431	7200	1,532,167.00	1,532,167.00	239,966.55	1,292,200.45	29,000.00	1,263,200.45	15,000.00
2021	701	431	7300	198,000.00	198,000.00	.00	198,000.00	.00	198,000.00	.00
2021	701	431	7400	2,441,823.00	2,441,823.00	37,539.89	2,404,283.11	131,662.68	2,272,620.43	531,143.42
2021	701	431	7500	648,555.00	648,555.00	45,528.79	603,026.21	.00	603,026.21	.00
DIVISION TOTALS:				6,544,655.00	6,544,655.00	361,186.32	6,183,468.68	160,662.68	6,022,806.00	546,143.42
DEPARTMENT TOTALS:				18,313,949.00	18,313,949.00	1,046,965.34	17,266,983.66	6,359,369.38	10,907,614.28	546,143.42
PERCENT EXPENDED:				5.7	PERCENT EXPENDED AND ENCUMBERED: 40.4					

701 441
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 66

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
440 MSD Div Of Wastewater Treatmen										
441 MSD Office Of Superintendent										
2021	701	441	7100	1,629,245.00	1,629,245.00	27,228.14	1,602,016.86	.00	1,602,016.86	.00
2021	701	441	7200	85,320.00	85,320.00	475.92	84,844.08	9,500.00	75,344.08	.00
2021	701	441	7300	21,065.00	21,065.00	.00	21,065.00	3,000.00	18,065.00	.00
2021	701	441	7400	350,940.00	350,940.00	.00	350,940.00	.00	350,940.00	.00
2021	701	441	7500	686,866.00	686,866.00	38,801.84	648,064.16	.00	648,064.16	.00
DIVISION TOTALS:				2,773,436.00	2,773,436.00	66,505.90	2,706,930.10	12,500.00	2,694,430.10	.00
442 MSD Millcreek Section										
2021	701	442	7100	4,540,043.00	4,540,043.00	91,374.75	4,448,668.25	.00	4,448,668.25	.00
2021	701	442	7200	7,568,952.00	7,568,952.00	176,887.89	7,392,064.11	4,654,700.18	2,737,363.93	8,450.00
2021	701	442	7300	5,957,041.00	5,957,041.00	111,464.46	5,845,576.54	961,736.38	4,883,840.16	.00
2021	701	442	7400	133,161.00	133,161.00	973.01	132,187.99	8,924.99	123,263.00	.00
2021	701	442	7500	1,775,497.00	1,775,497.00	110,139.08	1,665,357.92	.00	1,665,357.92	.00
DIVISION TOTALS:				19,974,694.00	19,974,694.00	490,839.19	19,483,854.81	5,625,361.55	13,858,493.26	8,450.00
443 MSD Little Miami Section										
2021	701	443	7100	1,718,198.00	1,718,198.00	44,434.58	1,673,763.42	.00	1,673,763.42	.00
2021	701	443	7200	4,240,779.00	4,240,779.00	16,923.49	4,223,855.51	1,654,057.66	2,569,797.85	.00
2021	701	443	7300	891,426.00	891,426.00	13,822.47	877,603.53	260,466.45	617,137.08	.00
2021	701	443	7400	109,105.00	109,105.00	73,985.25	35,119.75	.00	35,119.75	.00
2021	701	443	7500	654,633.00	654,633.00	54,292.28	600,340.72	.00	600,340.72	.00
DIVISION TOTALS:				7,614,141.00	7,614,141.00	203,458.07	7,410,682.93	1,914,524.11	5,496,158.82	.00
444 MSD Muddy Creek Section										
2021	701	444	7100	1,222,610.00	1,222,610.00	25,868.35	1,196,741.65	.00	1,196,741.65	.00
2021	701	444	7200	1,706,516.00	1,706,516.00	19,436.54	1,687,079.46	824,007.16	863,072.30	.00
2021	701	444	7300	559,769.00	559,769.00	1,138.41	558,630.59	229,660.34	328,970.25	.00
2021	701	444	7400	31,230.00	31,230.00	4,866.86	26,363.14	.00	26,363.14	.00
2021	701	444	7500	520,896.00	520,896.00	32,780.01	488,115.99	.00	488,115.99	.00
DIVISION TOTALS:				4,041,021.00	4,041,021.00	84,090.17	3,956,930.83	1,053,667.50	2,903,263.33	.00
445 MSD Sycamore Section										
2021	701	445	7100	1,000,869.00	1,000,869.00	20,425.45	980,443.55	.00	980,443.55	.00
2021	701	445	7200	1,053,403.00	1,053,403.00	7,592.34	1,045,810.66	708,812.58	336,998.08	.00
2021	701	445	7300	362,856.00	362,856.00	6,398.84	356,457.16	18,598.59	337,858.57	.00
2021	701	445	7400	17,060.00	17,060.00	2,701.30	14,358.70	.00	14,358.70	.00
2021	701	445	7500	497,698.00	497,698.00	31,523.59	466,174.41	.00	466,174.41	.00
DIVISION TOTALS:				2,931,886.00	2,931,886.00	68,641.52	2,863,244.48	727,411.17	2,135,833.31	.00
446 MSD Taylor Creek Section										
2021	701	446	7100	634,268.00	634,268.00	35,812.47	598,455.53	.00	598,455.53	.00
2021	701	446	7200	769,889.00	769,889.00	13,501.02	756,387.98	614,920.51	141,467.47	.00
2021	701	446	7300	312,648.00	312,648.00	1,092.35	311,555.65	25,436.76	286,118.89	.00
2021	701	446	7400	9,600.00	9,600.00	495.60	9,104.40	.00	9,104.40	.00
2021	701	446	7500	243,594.00	243,594.00	20,900.18	222,693.82	.00	222,693.82	.00
DIVISION TOTALS:				1,969,999.00	1,969,999.00	71,801.62	1,898,197.38	640,357.27	1,257,840.11	.00
447 MSD Polk Run Section										
2021	701	447	7100	597,746.00	597,746.00	12,535.06	585,210.94	.00	585,210.94	.00
2021	701	447	7200	630,710.00	630,710.00	2,112.45	628,597.55	520,544.65	108,052.90	.00
2021	701	447	7300	170,833.00	170,833.00	231.14	170,601.86	17,697.93	152,903.93	.00
2021	701	447	7400	9,185.00	9,185.00	.00	9,185.00	.00	9,185.00	.00
2021	701	447	7500	254,381.00	254,381.00	16,943.68	237,437.32	.00	237,437.32	.00
DIVISION TOTALS:				1,662,855.00	1,662,855.00	31,822.33	1,631,032.67	538,242.58	1,092,790.09	.00

701 449
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 67

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
449 MSD Maintenance Section										
2021	701	449	7100	4,379,058.00	4,379,058.00	79,322.76	4,299,735.24	.00	4,299,735.24	.00
2021	701	449	7200	826,853.00	826,853.00	13,909.30	812,943.70	36,500.00	776,443.70	.00
2021	701	449	7300	415,458.00	415,458.00	4,973.92	410,484.08	81,499.00	328,985.08	.00
2021	701	449	7400	1,353,300.00	1,353,300.00	.00	1,353,300.00	3,589.00	1,349,711.00	.00
2021	701	449	7500	1,818,850.00	1,818,850.00	111,440.06	1,707,409.94	.00	1,707,409.94	.00
DIVISION TOTALS:				8,793,519.00	8,793,519.00	209,646.04	8,583,872.96	121,588.00	8,462,284.96	.00
DEPARTMENT TOTALS:				49,761,551.00	49,761,551.00	1,226,804.84	48,534,746.16	10,633,652.18	37,901,093.98	8,450.00
PERCENT EXPENDED:				2.5	PERCENT EXPENDED AND ENCUMBERED:					
								23.8		
450 MSD Div Of Wastewater Collecti										
450 MSD Div Of Wastewater Collection										
2021	701	450	7100	8,498,688.00	8,498,688.00	214,761.24	8,283,926.76	.00	8,283,926.76	.00
2021	701	450	7200	6,837,475.00	6,837,475.00	87,070.51	6,750,404.49	4,414,446.15	2,335,958.34	.00
2021	701	450	7300	3,449,092.00	3,449,092.00	71,639.52	3,377,452.48	1,970,836.25	1,406,616.23	.00
2021	701	450	7400	128,297.00	128,297.00	711.40	127,585.60	20,787.60	106,798.00	.00
2021	701	450	7500	3,982,476.00	3,982,476.00	258,453.26	3,724,022.74	.00	3,724,022.74	.00
DIVISION TOTALS:				22,896,028.00	22,896,028.00	632,635.93	22,263,392.07	6,406,070.00	15,857,322.07	.00
DEPARTMENT TOTALS:				22,896,028.00	22,896,028.00	632,635.93	22,263,392.07	6,406,070.00	15,857,322.07	.00
PERCENT EXPENDED:				2.8	PERCENT EXPENDED AND ENCUMBERED:					
								30.7		
460 MSD Div Of Industrial Waste										
460 MSD Div Of Industrial Waste										
2021	701	460	7100	3,980,456.00	3,980,456.00	89,468.10	3,890,987.90	.00	3,890,987.90	.00
2021	701	460	7200	1,745,809.00	1,745,809.00	3,626.32	1,742,182.68	79,322.00	1,662,860.68	30,300.00
2021	701	460	7300	778,444.00	778,444.00	677.13	777,766.87	107,111.66	670,655.21	.00
2021	701	460	7400	31,464.00	31,464.00	10,748.00	20,716.00	.00	20,716.00	.00
2021	701	460	7500	1,657,204.00	1,657,204.00	95,933.21	1,561,270.79	.00	1,561,270.79	.00
DIVISION TOTALS:				8,193,377.00	8,193,377.00	200,452.76	7,992,924.24	186,433.66	7,806,490.58	30,300.00
DEPARTMENT TOTALS:				8,193,377.00	8,193,377.00	200,452.76	7,992,924.24	186,433.66	7,806,490.58	30,300.00
PERCENT EXPENDED:				2.4	PERCENT EXPENDED AND ENCUMBERED:					
								4.7		
470 MSD Watershed Operations										
470 MSD Watershed Operations										
2021	701	470	7100	2,287,383.00	2,287,383.00	42,815.89	2,244,567.11	.00	2,244,567.11	.00
2021	701	470	7200	5,176,500.00	5,176,500.00	8,549.85	5,167,950.15	3,727,568.53	1,440,381.62	.00
2021	701	470	7300	847,000.00	847,000.00	2,448.90	844,551.10	45,458.04	799,093.06	.00
2021	701	470	7400	375,000.00	375,000.00	.00	375,000.00	343,100.00	31,900.00	.00
2021	701	470	7500	960,707.00	960,707.00	66,885.40	893,821.60	.00	893,821.60	.00
DIVISION TOTALS:				9,646,590.00	9,646,590.00	120,700.04	9,525,889.96	4,116,126.57	5,409,763.39	.00
DEPARTMENT TOTALS:				9,646,590.00	9,646,590.00	120,700.04	9,525,889.96	4,116,126.57	5,409,763.39	.00
PERCENT EXPENDED:				1.3	PERCENT EXPENDED AND ENCUMBERED:					
								43.9		

701 480
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 68

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
480 MSD SBU Program										
480 MSD SBU Program										
2021	701	480	7100	669,061.00	669,061.00	8,867.66	660,193.34	.00	660,193.34	.00
2021	701	480	7200	8,945,556.00	8,945,556.00	62.95	8,945,493.05	2,250,000.00	6,695,493.05	.00
2021	701	480	7300	74,753.00	74,753.00	.00	74,753.00	.00	74,753.00	.00
2021	701	480	7400	1,973,087.00	1,973,087.00	135,211.84	1,837,875.16	.00	1,837,875.16	.00
2021	701	480	7500	259,913.00	259,913.00	12,782.04	247,130.96	.00	247,130.96	.00
DIVISION TOTALS:				11,922,370.00	11,922,370.00	156,924.49	11,765,445.51	2,250,000.00	9,515,445.51	.00
DEPARTMENT TOTALS:				11,922,370.00	11,922,370.00	156,924.49	11,765,445.51	2,250,000.00	9,515,445.51	.00
PERCENT EXPENDED:				1.3	PERCENT EXPENDED AND ENCUMBERED: 20.2					
490 MSD Debt Service										
490 MSD Debt Service										
2021	701	490	7700	83,586,000.00	83,586,000.00	4,542,755.54	79,043,244.46	.00	79,043,244.46	.00
DIVISION TOTALS:				83,586,000.00	83,586,000.00	4,542,755.54	79,043,244.46	.00	79,043,244.46	.00
DEPARTMENT TOTALS:				83,586,000.00	83,586,000.00	4,542,755.54	79,043,244.46	.00	79,043,244.46	.00
PERCENT EXPENDED:				5.4	PERCENT EXPENDED AND ENCUMBERED: 5.4					
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	701	944	7200	2,657,210.00	2,657,210.00	.00	2,657,210.00	.00	2,657,210.00	.00
DIVISION TOTALS:				2,657,210.00	2,657,210.00	.00	2,657,210.00	.00	2,657,210.00	.00
DEPARTMENT TOTALS:				2,657,210.00	2,657,210.00	.00	2,657,210.00	.00	2,657,210.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: .0					
980 Capital Outlay Accounts										
981 Motorized & Construction Equip										
2021	701	981	7600	1,777,000.00	1,777,000.00	.00	1,777,000.00	.00	1,777,000.00	.00
DIVISION TOTALS:				1,777,000.00	1,777,000.00	.00	1,777,000.00	.00	1,777,000.00	.00
982 Office & Technical Equip										
2021	701	982	7600	1,555,325.00	1,555,325.00	.00	1,555,325.00	.00	1,555,325.00	.00
DIVISION TOTALS:				1,555,325.00	1,555,325.00	.00	1,555,325.00	.00	1,555,325.00	.00
DEPARTMENT TOTALS:				3,332,325.00	3,332,325.00	.00	3,332,325.00	.00	3,332,325.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: .0					
759 Income Tax Transit FUND										
080 SORTA										
081 SORTA Operations										
2021	759	081	7200	16,570,409.00	25,294,602.76	25,294,602.76	.00	.00	.00	.00
DIVISION TOTALS:				16,570,409.00	25,294,602.76	25,294,602.76	.00	.00	.00	.00
DEPARTMENT TOTALS:				16,570,409.00	25,294,602.76	25,294,602.76	.00	.00	.00	.00
PERCENT EXPENDED:				100.0	PERCENT EXPENDED AND ENCUMBERED: 100.0					

759 111
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 69

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
110 Department Of Law										
111 Civil										
2021	759	111	7100	86,020.00	88,420.00	47,503.07	40,916.93	.00	40,916.93	.00
2021	759	111	7500	24,570.00	24,570.00	18,767.50	5,802.50	.00	5,802.50	.00
DIVISION TOTALS:				110,590.00	112,990.00	66,270.57	46,719.43	.00	46,719.43	.00
DEPARTMENT TOTALS:				110,590.00	112,990.00	66,270.57	46,719.43	.00	46,719.43	.00
PERCENT EXPENDED:				58.7	PERCENT EXPENDED AND ENCUMBERED: 58.7					
200 Department Of Parks										
202 Parks, Operations & Facility Mgmt										
2021	759	202	7400	31,300.00	31,300.00	.00	31,300.00	.00	31,300.00	.00
DIVISION TOTALS:				31,300.00	31,300.00	.00	31,300.00	.00	31,300.00	.00
DEPARTMENT TOTALS:				31,300.00	31,300.00	.00	31,300.00	.00	31,300.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: .0					
230 Dept Of Transportation & Engin										
231 Trans & Eng, Director										
2021	759	231	7100	44,250.00	44,250.00	18,407.71	25,842.29	.00	25,842.29	.00
2021	759	231	7200	6,560.00	6,560.00	.00	6,560.00	.00	6,560.00	.00
2021	759	231	7400	1,760.00	1,760.00	660.00	1,100.00	.00	1,100.00	.00
2021	759	231	7500	13,430.00	13,430.00	1,753.95	11,676.05	.00	11,676.05	.00
DIVISION TOTALS:				66,000.00	66,000.00	20,821.66	45,178.34	.00	45,178.34	.00
232 Div Of Transportation Planning										
2021	759	232	7100	69,450.00	69,450.00	29,225.88	40,224.12	.00	40,224.12	.00
2021	759	232	7200	36,000.00	36,000.00	6,000.00	30,000.00	23,250.00	6,750.00	.00
2021	759	232	7500	13,870.00	13,870.00	4,491.02	9,378.98	.00	9,378.98	.00
DIVISION TOTALS:				119,320.00	119,320.00	39,716.90	79,603.10	23,250.00	56,353.10	.00
236 Division of Streetcar Operations										
2021	759	236	7200	.00	1,500,000.00	.00	1,500,000.00	.00	1,500,000.00	.00
DIVISION TOTALS:				.00	1,500,000.00	.00	1,500,000.00	.00	1,500,000.00	.00
DEPARTMENT TOTALS:				185,320.00	1,685,320.00	60,538.56	1,624,781.44	23,250.00	1,601,531.44	.00
PERCENT EXPENDED:				3.6	PERCENT EXPENDED AND ENCUMBERED: 5.0					
910 Employee Benefits										
919 Public Employee Assistance										
2021	759	919	7500	260.00	260.00	.00	260.00	.00	260.00	.00
DIVISION TOTALS:				260.00	260.00	.00	260.00	.00	260.00	.00
DEPARTMENT TOTALS:				260.00	260.00	.00	260.00	.00	260.00	.00
PERCENT EXPENDED:				.0	PERCENT EXPENDED AND ENCUMBERED: .0					
920 Employee Benefits (Cont)										
921 Workers' Comp Insurance										
2021	759	921	7500	3,670.00	3,670.00	3,112.85	557.15	.00	557.15	.00
DIVISION TOTALS:				3,670.00	3,670.00	3,112.85	557.15	.00	557.15	.00
DEPARTMENT TOTALS:				3,670.00	3,670.00	3,112.85	557.15	.00	557.15	.00
PERCENT EXPENDED:				84.8	PERCENT EXPENDED AND ENCUMBERED: 84.8					

759 944
 RUN DATE: 02/12/2021
 RUN TIME: 10.55.39

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 APPROPRIATED FUNDS
 AS OF 01 / 31 / 2021

PGM ID: CFSFA104
 PAGE: 70

Report 4

FY	FND	AGY	OBJT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
940 Govt'Al & Prof'Al Services										
944 General Fund Overhead										
2021	759	944	7200	500,000.00	500,000.00	411,705.51	88,294.49	.00	88,294.49	.00
DIVISION TOTALS:				500,000.00	500,000.00	411,705.51	88,294.49	.00	88,294.49	.00
DEPARTMENT TOTALS:				500,000.00	500,000.00	411,705.51	88,294.49	.00	88,294.49	.00
PERCENT EXPENDED:				82.3	PERCENT EXPENDED AND ENCUMBERED:		82.3			

RUN DATE: 02/12/2021
RUN TIME: 10.56.14

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES
RESTRICTED FUNDS
AS OF 01 / 31 / 2021

CFSFA105
PAGE: 1

Report 4

FND	DEPT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
010	City Treasurer FUND							
010	000	71,525,475.99	45,262,839.33	.00	45,262,839.33	.00	45,262,839.33	.00
156	Eco Dev Rev Bonds-FSW-Tr FUND							
156	000	836,678.87	2,849.40	.00	2,849.40	.00	2,849.40	.00
157	Eco Dev Rev Bds-Conv Pl Truste FUND							
157	000	122,773.89	123,472.24	.00	123,472.24	.00	123,472.24	.00
164	Madison Circle Trust FUND							
164	000	11,150.49	11,150.49	.00	11,150.49	.00	11,150.49	.00
165	Elsinore Prop. Aquisition - Tr FUND							
165	000	8,575,858.19	9,160,520.98	.00	9,160,520.98	.00	9,160,520.98	.00
166	Graeters Bonds FUND							
166	000	293,821.87	686,150.40	651,838.35	34,312.05	.00	34,312.05	.00
201	Reproduction And Printing FUND							
201	000	687,223.79	1,206,210.45	580,914.38	625,296.07	540,102.18	85,193.89	.00
202	Fleet Services FUND							
202	000	3,024,607.78	10,538,116.18	7,417,429.14	3,120,687.04	1,940,564.23	1,180,122.81	.00
204	Water Works Stores -Materials FUND							
204	000	770,296.94	3,107,595.89	2,250,485.07	857,110.82	676,237.37	180,873.45	.00
205	Fuel System FUND							
205	000	2,594,612.98	7,387,408.83	4,258,660.83	3,128,748.00	933,483.11	2,195,264.89	.00
207	Recreation Stores FUND							
207	000	54,278.63	98,122.05	49,574.72	48,547.33	6,428.62	42,118.71	.00
209	Property Management Unit FUND							
209	000	2,580,154.46	3,191,297.35	459,886.92	2,731,410.43	68,136.61	2,663,273.82	.00
210	Highway Maintenance Stores FUND							
210	000	591,041.07	591,041.07	139,789.78	451,251.29	9,628.67	441,622.62	.00
212	Employee Safety & Risk Mangmt FUND							
212	000	1,073,728.22	3,627,974.10	1,291,072.87	2,336,901.23	1,065,914.23	1,270,987.00	.00
213	Employee Workers' Comp FUND							
213	000	17,457,945.26	21,594,615.88	1,975,564.81	19,619,051.07	224,907.90	19,394,143.17	.00
214	Water Works Stores -Chemicals FUND							
214	000	1,025,181.47	3,097,759.20	2,647,148.15	450,611.05	4,601,117.49	-4,150,506.44	.00
304	Community Dev Block Grant FUND							
304	000	105,778.86	4,538,131.79	4,346,548.83	191,582.96	5,775,620.12	-5,584,037.16	173,000.00
305	CDBG Section 108 Loan Fund FUND							
305	000	.00	941,136.80	941,136.80	.00	.00	.00	.00
307	Convention Center Expansn Tax FUND							
307	000	260,920.75	783,341.51	729,210.03	54,131.48	.00	54,131.48	.00

RUN DATE: 02/12/2021
 RUN TIME: 10.56.14

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 RESTRICTED FUNDS
 AS OF 01 / 31 / 2021

CFSFA105
 PAGE: 2

Report 4

<u>FND</u>	<u>DEPT</u>	<u>ORIGINAL AUTHORIZATION</u>	<u>ADJUSTED AUTHORIZATION</u>	<u>EXPENDITURES AMOUNT</u>	<u>UNEXPENDED BALANCE</u>	<u>ENCUMBRANCE AMOUNT</u>	<u>UNENCUMBERED BALANCE</u>	<u>PRE-ENCUMBERED AMOUNT</u>
308	<i>Citizens Summer Jobs FUND</i>							
308	000	165,490.80	1,180,490.80	1,620.96	1,178,869.84	.00	1,178,869.84	.00
310	<i>Employee Relations FUND</i>							
310	000	365.56	365.56	.00	365.56	.00	365.56	.00
311	<i>Water Works Activity FUND</i>							
311	000	750.71	953.71	100.20	853.51	253.40	600.11	.00
312	<i>Water Works Private Lead Service Line Replacement FUND</i>							
312	000	8,466,626.20	13,116,594.59	1,269,941.57	11,846,653.02	2,220,876.62	9,625,776.40	2,350.00
313	<i>Recreation Activity Fund FUND</i>							
313	000	18,229.85	18,229.85	.00	18,229.85	.00	18,229.85	.00
314	<i>Special Events FUND</i>							
314	000	377,022.60	377,022.60	.00	377,022.60	4.35	377,018.25	.00
315	<i>Fountain Square Pavilion FUND</i>							
315	000	15,629.03	15,717.93	.00	15,717.93	.00	15,717.93	.00
317	<i>Urban Dev Property Operations FUND</i>							
317	000	664,725.90	882,327.28	78,654.96	803,672.32	81,090.93	722,581.39	.00
319	<i>Contributions For Recreation FUND</i>							
319	000	165,478.68	197,402.76	27,066.58	170,336.18	59,929.09	110,407.09	.00
320	<i>Crosley Field Trust FUND</i>							
320	000	289,554.57	292,056.97	.00	292,056.97	.00	292,056.97	.00
321	<i>Kroger Trust FUND</i>							
321	000	80,104.55	80,491.72	20,000.00	60,491.72	.00	60,491.72	.00
324	<i>Recreation Fed Grant Project FUND</i>							
324	000	256,850.78	708,254.72	302,620.38	405,634.34	130,558.20	275,076.14	.00
326	<i>Park Miscellaneous Revenue and Special Activities FUND</i>							
326	000	1,459,956.75	1,442,835.31	245,568.31	1,197,267.00	204,967.59	992,299.41	.00
327	<i>W.M. Ampt Free Concerts FUND</i>							
327	000	47,365.00	47,365.00	4,600.00	42,765.00	.00	42,765.00	.00
328	<i>Groesbeck Endowments FUND</i>							
328	000	145,585.78	145,585.78	.00	145,585.78	.00	145,585.78	.00
330	<i>Park Lodge/ Pavilion Deposits FUND</i>							
330	000	1,198,079.79	1,204,838.74	33,212.93	1,171,625.81	8,250.00	1,163,375.81	.00
331	<i>Police Education FUND</i>							
331	000	25,461.27	25,669.65	.00	25,669.65	3,382.32	22,287.33	.00
332	<i>Krohn Conservatory FUND</i>							
332	000	1,045,208.83	1,128,551.03	546,504.80	582,046.23	32,488.76	549,557.47	.00
334	<i>Columbia Parkway Greenway FUND</i>							
334	000	36,607.65	36,691.97	36,190.00	501.97	.00	501.97	.00

RUN DATE: 02/12/2021
 RUN TIME: 10.56.14

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 RESTRICTED FUNDS
 AS OF 01 / 31 / 2021

CFSFA105
 PAGE: 3

Report 4

<u>FND</u>	<u>DEPT</u>	<u>ORIGINAL AUTHORIZATION</u>	<u>ADJUSTED AUTHORIZATION</u>	<u>EXPENDITURES AMOUNT</u>	<u>UNEXPENDED BALANCE</u>	<u>ENCUMBRANCE AMOUNT</u>	<u>UNENCUMBERED BALANCE</u>	<u>PRE-ENCUMBERED AMOUNT</u>
336	Telecommunications Services FUND							
336	000	67,715.71	56,642.36	.00	56,642.36	22,519.92	34,122.44	.00
340	Centennial Operations FUND							
340	000	858,552.80	2,558,328.16	578,879.94	1,979,448.22	1,153,875.73	825,572.49	.00
342	New City Building Operations FUND							
342	000	366.90	12,366.90	8,470.65	3,896.25	27,241.45	-23,345.20	.00
343	Fire Safety Education FUND							
343	000	12,965.42	12,965.42	.00	12,965.42	.00	12,965.42	.00
348	Western Corridor Safe City FUND							
348	000	91,819.05	97,058.79	1,157.32	95,901.47	48,832.59	47,068.88	.00
349	Urban Renewal Debt Retirement FUND							
349	000	34,374,203.46	41,286,487.87	3,761,186.07	37,525,301.80	.00	37,525,301.80	.00
350	Public Health Research FUND							
350	000	20,784.21	2,646,204.43	2,459,190.51	187,013.92	614,582.66	-427,568.74	515,000.00
353	Home Health Services FUND							
353	000	1,108.20	443,879.66	1,962,805.00	-1,518,925.34	284,940.31	-1,803,865.65	18,410.00
354	Household Sewage Treatment System Fees FUND							
354	000	136,170.97	173,360.45	29.78	173,330.67	.00	173,330.67	.00
356	Continuing Professional Training FUND							
356	000	650,447.84	650,447.84	.00	650,447.84	.00	650,447.84	37,749.00
359	Blue Ash Property Acquisition FUND							
359	000	39,567.88	39,567.88	.00	39,567.88	.00	39,567.88	.00
360	Blue Ash Property Operation FUND							
360	000	81,205.88	81,205.88	.00	81,205.88	.00	81,205.88	.00
363	Solid Waste Disposal Control FUND							
363	000	41,908.64	86,739.46	52,452.39	34,287.07	.00	34,287.07	.00
366	Federal Asset Forfeiture - Treasury FUND							
366	000	220,741.37	221,996.96	.00	221,996.96	.00	221,996.96	.00
367	Federal Asset Forfeiture - Justice FUND							
367	000	1,218,610.17	1,306,839.23	55,960.81	1,250,878.42	410,087.75	840,790.67	72,512.87
368	Law Enforcement Grant FUND							
368	000	114,488.85	1,493,750.10	1,379,853.43	113,896.67	357,635.46	-243,738.79	.00
369	Criminal Actv Forfeiture State FUND							
369	000	725,642.50	1,180,219.22	472,993.80	707,225.42	359,030.99	348,194.43	.00
370	Drug Offender Fines Forfeiture FUND							
370	000	48,732.68	64,087.80	9,092.41	54,995.39	110.00	54,885.39	.00
372	DUI Enforcement FUND							
372	000	97,054.99	102,692.59	2,389.04	100,303.55	13,071.03	87,232.52	.00

RUN DATE: 02/12/2021
RUN TIME: 10.56.14

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES
RESTRICTED FUNDS
AS OF 01 / 31 / 2021

CFSFA105
PAGE: 4

Report 4

FND	DEPT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
373	IRS Forfeiture FUND							
373	000	24,933.47	25,075.30	.00	25,075.30	7,910.31	17,164.99	.00
376	Anti-Prostitution Fund FUND							
376	000	83,756.57	90,006.57	82,850.56	7,156.01	.00	7,156.01	.00
381	Cincinnati Abatement Project FUND							
381	000	26.97	-3,042.15	64,868.92	-67,911.07	1,299,705.25	-1,367,616.32	.00
384	Sewers - Activity FUND							
384	000	780.99	780.99	.00	780.99	.00	780.99	.00
386	Empowerment Zone FUND							
386	000	375,993.57	378,407.88	.00	378,407.88	86,368.00	292,039.88	.00
387	Lead Hazard Control FUND							
387	000	-160,009.50	-160,009.50	126,038.60	-286,048.10	4,342,816.22	-4,628,864.32	.00
389	Communications & Marketing Actv FUND							
389	000	201,373.28	201,373.28	4,221.31	197,151.97	37,418.04	159,733.93	.00
390	Fire Education FUND							
390	000	65,594.02	65,594.02	7,868.22	57,725.80	.00	57,725.80	.00
391	Women & Infants Food Grnt Prog FUND							
391	000	349.65	2,181,016.97	1,680,916.82	500,100.15	84,972.87	415,127.28	.00
393	Metropolitan Medical Response-Contract Funds FUND							
393	000	68,134.64	68,134.64	.00	68,134.64	.00	68,134.64	.00
396	Council Lobbying FUND							
396	000	1,924.00	1,924.00	.00	1,924.00	.00	1,924.00	.00
403	Yeatman's Cove Park Trust FUND							
403	000	701,071.50	705,059.24	.00	705,059.24	.00	705,059.24	.00
405	Vending Program FUND							
405	000	92,573.96	92,668.98	.00	92,668.98	.00	92,668.98	.00
411	Home Investment Trust FUND							
411	000	2,162,353.82	2,477,103.56	2,150,498.32	326,605.24	2,028,625.20	-1,702,019.96	.00
412	Food Service License Fees FUND							
412	000	610,697.70	660,716.08	657,776.40	2,939.68	33,160.05	-30,220.37	.00
413	Swimming Pool License Fees FUND							
413	000	40,040.85	37,147.28	43,270.61	-6,123.33	21,434.30	-27,557.63	.00
414	Infectious Waste FUND							
414	000	456.08	456.08	.00	456.08	.00	456.08	.00
415	Immunization Action Plan FUND							
415	000	129,875.97	219,157.89	114,530.27	104,627.62	755.22	103,872.40	.00
420	Public Employee Assistance Pro FUND							
420	000	325,342.95	323,559.67	279,097.33	44,462.34	8,634.86	35,827.48	.00

RUN DATE: 02/12/2021
RUN TIME: 10.56.14

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES
RESTRICTED FUNDS
AS OF 01 / 31 / 2021

CFSFA105
PAGE: 5

Report 4

FND	DEPT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
425	Heart Health In Ham County FUND							
425	000	89.59	-8,443.00	133,290.44	-141,733.44	20,000.00	-161,733.44	.00
428	Urban Forestry FUND							
428	000	197,214.16	212,134.00	5,020.00	207,114.00	29,146.30	177,967.70	.00
430	Parks Private Endowment FUND							
430	000	446,154.57	735,875.81	357,912.57	377,963.24	514,742.25	-136,779.01	21,300.00
435	Human Relations FUND							
435	000	1,000.00	1,000.00	.00	1,000.00	.00	1,000.00	.00
436	Environmental Studies FUND							
436	000	230,433.75	231,183.75	20,847.82	210,335.93	204,888.63	5,447.30	.00
437	Wason Way Trail Donations FUND							
437	000	.00	33,333.00	.00	33,333.00	.00	33,333.00	.00
438	Neighborhood Stabilization FUND							
438	000	617,829.10	617,829.10	.00	617,829.10	.00	617,829.10	.00
439	Affordable Housing Trust Fund FUND							
439	000	1,300.00	1,300.00	.00	1,300.00	.00	1,300.00	.00
444	Armler Projects FUND							
444	000	1,747,143.19	1,757,081.06	.00	1,757,081.06	.00	1,757,081.06	.00
445	Emergency Shelter FUND							
445	000	200,000.00	596,441.99	635,501.73	-39,059.74	5,744,729.63	-5,783,789.37	.00
446	Health Network FUND							
446	000	116,062.60	1,551,671.99	6,011,854.19	-4,460,182.20	2,609,697.84	-7,069,880.04	.00
448	Health Care For The Homeless FUND							
448	000	165,465.44	396,868.64	59,185.65	337,682.99	17,496.59	320,186.40	.00
456	Public Safety Special Projects FUND							
456	000	24,531.13	28,251.13	124.99	28,126.14	8,807.26	19,318.88	.00
465	Housing Opp People With Aids FUND							
465	000	.00	866,441.94	1,074,984.62	-208,542.68	656,780.51	-865,323.19	.00
468	Avondale Equiv FUND							
468	000	750,789.71	881,527.66	156,300.73	725,226.93	.00	725,226.93	.00
472	Fire Grants FUND							
472	000	340,834.45	2,352,157.83	2,756,638.65	-404,480.82	133,135.00	-537,615.82	.00
473	COVID-19 FUND							
473	000	15,498,196.47	60,844,046.70	51,332,849.72	9,511,196.98	135,527.31	9,375,669.67	.00
476	UASI Grant FUND							
476	000	10,563.95	10,563.95	.00	10,563.95	.00	10,563.95	.00
478	Justice Assistance Grant FUND							
478	000	373,393.08	629,162.74	160,529.26	468,633.48	86,933.75	381,699.73	.00

RUN DATE: 02/12/2021
RUN TIME: 10.56.14

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
DIVISION OF ACCOUNTS AND AUDITS
STATEMENT OF BALANCES
RESTRICTED FUNDS
AS OF 01 / 31 / 2021

CFSFA105
PAGE: 6

Report 4

FND	DEPT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
479	FEMA - Flood 2018 FUND							
479	000	.00	7,841.84	.00	7,841.84	.00	7,841.84	.00
480	Queensgate South Dist Equiv FUND							
480	000	890,157.32	1,152,634.39	154,399.56	998,234.83	.00	998,234.83	.00
481	Downtown South/Riverfront Equivalent FUND							
481	000	4,071,025.37	7,361,843.96	3,080,115.38	4,281,728.58	1,000,000.00	3,281,728.58	.00
482	Downtown/OTR West Equivalent FUND							
482	000	5,115,274.90	3,963,367.69	1,103,439.58	2,859,928.11	66,358.00	2,793,570.11	.00
483	Downtown/OTR East Equivalent FUND							
483	000	11,305,183.79	10,333,048.64	4,584,502.70	5,748,545.94	.00	5,748,545.94	.00
484	Center Hill-Carthage/SPUR District Equivalent FUND							
484	000	292,556.39	307,034.86	4,207.40	302,827.46	.00	302,827.46	.00
485	Walnut Hills Equivalent FUND							
485	000	1,542,616.44	2,139,082.61	1,010,697.79	1,128,384.82	.00	1,128,384.82	.00
486	East Walnut Hills Equivalent FUND							
486	000	2,285,499.33	1,396,745.61	326,705.29	1,070,040.32	.00	1,070,040.32	.00
487	CUF/Heights Equivalent FUND							
487	000	4,376,161.58	5,484,323.95	1,870,915.12	3,613,408.83	2,100,000.00	1,513,408.83	.00
488	Corryville Equivalent FUND							
488	000	2,860,551.52	4,385,870.97	1,265,115.24	3,120,755.73	399,312.00	2,721,443.73	.00
489	Bond Hill Equivalent TIF District 10 FUND							
489	000	606,546.91	784,973.52	51,651.99	733,321.53	.00	733,321.53	.00
490	Evanston Equivalent FUND							
490	000	886,999.68	958,685.78	118,520.83	840,164.95	.00	840,164.95	.00
491	Municipal Public Improvt Equiv FUND							
491	000	4,300,940.07	8,798,007.88	3,482,625.56	5,315,382.32	236.06	5,315,146.26	.00
492	West Price Hill Equiv FUND							
492	000	58,999.04	66,130.30	46,017.60	20,112.70	.00	20,112.70	.00
493	Price Hill Equiv FUND							
493	000	121,994.15	138,862.86	5,097.44	133,765.42	.00	133,765.42	.00
494	East Price Hill Equiv FUND							
494	000	309,360.45	449,783.45	150,505.54	299,277.91	6,500.00	292,777.91	.00
495	Lower Price Hill Equiv FUND							
495	000	386,103.31	438,185.25	15,429.08	422,756.17	.00	422,756.17	.00
496	Westwood 1 Equiv FUND							
496	000	155,076.78	184,963.62	8,763.11	176,200.51	.00	176,200.51	.00
497	Westwood 2 Equiv FUND							
497	000	4,179.06	21,339.80	21,339.80	.00	.00	.00	.00

RUN DATE: 02/12/2021
 RUN TIME: 10.56.14

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 RESTRICTED FUNDS
 AS OF 01 / 31 / 2021

CFSFA105
 PAGE: 7

Report 4

<u>FND</u>	<u>DEPT</u>	<u>ORIGINAL AUTHORIZATION</u>	<u>ADJUSTED AUTHORIZATION</u>	<u>EXPENDITURES AMOUNT</u>	<u>UNEXPENDED BALANCE</u>	<u>ENCUMBRANCE AMOUNT</u>	<u>UNENCUMBERED BALANCE</u>	<u>PRE-ENCUMBERED AMOUNT</u>
498	Madisonville Equiv FUND							
498	000	1,642,368.50	1,967,428.17	852,699.13	1,114,729.04	.00	1,114,729.04	.00
499	Oakley Equiv FUND							
499	000	1,815,562.48	2,145,607.66	321,839.50	1,823,768.16	.00	1,823,768.16	.00
601	Prepaid Property Settlement FUND							
601	000	389,466.72	440,105.24	.00	440,105.24	.00	440,105.24	.00
604	Unclassified Receipts FUND							
604	000	13,058.09	128,685.12	.00	128,685.12	.00	128,685.12	.00
605	Undistributed City Income Tax FUND							
605	000	7,939,594.50	7,939,594.50	.00	7,939,594.50	.00	7,939,594.50	.00
608	Federal Taxes W/H FUND							
608	000	36,294.93	-3,068,743.83	.00	-3,068,743.83	.00	-3,068,743.83	.00
610	United Way Withholding FUND							
610	000	19,255.03	22,441.03	.00	22,441.03	.00	22,441.03	.00
611	Union Dues Withholding FUND							
611	000	37,664.77	7,704.41	.00	7,704.41	.00	7,704.41	.00
612	State Pension Systems W/H FUND							
612	000	1,847,986.81	1,209,523.43	.00	1,209,523.43	.00	1,209,523.43	.00
614	Employee Salary W/H FUND							
614	000	65,730.47	-22,095.06	.00	-22,095.06	.00	-22,095.06	.00
615	Ohio Sales Tax Deposits FUND							
615	000	69,639.37	48,535.07	.00	48,535.07	.00	48,535.07	.00
616	Fire Insurance Escrow FUND							
616	000	1,232,182.23	1,237,195.42	.00	1,237,195.42	20,000.00	1,217,195.42	.00
617	Admissions Tax Bonds FUND							
617	000	41,174.16	41,274.16	.00	41,274.16	.00	41,274.16	.00
618	Towing Charges Private Operatr FUND							
618	000	124,814.59	519,588.74	390,314.92	129,273.82	543,653.79	-414,379.97	.00
619	State Food Service Deposits FUND							
619	000	41,883.21	41,911.21	.00	41,911.21	.00	41,911.21	.00
621	State Vital Statistics Deposit FUND							
621	000	757,207.59	801,772.20	.00	801,772.20	.00	801,772.20	.00
622	State Swimming Pool Deposits FUND							
622	000	6,401.52	91.52	.00	91.52	.00	91.52	.00
623	Street Restoration FUND							
623	000	2,093,666.03	2,584,035.26	.00	2,584,035.26	.00	2,584,035.26	.00
625	Inspection Private St And Sewe FUND							
625	000	240,717.25	217,003.01	.00	217,003.01	.00	217,003.01	.00

RUN DATE: 02/12/2021
 RUN TIME: 10.56.14

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 RESTRICTED FUNDS
 AS OF 01 / 31 / 2021

CFSFA105
 PAGE: 8

Report 4

FND	DEPT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
626	Unclaimed Wages & Other Pay FUND							
626	000	306,934.20	306,934.20	.00	306,934.20	.00	306,934.20	.00
627	Deferred Compensation W/H FUND							
627	000	34,814.71	-1,952,395.35	.00	-1,952,395.35	.00	-1,952,395.35	.00
628	State Income Tax W/H FUND							
628	000	37,366.47	-382,154.13	.00	-382,154.13	.00	-382,154.13	.00
630	Cable Access Management FUND							
630	000	592,107.92	635,089.32	50,299.76	584,789.56	45,256.11	539,533.45	.00
632	Local And School Withholding FUND							
632	000	38,445.56	45,108.80	.00	45,108.80	.00	45,108.80	.00
634	Buildings Escrow Deposits FUND							
634	000	138,845.91	144,674.87	.00	144,674.87	.00	144,674.87	.00
635	Buildings State Surcharge Fee FUND							
635	000	17,898.93	22,568.76	.00	22,568.76	.00	22,568.76	.00
636	Flexible Benefit Program FUND							
636	000	1,086,031.10	1,798,869.51	92,268.00	1,706,601.51	78,512.00	1,628,089.51	.00
638	Other City Deposits FUND							
638	000	.00	137,669.13	.00	137,669.13	.00	137,669.13	.00
639	Police Property Room Deposits FUND							
639	000	3,668,253.83	4,335,950.24	.00	4,335,950.24	.00	4,335,950.24	.00
702	Enterprise Technology Solutions FUND							
702	000	2,369,028.51	6,141,203.88	2,889,139.90	3,252,063.98	2,476,652.28	775,411.70	.00
704	MSD Capital Improvements FUND							
704	000	97,145,553.93	97,145,553.93	77,374,161.15	19,771,392.78	105,682,966.85	-85,911,574.07	84,430.00
706	W.M. Ampt Endowment FUND							
706	000	130,618.89	135,335.80	.00	135,335.80	.00	135,335.80	.00
707	Groesbeck Endowment FUND							
707	000	38,467.46	46,617.83	.00	46,617.83	.00	46,617.83	.00
708	Schmidlapp Park Music FUND							
708	000	51,327.43	51,633.93	.00	51,633.93	.00	51,633.93	.00
711	Risk Management FUND							
711	000	30,516,492.37	81,617,753.17	45,578,348.90	36,039,404.27	7,527,331.44	28,512,072.83	.00
715	Convention Facility Authority FUND							
715	000	2,146,351.48	1,914,986.44	457,612.50	1,457,373.94	1,528,763.00	-71,389.06	.00
751	Recreation PIF FUND							
751	000	307,581.59	307,581.59	1.00	307,580.59	1.00	307,579.59	.00
752	Park Board PIF FUND							
752	000	2,412,481.12	2,526,616.18	204,500.00	2,322,116.18	15,500.00	2,306,616.18	.00

RUN DATE: 02/12/2021
 RUN TIME: 10.56.14

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 RESTRICTED FUNDS
 AS OF 01 / 31 / 2021

CFSFA105
 PAGE: 9

Report 4

FND	DEPT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
753	Expressways/Gateways PIF FUND							
753	000	1,549,335.10	1,705,045.62	.00	1,705,045.62	.00	1,705,045.62	.00
754	Working Capital Reserve FUND							
754	000	32,718,657.65	35,643,352.69	.00	35,643,352.69	.00	35,643,352.69	.00
756	Water Works PIF FUND							
756	000	57,575,002.66	96,030,184.47	13,940,846.24	82,089,338.23	14,942,230.56	67,147,107.67	9,200,645.79
757	Miscellaneous PIF FUND							
757	000	3,733,533.07	4,898,823.18	367,012.61	4,531,810.57	.00	4,531,810.57	.00
758	Income Tax PIF FUND							
758	000	28,897,549.68	40,641,259.22	17,923,260.84	22,717,998.38	.00	22,717,998.38	.00
761	Special Housing PIF FUND							
761	000	3,170,123.03	820,233.88	.00	820,233.88	.00	820,233.88	.00
762	Urban Redev Tax Incrmt Equivlt FUND							
762	000	4,926,354.74	10,047,319.71	4,453,924.61	5,593,395.10	.00	5,593,395.10	.00
763	Urban Redev Tax Incrmt Equivlt II FUND							
763	000	96,999.53	1,662,703.13	1,231,346.97	431,356.16	398,105.32	33,250.84	.00
791	Sidewalk Assessments FUND							
791	000	1,322,747.66	1,409,350.95	17,587.18	1,391,763.77	183,681.96	1,208,081.81	.00
792	Forestry Assessments FUND							
792	000	2,102,223.99	2,199,194.33	1,289,691.44	909,502.89	479,827.46	429,675.43	.00
793	Blem Assessment FUND							
793	000	916,476.98	1,561,437.88	310,349.37	1,251,088.51	153,844.73	1,097,243.78	.00
794	Private Street Dedication FUND							
794	000	237,964.26	240,673.48	130.15	240,543.33	.00	240,543.33	.00
795	Downtown Special Improvemt FUND							
795	000	.00	1,403,671.82	1,403,671.82	.00	.00	.00	.00
812	Police & Fire Refunding 2000 FUND							
812	000	.00	.00	.00	.00	.00	.00	.00
816	Focus 52 Program FUND							
816	000	.00	80,000.00	.00	80,000.00	.00	80,000.00	.00
826	Street Improvement FUND							
826	000	.00	.00	.00	.00	.00	.00	.00
852	Urban Renewal Tax Increment FUND							
852	000	30,633.29	6,228.80	.00	6,228.80	.00	6,228.80	.00
862	Urban Development FUND							
862	000	31,161.15	9,661.15	.00	9,661.15	.00	9,661.15	.00
864	Automotive And Other Equip FUND							
864	000	.00	.00	.00	.00	.00	.00	.00

RUN DATE: 02/12/2021
 RUN TIME: 10.56.14

CITY OF CINCINNATI - DEPARTMENT OF FINANCE
 DIVISION OF ACCOUNTS AND AUDITS
 STATEMENT OF BALANCES
 RESTRICTED FUNDS
 AS OF 01 / 31 / 2021

CFSFA105
 PAGE: 10

Report 4

FND	DEPT	ORIGINAL AUTHORIZATION	ADJUSTED AUTHORIZATION	EXPENDITURES AMOUNT	UNEXPENDED BALANCE	ENCUMBRANCE AMOUNT	UNENCUMBERED BALANCE	PRE-ENCUMBERED AMOUNT
870	Street Improvement FUND							
870	000	.00	.00	.00	.00	.00	.00	.00
882	Master Lease Program FUND							
882	000	.00	2,094,276.00	2,094,276.00	.00	1,722,468.83	-1,722,468.83	.00
883	Revolving Energy Loan FUND							
883	000	517,832.50	517,832.50	.00	517,832.50	.00	517,832.50	.00
885	Water Works Improvement FUND							
885	000	807,553.76	809,057.32	639,464.49	169,592.83	3,364.84	166,227.99	.00
886	Water Works Improvement FUND							
886	000	618,511.88	21,111,802.39	23,301,820.59	-2,190,018.20	18,103,698.96	-20,293,717.16	2,386,172.12
980	Capital Projects FUND							
980	000	135,686,522.95	193,072,753.67	68,565,132.13	124,507,621.54	92,642,830.10	31,864,791.44	3,467,811.02

March 10, 2021

202100922

To: Mayor and Members of City Council

From: Paula Boggs Muething, City Manager

Subject: **Emergency Ordinance – Smale Riverfront Park Lot 23 Capital Resources from Ohio Department of Natural Resources**

Attached is an Emergency Ordinance captioned:

AUTHORIZING the City Manager to accept and appropriate State of Ohio Capital Budget Grant resources in the amount of \$1,700,000 as authorized by Senate Bill 310 from the Ohio Department of Natural Resources to capital improvement program project account no. 980x203x202008, “Smale Riverfront Park Extension” for the purpose of providing resources for expansion and improvements at the Smale Riverfront Park extension on Lot 23 of the Banks; and **AUTHORIZING** the Director of Finance, upon receipt of the State of Ohio Capital Budget Grant resources in the amount of \$1,700,000, as authorized by Senate Bill 310, from the Ohio Department of Natural Resources, to return to source the amount of up to \$1,700,000 from capital improvement program project account no. 980x203x202008, “Smale Riverfront Park Extension,” to the unappropriated surplus of Park and Recreation Improvement Bond Fund 860 for the purpose of partially offsetting the notes issued to fund a portion of the expansion and improvements at the Smale Riverfront Park extension on Lot 23 of the Banks.

This Emergency Ordinance will authorize the City Manager to accept and appropriate \$1,700,000 of State of Ohio Capital Budget resources from the Ohio Department of Natural Resources as authorized by Senate Bill 310 to existing capital improvement program project account no. 980x203x202008, “Smale Riverfront Park Extension,” for the purpose of providing resources for expansion and improvements at the Smale Riverfront Park extension on Lot 23 of the Banks. Additionally, this Emergency Ordinance will return to source the sum of \$1,700,000 from capital improvement program project account no. 980x203x202008, “Smale Riverfront Park Extension,” to the unappropriated surplus of Park and Recreation Improvement Bond Fund 860 for the purpose of partially offsetting the notes issued to fund a portion of the expansion and improvements at the Smale Riverfront Park extension on Lot 23 of the Banks.

The Smale Riverfront Park Extension is in accordance with the “Live” goal to “build a robust public life” and strategy to “develop and maintain inviting and engaging public spaces that encourage social interaction between different types of people” as described on pages 147 – 152 of Plan Cincinnati (2012).

The reason for the emergency is the immediate need to accept grant funds to cover expenses related to improvements at Smale Riverfront Park extension on Lot 23 of the Banks.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment





EMERGENCY

City of Cincinnati

An Ordinance No.

- 2021

AUTHORIZING the City Manager to accept and appropriate State of Ohio Capital Budget Grant resources in the amount of \$1,700,000 as authorized by Senate Bill 310 from the Ohio Department of Natural Resources to capital improvement program project account no. 980x203x202008, "Smale Riverfront Park Extension," for the purpose of providing resources for expansion and improvements at the Smale Riverfront Park extension on Lot 23 of the Banks; and AUTHORIZING the Director of Finance, upon receipt of the State of Ohio Capital Budget Grant resources in the amount of \$1,700,000, as authorized by Senate Bill 310, from the Ohio Department of Natural Resources, to return to source the amount of up to \$1,700,000 from capital improvement program project account no. 980x203x202008, "Smale Riverfront Park Extension," to the unappropriated surplus of Park and Recreation Improvement Bond Fund 860 for the purpose of partially offsetting the notes issued to fund a portion of the expansion and improvements at the Smale Riverfront Park extension on Lot 23 of the Banks.

WHEREAS, on November 18, 2015, City Council passed Ordinance No. 0358-2015 which authorized the City Manager to apply for State of Ohio Capital Grants related to the final phases of construction at Smale Riverfront Park; and

WHEREAS, Section 126.14 of the Ohio Revised Code, "Controlling board to approve release of appropriation for purchase of real estate or other capital project," permits the Director of the State of Ohio's Office of Budget and Management (OBM) to determine and release appropriations for specific capital projects; and

WHEREAS, the resources awarded for the Smale Riverfront Park extension on Lot 23 through the State Capital Budget process will be used to support costs associated with expansion and improvements at Smale Riverfront Park on Lot 23, including construction of an event lawn, walkways, landscape, park furnishings, park utilities, tree groves, an elevator, and stairways; and

WHEREAS, these grant resources do not require any local matching funds and there are no new FTEs associated with acceptance of these funds; and

WHEREAS, pursuant to Ordinance No. 221-2020, passed by City Council on June 24, 2020, on August 20, 2020, the City issued notes in the amount of \$2,775,000 to fund certain park and recreation improvements in order to partially fund costs associated with the expansion and improvements at Smale Riverfront Park on Lot 23; and

WHEREAS, the Smale Riverfront Park Extension is in accordance with the "Live" goal to "build a robust public life" and strategy to "develop and maintain inviting and engaging public spaces that encourage social interaction between different types of people" as described on pages 147-151 of Plan Cincinnati (2012); now, therefore,

LES

ML

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the City Manager is hereby authorized to accept and appropriate State of Ohio Capital Budget Grant resources in the amount of \$1,700,000 as authorized by Senate Bill 310 from the Ohio Department of Natural Resources to capital improvement program project account no. 980x203x202008, "Smale Riverfront Park Extension," for the purpose of providing resources for expansion and improvements at the Smale Riverfront Park extension on Lot 23 of the Banks.

Section 2. That upon receipt of the State of Ohio Capital Budget Grant resources in the amount of \$1,700,000, as authorized by Senate Bill 310, from the Ohio Department of Natural Resources, the Director of Finance is hereby authorized to return to source the amount of up to \$1,700,000 from capital improvement program project account no. 980x203x202008, "Smale Riverfront Park Extension," to the unappropriated surplus of Park and Recreation Improvement Bond Fund 860 for the purpose of partially offsetting the notes issued to fund a portion of the expansion and improvements at the Smale Riverfront Park extension on Lot 23 of the Banks.

Section 3. That the proper City officials are hereby authorized to take all necessary action to carry out the provisions of Sections 1 and 2 herein.

Section 4. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is

the immediate need to accept grant funds to cover expenses related to improvements at Smale Riverfront Park extension on Lot 23 of the Banks.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 10, 2021

To: Mayor and Members of City Council

202100923

From: Paula Boggs Muething, City Manager

Subject: Ordinance – Safe Routes to School Grant Application

Attached is an Ordinance captioned:

AUTHORIZING the City Manager to apply for grant resources awarded by the Ohio Department of Transportation from the Safe Routes to School program in an amount of up to \$400,000 for the purpose of implementing various safety improvements within two miles of schools within the City of Cincinnati.

Approval of this Ordinance would authorize the City Manager to apply for grant resources in an amount of up to \$400,000 from the Safe Routes to School grant program, awarded by ODOT, for the purpose of implementing various safety improvements within two miles of schools within the City of Cincinnati.

Local matching funds are not required as long as the total project costs are less than or equal to the grant amount. In an effort to ensure that the total cost is below the grant cap, preliminary engineering and design tasks will be completed using existing and future capital improvement program project accounts in the Department of Transportation and Engineering (DOTE). No additional FTE are associated with these applications.

In order to meet the grant submission deadline of March 5, 2021, the application will be submitted prior to the effective date of this Ordinance, though no grant funds will be accepted without City Council approval.

The implementation of various safety improvements within two miles of schools is in accordance with the "Connect" goal to "develop an efficient multi-modal transportation system that supports neighborhood livability" as well as the strategies to "expand options for non-automotive travel" and to "plan, design, and implement a safe and sustainable transportation system," as described on pages 129-138 of Plan Cincinnati (2012).

The Administration recommends passage of this Ordinance.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment





City of Cincinnati

KKF

AWB

An Ordinance No. _____

- 2021

AUTHORIZING the City Manager to apply for grant resources awarded by the Ohio Department of Transportation from the Safe Routes to School program in an amount of up to \$400,000 for the purpose of implementing various safety improvements within two miles of schools within the City of Cincinnati.

WHEREAS, various safety improvements within the City of Cincinnati would provide a safe and secure route for local students within two miles of schools; and

WHEREAS, a grant is available from the Ohio Department of Transportation through the Safe Routes to School grant program, in an amount of up to \$400,000; and

WHEREAS, the grant does not require matching funds so long as the project costs are less than or equal to the total grant amount; and

WHEREAS, in an effort to ensure that the project costs stay below the \$400,000 grant cap, preliminary engineering, and design tasks will be completed using existing and future Department of Transportation and Engineering capital improvement program project account resources; and

WHEREAS, in order to meet the March 5, 2021 submission deadline for this grant, the application may be submitted prior to the effective date of this Ordinance, though no grant funds will be accepted without Council approval; and

WHEREAS, no additional FTEs are necessary for this grant; and

WHEREAS, implementation of various safety improvements within two miles of schools is in accordance with the "Connect" goal to "develop an efficient multi-modal transportation system that supports neighborhood livability" as well as the strategies to "expand options for non-automotive travel" and to "plan, design, and implement a safe and sustainable transportation system," as described on pages 129-138 of Plan Cincinnati (2012); now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the City Manager is authorized to apply for grant resources from the Ohio Department of Transportation from the Safe Routes to School program in an amount of up to \$400,000 for the purpose of implementing various safety improvements within two miles of schools within the City of Cincinnati.

Section 2. That the proper City officials are authorized to do all things necessary and proper to carry out the terms of the grant application program and Section 1 hereof.

Section 3. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 10, 2021

202100924

To: Mayor and Members of City Council

From: Paula Boggs Muething, City Manager

Subject: Emergency Ordinance – NeoGov Moral Obligation

Attached is an Emergency Ordinance captioned:

AUTHORIZING a payment of \$52,144.05 from the Human Resources Department's non-personnel operating budget account no. 050x121x1000x7289 to Governmentjobs.com, Inc. as a moral obligation of the City for payment of charges owed for the annual NeoGov subscription fee for the City's workforce management software.

Approval of this Emergency Ordinance authorizes a payment of \$52,144.05 from the Human Resources Department's non-personnel operating budget account no. 050x121x1000x7289 to Governmentjobs.com, Inc. as a moral obligation of the City for payment of charges owed for the annual NeoGov subscription fee for the City's workforce management software.

The previous agreement for NeoGov expired in FY 2020. Due to COVID-19 and associated Temporary Emergency Leave (TEL) policies and the Early Retirement Incentive Program (ERIP), the agreement expiration date was overlooked, and a new sole service provider agreement was not sought. However, NeoGov continued to provide necessary workforce management services to the City.

Sufficient funds are available from the Human Resources Department's non-personnel operating budget account no. 050x121x1000x7289 to pay for the services provided by NeoGov.

The reason for the emergency is the immediate need for the City to pay Governmentjobs.com, Inc. for the annual NeoGov subscription fee for the City's workforce management software in a timely manner.

The Administration recommends passage of this Emergency Ordinance.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment

EMERGENCY

City of Cincinnati

KMB *AWB*

An Ordinance No. _____

- 2021

AUTHORIZING a payment of \$52,144.05 from the Human Resources Department's non-personnel operating budget account no. 050x121x1000x7289 to Governmentjobs.com, Inc. as a moral obligation of the City for payment of charges owed for the annual NeoGov subscription fee for the City's workforce management software.

WHEREAS, the City had an annual subscription for NeoGov for workforce management software, and the previous agreement with NeoGov expired in FY 2020; and

WHEREAS, due to COVID-19 and associated Temporary Emergency Leave (TEL) policies and the Early Retirement Incentive Program (ERIP), the agreement expiration date was overlooked and a new sole service provider agreement was not sought, but NeoGov continued to provide necessary workforce management software subscription to the City; and

WHEREAS, sufficient funds are available from the Human Resources Department's non-personnel operating budget account no. 050x121x1000x7289 to pay for the services provided by NeoGov; and

WHEREAS, City Council desires to provide payment to Governmentjobs.com, Inc. for such services in a total amount of \$52,144.05; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the Finance Director is authorized to make a payment of \$52,144.05 from the Human Resources Department's non-personnel operating budget account no. 050x121x1000x7289 to Governmentjobs.com, Inc. as a moral obligation of the City for payment of charges owed for the annual NeoGov subscription fee for the City's workforce management software.

Section 2. That the proper City officials are authorized to do all things necessary and proper to carry out the provisions of Section 1 hereof.

Section 3. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms

of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need for the City to pay Governmentjobs.com, Inc. for the annual NeoGov subscription fee for the City's workforce management software in a timely manner.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 10, 2021

202100925

To: Mayor and Members of City Council

From: Paula Boggs Muething, City Manager

Subject: **Emergency Ordinance – FY 2018 Project Safe Neighborhoods Grant**

Attached is an Emergency Ordinance captioned:

AUTHORIZING the City Manager to apply for, accept, and appropriate a grant in the amount of up to \$150,000 in FY 2018 Project Safe Neighborhoods funds from the Ohio Department of Public Safety, Office of Criminal Justice Services, for assistance with building renovations for the Crime Gun Intelligence Center; and **AUTHORIZING** the Finance Director to deposit the grant funds into Law Enforcement Grant Fund 368, Project Account No. 18PSN.

This Emergency Ordinance would authorize the City Manager to apply for, accept, and appropriate a grant in the amount up to \$150,000 in FY18 Project Safe Neighborhoods funds from the Office of Criminal Justice Services (OCJS), a division of the Ohio Department of Public Safety (ODPS), for assistance with building renovations for the Crime Gun Intelligence Center (CGIC).

There are no new FTE or matching funds required with this grant. The CDFA number is 16.609. This Emergency Ordinance will also authorize the Finance Director to deposit the grant funds into Law Enforcement Grant Fund 368, Project Account No. 18PSN.

As the grant application deadline is February 26, 2021, the Cincinnati Police Department will have applied for this grant prior to this Emergency Ordinance receiving approval from the City Council. Should this Emergency Ordinance not be approved, the grant funding will not be accepted. Please note that FY 2018 funding is accurate although the application date will be in 2021.

This Emergency Ordinance is in accordance with the “Live” goal to “create a more livable community” as described on page 156 of Plan Cincinnati (2012).

The reason for the emergency is the immediate need to assure timely acceptance of grant funds.

The Administration recommends passage of this Emergency Ordinance.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment





EMERGENCY

City of Cincinnati

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BWB

An Ordinance No. _____

-2021

AUTHORIZING the City Manager to apply for, accept, and appropriate a grant in the amount of up to \$150,000 in FY 2018 Project Safe Neighborhoods funds from the Ohio Department of Public Safety, Office of Criminal Justice Services, for assistance with building renovations for the Crime Gun Intelligence Center; and **AUTHORIZING** the Finance Director to deposit the grant funds into Law Enforcement Grant Fund 368, Project Account No. 18PSN.

WHEREAS, there is a grant available in the amount of up to \$150,000 from the State of Ohio, Department of Public Safety, Office of Criminal Justice Services, for building renovations necessary for public safety; and

WHEREAS, this grant will support renovation of the Crime Gun Intelligence Center; and

WHEREAS, the Cincinnati Police Department has already applied for the grant, but will not accept any funds without approval of Council; and

WHEREAS, no matching funds or new FTEs are associated with this grant; and

WHEREAS, this ordinance is in accordance with the “Live” goal to “Create a more livable community,” as described on page 156 of Plan Cincinnati (2012); now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the City Manager is hereby authorized to apply for, accept, and appropriate a grant in the amount of up to \$150,000 in FY 2018 Project Safe Neighborhoods funds from the State of Ohio, Office of Criminal Justice Services for the purpose of funding building renovations for the Crime Gun Intelligence Center.

Section 2. That the Finance Director is hereby authorized to deposit the grant funds into Law Enforcement Grant Fund 368, Project Account No. 18PSN.

Section 3. That the proper City officials are authorized to do all things necessary and proper to carry out the terms of the grant and of Sections 1 and 2 herein.

Section 4. That this ordinance shall be an emergency measure necessary for the preservation of public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to assure timely acceptance of grant funds.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 10, 2021

To: Mayor and Members of City Council

202100926

From: Paula Boggs Muething, City Manager

Subject: Ordinance – Western Hills Viaduct INFRA Grant Application

Attached is an Ordinance captioned:

AUTHORIZING the City Manager to apply for grant resources in an amount up to \$150,000,000 awarded by the United States Department of Transportation through the Infrastructure for Rebuilding America (CFDA 20.934) discretionary grant program to provide resources for the construction of the Western Hills Viaduct.

Approval of this Ordinance would authorize the City Manager to apply for grant resources in an amount up to \$150,000,000 from the Infrastructure for Rebuilding America (INFRA) discretionary grant program through the United States Department of Transportation (USDOT), for the purpose of providing resources for the construction of the Western Hills Viaduct.

Infrastructure for Rebuilding America (INFRA) grant resources require local matching resources of approximately 40 percent, of which 20 percent may come from other grant resources. The local portion of this match is expected to come from Department of Transportation and Engineering (DOTE) capital budget resources in the “Maintenance Fund for Bridges” and “Bridge Rehabilitation Program” project accounts.

Due to the application deadline, this application will be submitted prior to the effective date of this Ordinance. DOTE will only accept grant resources for which City Council has provided authorization.

The replacement of the Western Hills Viaduct is in accordance with the “Connect” goal to “develop a regional transportation system that promotes economic vitality,” and the strategy to “use the city’s transportation network to facilitate economic development opportunities,” as described on pages 139-143 of Plan Cincinnati (2012).

The Administration recommends passage of this Ordinance.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment





City of Cincinnati

LES

BWB

An Ordinance No. _____ - 2021

AUTHORIZING the City Manager to apply for grant resources in an amount up to \$150,000,000 awarded by the United States Department of Transportation through the Infrastructure for Rebuilding America (CFDA 20.934) discretionary grant program to provide resources for the construction of the Western Hills Viaduct.

WHEREAS, the total, current estimated cost of replacing the Western Hills Viaduct is \$335,000,000, including costs for design, right of way acquisition, construction, removals, and interim maintenance on the existing viaduct until a new viaduct is complete and operational; and

WHEREAS, Infrastructure for Rebuilding America grant resources may be used for up to 60 percent of eligible project costs and require a 40 percent local match, of which 20 percent may be matched using other federal grant resources; and

WHEREAS, the source of local matching funds for this grant has to be determined but matching funds are expected to come from a variety of sources including future allocations of resources in the "Western Hills Viaduct," "Maintenance Fund for Bridges," and the "Bridge Rehabilitation Program" capital improvement program project accounts; and

WHEREAS, applications for these grant resources may be submitted prior to the effective date of this ordinance to meet the application deadline of March 19, 2021; and

WHEREAS, if awarded grant funding, the Department of Transportation and Engineering will require authorization from the Council in order to accept the funds and will only accept a grant amount for which matching funds are available; and

WHEREAS, there are no new FTEs associated with the acceptance of this grant; and

WHEREAS, the Western Hills Viaduct replacement project is in accordance with the "Connect" goal to "develop a regional transportation system that promotes economic vitality," and the strategy to "use the city's transportation network to facilitate economic development opportunities," as described on pages 139-143 of Plan Cincinnati (2012); now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the City Manager is authorized to apply for Infrastructure for Rebuilding America grants from the United States Department of Transportation in an amount up to

\$150,000,000 for the purpose of providing resources for the construction of the Western Hills Viaduct.

Section 2. That the proper City officials are authorized to do all things necessary and proper to comply with the terms of this grant and Section 1 hereof.

Section 3. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 10, 2021

To: Mayor and Members of City Council

202100927

From: Paula Boggs Muething, City Manager

Subject: Emergency Ordinance – Lunken Airport CARES Act Airport Grant

Attached is an Emergency Ordinance captioned:

AUTHORIZING the City Manager to apply for and accept a grant of up to \$91,162 from the United States Department of Transportation and the Federal Aviation Administration through the recently passed Coronavirus Aid, Relief, and Economic Security Act Airport Grant program for the purpose of offsetting losses in revenue at Lunken Airport due to COVID-19 and a need to defray various costs associated with operating Lunken Airport; **AUTHORIZING** the Director of Finance to receive and deposit the grant funds into General Aviation Fund revenue account no. 104x8559; and further **AUTHORIZING** the City Manager do all things necessary to execute any agreements necessary for the receipt and administration of these grant resources.

Approval of this Emergency Ordinance will authorize the City Manager to apply for and accept grant resources in an amount up to \$91,162 from the United States Department of Transportation (USDOT) and the Federal Aviation Administration (FAA) through the Coronavirus Aid, Relief, and Economic Security (“CARES”) Act Airport Grant program. These resources would offset reductions in revenue resulting from the COVID-19 pandemic. This Emergency Ordinance also authorizes the Finance Director to deposit the grant resources into General Aviation Fund 104 account no. 104x8559.

Lunken Airport is classified as a General Aviation Airport and is eligible to apply for and receive a grant in an amount up to \$91,162 through the CARES Act Airport Grants Program. Acceptance of this grant would provide resources to offset losses in revenue at Lunken Airport due to COVID-19 and to defray costs associated with operating Lunken Airport.

No additional FTE are associated with these grants; and no local matching resources are required to accept this grant.

This grant is in accordance with the “Connect” goal to “develop an efficient multi-modal transportation system that supports neighborhood livability,” and the strategies to “expand options for non-automotive travel,” and to “plan, design, and implement a safe and sustainable transportation system,” as described on pages 127-138 of Plan Cincinnati (2012).

The reason for the emergency is the immediate need to accept these grant resources within the timeframe established by the USDOT and the FAA.

The Administration recommends passage of this Emergency Ordinance.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment





EMERGENCY

City of Cincinnati

An Ordinance No. _____

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- 2021

AUTHORIZING the City Manager to apply for and accept a grant of up to \$91,162 from the United States Department of Transportation and the Federal Aviation Administration through the recently passed Coronavirus Aid, Relief, and Economic Security Act Airport Grant program for the purpose of offsetting losses in revenue at Lunken Airport due to COVID-19 and a need to defray various costs associated with operating Lunken Airport; **AUTHORIZING** the Director of Finance to receive and deposit the grant funds into General Aviation Fund revenue account no. 104x8559; and further **AUTHORIZING** the City Manager do all things necessary to execute any agreements necessary for the receipt and administration of these grant resources.

WHEREAS, a grant of up to \$91,162 is available from the United States Department of Transportation ("USDOT") and the Federal Aviation Administration ("FAA") through the Coronavirus Aid, Relief, and Economic Security ("CARES") Act Airport Grants program; and

WHEREAS, because Lunken Airport is a General Aviation airport, the Department of Transportation and Engineering is eligible to submit an application to the USDOT and the FAA through the CARES Act Airport Grants program; and

WHEREAS, acceptance of this grant would provide funds necessary to offset losses in revenue at Lunken Airport due to COVID-19 and to defray various costs associated with operating Lunken Airport; and

WHEREAS, no new FTEs are associated with the grant, and the grant does not require local matching funds; and

WHEREAS, the grant is in accordance with the "Connect" goal to "develop an efficient multi-modal transportation system that supports neighborhood livability," and the strategies to "expand options for non-automotive travel," and to "plan, design, and implement a safe and sustainable transportation system," as described on pages 127-138 of Plan Cincinnati (2012); now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the City Manager is hereby authorized to apply for and accept a grant of up to \$91,162 from the United States Department of Transportation and the Federal Aviation Administration through the Coronavirus Aid, Relief, and Economic Security Act Airport Grant

program for the purpose of offsetting losses in revenue at Lunken Airport due to COVID-19 and the need to defray various costs associated with operating Lunken Airport.

Section 2. That the Director of Finance is hereby authorized to receive and deposit the grant funds into the General Aviation Fund revenue account no. 104x8559.

Section 3. That the proper City officials are hereby authorized to do all things necessary and proper to carry out the terms of Sections 1 and 2 herein.

Section 4. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to accept these grant resources within the timeframe established by the USDOT and the FAA.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 10, 2021

202100928

To: Mayor and Members of City Council

From: Paula Boggs Muething, City Manager

Subject: **Emergency Ordinance – Accept and Appropriate Solar Array Project Revenue**

Attached is an Emergency Ordinance captioned:

AUTHORIZING the acceptance and deposit into General Fund Revenue account 050x8579 of \$130,000 from Hecate Energy LLC related to the Cincinnati Solar Array project; **AUTHORIZING** the appropriation of \$108,162 of said revenue to the Law Department's General Fund 050 non-personnel operating budget account no. 050x111x7200 for the purpose of providing funds for legal expenses related to the project; and **AUTHORIZING** the appropriation of \$21,838 of such revenue to the Office of Environment and Sustainability's General Fund 050 non-personnel operating budget account 050x104x7200 for the purpose of providing funding for an energy consultant related to the project.

This Emergency Ordinance authorizes the acceptance of \$130,000 from Hecate Energy LLC related to the Cincinnati Solar Array project which will be deposited into General Fund revenue account no. 050x8579. Furthermore, of the total amount, \$108,162 would be appropriated to the Law Department's General Fund non-personnel operating budget account no. 050x111x7200 for the purpose of providing funds for legal expenses related to the project. The remaining \$21,838 would be appropriated to the Office of Environment and Sustainability's General Fund non-personnel operating budget account no. 050x104x7200 for the purpose of providing funds for an energy consultant related to the project.

The reason for the emergency is the immediate need to accomplish the authorized appropriations so that the funding described herein is in place to provide for essential services related to the Solar Array project.

The Administration recommends passage of this Emergency Ordinance.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachments

EMERGENCY

City of Cincinnati

MSS

BWB

An Ordinance No. _____

- 2021

AUTHORIZING the acceptance and deposit into General Fund Revenue account 050x8579 of \$130,000 from Hecate Energy LLC related to the Cincinnati Solar Array project; **AUTHORIZING** the appropriation of \$108,162 of said revenue to the Law Department's General Fund 050 non-personnel operating budget account no. 050x111x7200 for the purpose of providing funds for legal expenses related to the project; and **AUTHORIZING** the appropriation of \$21,838 of such revenue to the Office of Environment and Sustainability's General Fund 050 non-personnel operating budget account 050x104x7200 for the purpose of providing funding for an energy consultant related to the project.

WHEREAS, the City received \$130,000 from Hecate Energy LLC related to the Cincinnati Solar Array project; and

WHEREAS, \$108,162 is needed for the Law Department's legal expenses related to the Cincinnati Solar Array project; and

WHEREAS, \$21,838 is needed for an energy consultant retained by the Office of Environment & Sustainability related to the project; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That Council hereby authorizes the acceptance of the sum of \$130,000 from Hecate Energy LLC related to the Cincinnati Solar Array project, to be deposited in General Fund Revenue account 050x8579.

Section 2. That the sum of \$108,162 is hereby appropriated to the Law Department's General Fund non-personnel operating budget account no. 050x111x7200 for the purpose of providing funds for legal expenses related to the project.

Section 3. That the sum of \$21,838 is hereby appropriated to the Office of Environment and Sustainability's General Fund non-personnel operating budget account no. 050x104x7200 for the purpose of providing funds for an energy consultant related to the project.

Section 4. That the appropriate City officers are hereby authorized to do all things necessary and proper to implement the provisions of Sections 1 through 3 herein.

Section 5. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to accomplish the authorized appropriations so that the funding described herein is in place to provide for essential services related to the Solar Array project.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 10, 2021

To: Mayor and Members of City Council

202100929

From: Paula Boggs Muething, City Manager

**Subject: Emergency Ordinance – Accept & Appropriate State of Ohio
Department of Natural Resources Capital Funds for Ault Park Wi-Fi**

Attached is an Emergency Ordinance captioned:

AUTHORIZING the establishment of new capital improvement program project account no. 980x203x212008, “Ault Park Wi-Fi – State of Ohio Capital”; and **AUTHORIZING** the City Manager to accept and appropriate State of Ohio Capital Budget resources in the amount of \$46,000 as authorized by Senate Bill 310, which established the State of Ohio’s Capital Budget for Fiscal Years 2021 and 2022, to the newly established capital improvement program project account no. 980x203x212008, “Ault Park Wi-Fi – State of Ohio Capital.”

This Emergency Ordinance will authorize the establishment of new capital improvement program project account no. 980x203x212008, “Ault Park Wi-Fi – State of Ohio Capital.” The Emergency Ordinance also authorizes the City Manager to accept and appropriate \$46,000 of State of Ohio Capital Budget resources authorized by Senate Bill 310 to the newly established capital improvement program project account no. 980x203x212008, “Ault Park Wi-Fi – State of Ohio Capital.”

Installation of public Wi-Fi at Ault Park Pavilion is in accordance with the “Live” goal to “build a robust public life” and strategy to “develop and maintain inviting and engaging public spaces that encourage social interaction between different types of people” as described on pages 147 – 152 of Plan Cincinnati (2012).

The reason for the emergency is the immediate need to accept the funding to avoid disruption in services related to Wi-Fi at Ault Park Pavilion.

cc: Christopher A. Bigham, Assistant City Manager
Karen Alder, Finance Director

Attachment





EMERGENCY

City of Cincinnati

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AWB

An Ordinance No. _____

- 2021

AUTHORIZING the establishment of new capital improvement program project account no. 980x203x212008, "Ault Park Wi-Fi – State of Ohio Capital"; and **AUTHORIZING** the City Manager to accept and appropriate State of Ohio Capital Budget resources in the amount of \$46,000 as authorized by Senate Bill 310, which established the State of Ohio's Capital Budget for Fiscal Years 2021 and 2022, to the newly established capital improvement program project account no. 980x203x212008, "Ault Park Wi-Fi – State of Ohio Capital."

WHEREAS, Section 126.14 of the Ohio Revised Code, "Controlling board to approve release of appropriation for purchase of real estate or other capital project," permits the Director of the State of Ohio's Office of Budget and Management to determine and release appropriations for specific capital projects; and

WHEREAS, funding was awarded for providing public Wi-Fi through the State Capital Budget process, and the City will use the funds to support costs associated with the installation of public Wi-Fi at Ault Park Pavilion; and

WHEREAS, these grant resources do not require any local matching funds. and there are no new FTEs associated with acceptance of these funds; and

WHEREAS, the installation of public Wi-Fi at Ault Park Pavilion is in accordance with the "Live" goal to "build a robust public life" and strategy to "develop and maintain inviting and engaging public spaces that encourage social interaction between different types of people" as described on pages 147-152 of Plan Cincinnati (2012); now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the establishment of new capital improvement program project account no. 980x203x212008, "Ault Park Wi-Fi – State of Ohio Capital," is hereby authorized.

Section 2. That the City Manager is hereby authorized to accept and appropriate State of Ohio Capital Budget resources in the amount of \$46,000 as authorized by Senate Bill 310, which established the State of Ohio's Capital Budget for Fiscal Years 2021-2022, to newly created capital improvement program project account no. 980x203x212008, "Ault Park Wi-Fi – State of Ohio Capital."

Section 3. That the proper City officials are hereby authorized to take all necessary action to carry out the provisions of Sections 1 through 2 herein.

Section 4. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to accept the funding to avoid disruption in services related to Wi-Fi at Ault Park Pavilion.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

March 10, 2021

To: Mayor and Members of City Council

202100930

From: Paula Boggs Muething, City Manager

Subject: **COMMUNITY REINVESTMENT AREA TAX EXEMPTION
AGREEMENT FOR 100 E. McMICKEN LLC**

Attached is an Emergency Ordinance captioned as follows:

APPROVING AND AUTHORIZING the City Manager to execute a *Community Reinvestment Area Tax Exemption Agreement (LEED or Living Building Challenge)* with 100 E. McMicken LLC, an affiliate of Northcrown Property LLC, thereby authorizing a 15-year tax exemption for 100% of the value of improvements made to real property located at 100 E. McMicken Avenue in the Over-The-Rhine neighborhood of Cincinnati, in connection with the remodeling of the existing building into approximately 5,277 square feet of residential rental space consisting of 6 apartments, which remodeling shall be completed in compliance with Leadership in Energy and Environmental Design Silver, Gold or Platinum standards or Living Building Challenge standards, at a total remodeling cost of approximately \$841,650.

BACKGROUND/CURRENT CONDITIONS

This property is a multi-story vacant building in the Over-the-Rhine neighborhood of Cincinnati. It is within the OTR Historic District. The property is within walking distance to Grant Park. The Developer submitted a CRA application to DCED requesting assistance in the redevelopment of this property.

DEVELOPER INFORMATION

100 E. McMicken LLC is an entity affiliate of Northcrown Property LLC, a neighborhood developer, who primarily redevelops vacant buildings in the Over the Rhine neighborhood surrounding Grant Park. In the past, they have stabilized the historic Crown Brewery Building located at 131 E. McMicken and have multiple projects underway north along E. McMicken.

PROJECT DESCRIPTION

Once completed, this project will consist of six 1-bedroom apartment units. Rent will range between \$1,510-\$1,712 per month depending on the square footage of the unit (ranging from 824-934 square feet). In connection with this project, it is estimated that 20 temporary construction jobs are created at a total annual payroll of \$750,000.

This project is consistent with several of Plan Cincinnati's goals including the City's goal to remain competitive economically, and the City's goal to be good stewards of its resources—both built and environmental.

PROPOSED INCENTIVE

The Ordinance provides for a 100% (net 52%), 15-year CRA tax exemption for this property. The exemption applies only to the increase in value of the building attributable to the project improvements. Pursuant to the Commercial CRA policy established by City Council, this project is located within the Streetcar VTICA Area and is therefore subject to analysis based on project underwriting, VTICA contribution, and job creation to determine abatement terms.

The administration is recommending a 15 year CRA term to allow for the project to secure adequate construction and permanent financing using the realized savings. This project will result in a more vibrant commercial district along the McMicken corridor and bring much needed housing to the northern section of Over the Rhine.

SUMMARY		
Forgone Public Benefit if Project Does not Proceed		
CPS PILOT (Forgone New Revenue)		(\$77,364)
VTICA (Forgone New Revenue)		(\$35,166)
Income Tax (Forgone New Revenue)		(\$7,875)
Total Public Benefit Lost		(\$120,405)
Incentive Value		
Annual Net Incentive to Developer		\$8,127
Total Term Incentive to Developer		\$121,908
City's Portion of Property Taxes Forgone		\$30,257
Public Benefit		
CPS PILOT		
Annual CPS Pilot		\$5,158
Total Term CPS PILOT		\$77,364
VTICA		
Annual VTICA		\$2,344
Total Term VTICA		\$35,166
Income Tax (Max)		\$7,875
Total Public Benefit (CPS PILOT/VTICA /Income Tax)		\$120,405
 Total Public Benefit ROI*		 \$0.99
City's ROI*		\$3.98

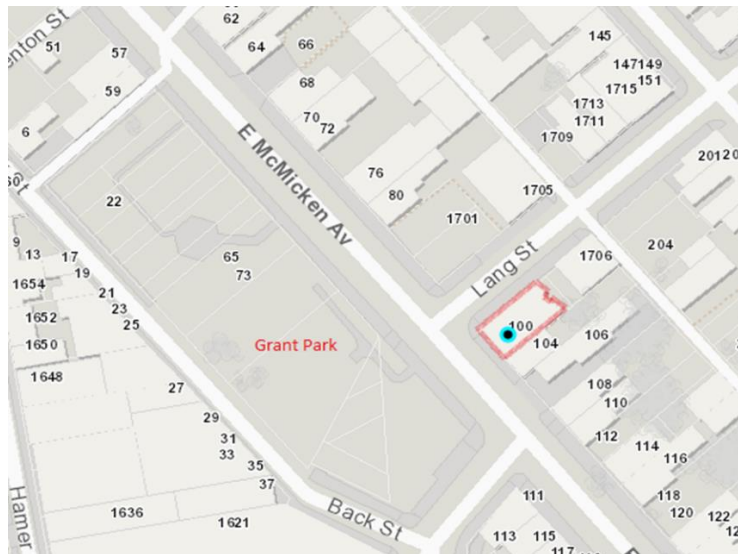
RECOMMENDATION

The Administration recommends approval of this Emergency Ordinance. The emergency clause in the Ordinance is required for the developer to maintain a strict project schedule.

Attachment: A. Property location and photographs

Copy: Markiea L. Carter, Interim Director, Department of Community & Economic Development *MLC*

Attachment A: Location and Photographs



EMERGENCY

City of Cincinnati

DSC

BWB

An Ordinance No. _____ - 2021

APPROVING AND AUTHORIZING the City Manager to execute a *Community Reinvestment Area Tax Exemption Agreement (LEED or Living Building Challenge)* with 100 E. McMicken LLC, an affiliate of Northcrown Property LLC, thereby authorizing a 15-year tax exemption for 100% of the value of improvements made to real property located at 100 E. McMicken Avenue in the Over-the-Rhine neighborhood of Cincinnati, in connection with the remodeling of the existing building into approximately 5,277 square feet of residential rental space consisting of 6 apartments, which remodeling shall be completed in compliance with Leadership in Energy and Environmental Design Silver, Gold or Platinum standards or Living Building Challenge standards, at a total remodeling cost of approximately \$841,650.

WHEREAS, to encourage the development of real property and the acquisition of personal property, the Council of the City of Cincinnati by Ordinance No. 274-2017 passed on September 27, 2017, designated the area within the corporate boundaries of the City of Cincinnati as a "Community Reinvestment Area" pursuant to Ohio Revised Code ("ORC") Sections 3735.65 through 3735.70 (the "Statute"); and

WHEREAS, Ordinance No. 275-2017 passed by this Council on September 27, 2017, as amended by Ordinance No. 339-2018, passed by this Council on October 31, 2018 (as amended, the "Commercial Policy Ordinance"), sets forth certain additional policies, conditions and limitations regarding newly constructed or remodeled commercial and residential structures in the Community Reinvestment Area; and

WHEREAS, to encourage the development of real property in a more environmentally-friendly manner, the Commercial Policy Ordinance incentivizes: (i) construction and remodeling to Leadership in Energy and Environmental Design ("LEED") standards (as defined by the U.S. Green Building Council); and (ii) construction and remodeling that obtains (a) Living Building Challenge Net Zero certification, (b) Living Building Challenge Full certification, or (c) solely in circumstances where the construction or remodeling complies with the requirements of the "Energy Petal" of the Living Building Challenge, Living Building Challenge Petal certification, in each case as defined by the International Living Future Institute and the Cascadia Green Building Council (collectively, "LBC" standards), all pursuant to the Statute; and

WHEREAS, effective October 23, 2017, the Director of Development of the State of Ohio determined that the area within the corporate boundaries of the City of Cincinnati contains the characteristics set forth in the Statute and confirmed such area as a Community Reinvestment Area under the Statute; and

WHEREAS, 100 E. McMicken LLC (the "Company") desires to remodel an existing building located on real property at 100 E. McMicken Avenue located within the corporate

boundaries of the City of Cincinnati into 5,277 square feet of residential rental space consisting of 6 apartments, to LEED or LBC standards (the “Improvements”), provided that the appropriate development incentives are available to support the economic viability of the Improvements; and

WHEREAS, to provide an appropriate development incentive for the Improvements, the City Manager has recommended a *Community Reinvestment Area Tax Exemption Agreement (LEED or Living Building Challenge)*, in substantially the form of Attachment A to this ordinance, to authorize a real property tax exemption for the Improvements in accordance with the Statute; and

WHEREAS, the property is located within the Cincinnati City School District of the City of Cincinnati; and

WHEREAS, the Board of Education of the Cincinnati City School District (the “Board of Education”), pursuant to that certain *Tax Incentive Agreement* effective as of April 28, 2020 (as may be amended, the “Board of Education Agreement”), has approved exemptions of up to 100% of Community Reinvestment Area projects, waived advance notice and the right to review such projects, and waived sharing or allocation of municipal income taxes in connection with such projects; and

WHEREAS, pursuant to the Board of Education Agreement, the Company has entered into (or will enter into) an agreement with the Board of Education requiring the Company to pay the Board of Education amounts equal to 33% of the exempt real property taxes; and

WHEREAS, the Company has represented that it has entered into (or will enter into) a voluntary tax incentive contribution agreement with a third-party organization for amounts equal to 15% of the exempt real property taxes, which funds shall be committed by the third-party organization to pay for streetcar operations that specially benefit the property; and

WHEREAS, the Improvements do not involve relocation of part or all of the Company’s operations from another county or municipal corporation in Ohio or, if there is relocation, notice has been given per ORC Section 3735.673; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That Council approves a *Community Reinvestment Area Tax Exemption Agreement (LEED or Living Building Challenge)* with 100 E. McMicken LLC (the “Agreement”), thereby authorizing a 15-year tax exemption for 100% of the assessed value of improvements to be made to real property located at 100 E. McMicken Avenue in Cincinnati, as calculated by the Hamilton County Auditor, in connection with the remodeling of the existing building into approximately 5,277 square feet of residential rental space consisting of 6 apartments, to be constructed in compliance with Leadership in Energy and Environmental

Design Silver, Gold or Platinum standards (as defined by the U.S. Green Building Council) or Living Building Challenge standards (as described in the Agreement and as determined by the International Living Future Institute and the Cascadia Green Building Council, as applicable) at a total remodeling cost of approximately \$841,650.

Section 2. That Council authorizes the City Manager:

- (i) to execute the Agreement on behalf of the City in substantially the form of Attachment A to this ordinance; and
- (ii) to forward on behalf of Council a copy of the Agreement, within fifteen (15) days after execution, to the Director of the Ohio Development Services Agency in accordance with Ohio Revised Code Section 3735.671(F); and
- (iii) to submit on behalf of Council annual reports on the Agreement to the Director of the Ohio Development Services Agency and to the Board of Education of the Cincinnati City School District of the City of Cincinnati, in accordance with Ohio Revised Code Section 3735.672; and
- (iv) to take all necessary and proper actions to fulfill the City’s obligations under the Agreement.

Section 3. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to allow the remodeling described in this ordinance and the corresponding revitalization of the City of Cincinnati and the benefits to the City's economic welfare to begin at the earliest possible time.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

Attachment A to Ordinance

Community Reinvestment Area Tax Exemption Agreement
(LEED or Living Building Challenge)

SEE ATTACHED

ATTACHMENT A

Community Reinvestment Area Tax Exemption Agreement
(LEED or Living Building Challenge)

This Community Reinvestment Area Tax Exemption Agreement (this "Agreement") is made and entered into as of the Effective Date (as defined on the signature page hereof) by and between the CITY OF CINCINNATI, an Ohio municipal corporation (the "City"), and 100 E. MCMICKEN LLC, an Ohio limited liability company and affiliate of Northcrown Property LLC (the "Company").

Recitals:

- A. The City, through the adoption of Ordinance No. 274-2017 on September 27, 2017, designated the entire City of Cincinnati as a Community Reinvestment Area to encourage the development of real property and the acquisition of personal property in that area, pursuant to Ohio Revised Code Sections 3735.65 through 3735.70 (the "Statute").
- B. In accordance with the Statute, the Ohio Director of Development has forwarded to the City the Director's determination dated October 23, 2017, stating that the findings contained in Ordinance No. 274-2017 are valid and that the entire City is a Community Reinvestment Area under the Statute. By such determination, the Director of Development of the State of Ohio determined that the area within the corporate boundaries of the City of Cincinnati contains the characteristics set forth in the Statute and confirmed such area as a Community Reinvestment Area under the Statute.
- C. The Council of the City of Cincinnati has also passed Ordinance No. 275-2017 as of September 27, 2017, as amended by Ordinance No. 339-2018 passed on October 31, 2018 (the "Commercial Policy Ordinance"), which sets forth certain additional policies, conditions and limitations regarding newly constructed or remodeled commercial and residential structures in the Community Reinvestment Area.
- D. Pursuant to the Commercial Policy Ordinance, a project that is constructed or remodeled to (1) Leadership in Energy and Environmental Design ("LEED") Silver, Gold or Platinum standards (as defined by the U.S. Green Building Council), or (2) receives a (a) Living Building Challenge Net Zero certification, (b) Living Building Challenge Full certification, or (c) solely in circumstances where the construction or remodeling complies with the requirements of the "Energy Petal" of the Living Building Challenge, Living Building Challenge Petal certification, in each case as defined by the International Living Future Institute and the Cascadia Green Building Council (such qualifying remodeling or construction is referred to, collectively, as "LBC" remodeling or construction), may qualify for a longer term and/or greater abatement.
- E. The Company is the sole owner of certain real property within the City, located at 100 E. McMicken Avenue (the "Property"), as further described in Exhibit A (Legal Description of Property) hereto. Notwithstanding the foregoing, the Property shall not include any residential condominiums being developed in connection with the Project (as defined below) (the "Excluded Property"), and the Company acknowledges and agrees that the City's Community Reinvestment Area program entails separate applications by the owner of any residential condominium units included within the Project. For the avoidance of doubt, the Excluded Property shall not be exempt under this Agreement; however, this provision shall not be deemed to prohibit any owners from time to time of any Excluded Property from separately applying for a tax abatement in accordance with applicable law.
- F. The Company has proposed the remodeling of a building located on the Property to LBC standards or LEED Silver, Gold or Platinum standards, as defined by the U.S. Green Building Council, within the boundaries of the City of Cincinnati, as more fully described in Section 1 herein (the "Project"); provided that the appropriate development incentives are available to support the economic viability of the Project.

- G. The Statute provides that if any part of a project is to be used for commercial or industrial purposes, including projects containing four or more dwelling units, in order to be eligible for tax exemption the City and the Company must enter into an agreement pursuant to Ohio Revised Code Section 3735.671 prior to commencement of construction or remodeling.
- H. The City, having appropriate authority under the Statute for this type of project, agrees (as provided herein and subject to all conditions herein) to provide the Company with the tax exemption incentives stated herein, available under the Statute, for development of the Project.
- I. The Company has submitted to the City an application for this tax exemption agreement (the "Application"), a copy of which is attached hereto as Exhibit B, has remitted with the Application (i) the City application fee of One Thousand Two Hundred Fifty Dollars (\$1,250) made payable to the City and (ii) in accordance with Ohio Revised Code Section 3735.672(C), the state application fee of Seven Hundred Fifty Dollars (\$750) made payable to the Ohio Development Services Agency ("ODSA"), to be forwarded to the ODSA with an executed copy of this Agreement.
- J. The Director of the City's Department of Community and Economic Development has recommended approval of the Application on the basis that the Company is qualified by financial responsibility and business experience to create and preserve employment opportunities and improve the economic climate of the City.
- K. The Board of Education of the Cincinnati City School District (the "Board of Education"), pursuant to that certain *Tax Incentive Agreement* effective as of April 28, 2020, has approved exemptions of up to one hundred percent (100%) of Community Reinvestment Area projects, waived advance notice and right to review such projects, and waived sharing or allocation of municipal income taxes in connection with such projects.
- L. The Company has entered into (or will enter into) an agreement with the Board of Education requiring the Company to pay the Board of Education amounts equal to thirty-three percent (33%) of the full amount of exempt real property taxes that would have been paid to Hamilton County if this Agreement were not in effect (the "Board of Education Agreement").
- M. The Company represents and warrants to the City that the Company and its major tenants, if any, do not intend to relocate part or all of their operations to the City from another county or municipal corporation in the State of Ohio (the "State").
- N. The Company represents that within the past five (5) years neither the Company, any related member of the Company, nor any entity to which the Company is a successor has discontinued operations at a project site in the State during the term of a property tax exemption agreement (under Ohio Revised Code Section 3735.671, 5709.62, 5709.63 or 5709.632) applicable to that site, and the Company acknowledges that misrepresentation hereunder will result in voiding of this Agreement.
- O. The Company represents and warrants to the City that the Company is not subject to an Enterprise Zone Agreement with the City of Cincinnati for the Property or the Project.
- P. City Council passed (i) Motion No. 201401368 on November 19, 2014, establishing a tax incentive policy that incentivizes each applicant for a real property tax abatement in the neighborhoods of Downtown and OTR to enter into a voluntary tax incentive contribution agreement with a third-party organization ("VTICA") for an amount equal to a percentage of the real property taxes that would have been payable on the abated property but for the City-authorized tax abatement (the "VTICA Contribution"), which funds shall be committed by a third-party organization to pay for streetcar operations that specially benefit the abated property, and (ii) Motion No. 201501592 on December 16, 2015, which established that the VTICA Contribution to be recognized by the Director of the Department of Community and Economic Development is 15% of the real property taxes that would have been payable on the abated property but for the

City-authorized tax abatement. The Commercial Policy Ordinance confirmed that such motions have not been superseded and remain the will of Council.

- Q. The Company acknowledges that Streetcar operations in the Central Business District and Over-the-Rhine will specially benefit the Project due to (a) the Streetcar's enhancement of public transit options in such neighborhoods and (b) the anticipated increase in property values attributable to public investment in Streetcar infrastructure.
- R. The Company represents and warrants to the City that the Company has entered or will enter into a VTICA and shall pay the VTICA Contribution each year for the full term of the abatement.
- S. This Agreement has been authorized by Ordinance No. _____-2021, passed by Cincinnati City Council on _____, 2021.
- T. In determining to recommend and authorize this Agreement, the Department of Community and Economic Development and City Council, respectively, have acted in material reliance on the Company's representations in the Application and herein regarding the Project including, but not limited to, representations relating to the number of jobs to be created and/or retained by the Company, the Board of Education Agreement, the VTICA Contribution, and the Project's effect in promoting the general welfare of the people of Cincinnati by, for example, encouraging the development of real property located in the Community Reinvestment Area and thereby promoting economic growth and vitality in Cincinnati.

NOW, THEREFORE, pursuant to Ohio Revised Code Section 3735.67(A) and in conformity with the format required under Ohio Revised Code Section 3735.671, in consideration of the mutual covenants contained herein and the benefit to be derived by the parties from the execution hereof, the parties agree as follows:

Section 1. Project. Upon issuance of the necessary zoning and building approvals, the Company agrees to remodel an existing building on the Property to create approximately 5,277 square feet of residential rental space consisting of six apartments (the "Improvements") at an estimated aggregate cost of \$841,650, to commence after the execution of this Agreement and to be completed no later than January 1, 2022; *provided*, however, that the Director of the Department of Community and Economic Development (the "Housing Officer") may, in his discretion, extend such deadline for a period of up to 12 months by written notice if, in the Director's judgment, the Company is proceeding in good faith towards completion. The remodeling shall be in compliance with applicable building code and zoning regulations, as well as complying with LBC standards or LEED Silver, Gold or Platinum standards, as defined by the U.S. Green Building Council. The Company hereby represents that either or both of the following clauses (a) and (b) are true: (a) it has registered with the U.S. Green Building Council with intent to certify compliance with LEED Silver, Gold or Platinum standards, or (b) it has registered with the International Living Future Institute and/or the Cascadia Green Building Council with intent to certify compliance with LBC standards. In addition to the foregoing, (A) the Project shall comply with the Americans with Disabilities Act, together with any and all regulations or other binding directives promulgated pursuant thereto (collectively, the "**ADA**"), and (B) if (i) any building(s) within the Project is subject to the accessibility requirements of the ADA (e.g., by constituting a "place of public accommodation" or another category of structure to which the ADA is applicable) and (ii) such building(s) is not already required to meet the Contractual Minimum Accessibility Requirements (as defined below) pursuant to the ADA, applicable building code requirements, or by any other legal requirement, then the Company shall cause such building(s) to comply with the Contractual Minimum Accessibility Requirements in addition to any requirements pursuant to the ADA and the applicable building code or legal requirement. As used herein, "**Contractual Minimum Accessibility Requirements**" means that a building shall, at a minimum, include (1) at least one point of entry (as used in the ADA), accessible from a public right of way, with respect to which all architectural barriers (as used in the ADA) to entry have been eliminated, and (2) if such accessible point of entry is not a building's primary point of entry, conspicuous signage directing persons to such accessible point of entry.

Section 2. Real Property Tax Exemption. Subject to the satisfaction of the conditions set forth in this Agreement, the City approves exemption from real property taxation, pursuant to and to the fullest extent authorized by the Statute, of 100% of the amount by which the Improvements increase the assessed value of the Property as determined by the Hamilton County Auditor, for a period of 15 years, provided that the Company shall have entered into the Board of Education Agreement. Within 120 days after completion of the Project (unless otherwise extended in writing by the City's Housing Officer), the Company must file the appropriate application for tax exemption with the City's Housing Officer. The Company is solely responsible to take this action. Upon receipt of the application for tax exemption, the City will proceed with the exemption authorized by this Agreement. In accordance with Ohio Revised Code Section 3735.67, the exemption is conditioned on verification by the Housing Officer of (A) the completion of remodeling, (B) the cost of **Error! Reference source not found.** modeling, (C) the facts asserted in the application for exemption, (D) compliance with LBC standards or LEED Silver, Gold or Platinum standards, as defined by the U.S. Green Building Council, and (E) if a remodeled structure is a structure of historical or architectural significance as designated by the City, state or federal government, that the appropriateness of the remodeling has been certified in writing by the appropriate agency. If the required verification is made, the Housing Officer will forward the exemption application to the Hamilton County Auditor with the necessary certification by the Housing Officer. Subject to the conditions set forth in this Agreement, the exemption commences the first tax year for which the Improvements would first be taxable were the Improvements not exempted from taxation. The dates provided in this paragraph refer to tax years in which the subject property is assessed, as opposed to years in which taxes are billed. No exemption shall commence after tax year 2022 nor extend beyond the earlier of (i) tax year 2036 or (ii) the end of the 15th year of exemption.

Section 3. Use; Maintenance; Inspections. The Company shall use the Property solely for the purposes described in Section 1 hereof and shall properly maintain and repair the Property throughout the period of tax exemption authorized herein. The Company authorizes the Housing Officer, or the Housing Officer's designees, to enter upon the Property as reasonably required to perform property inspections in accordance with Ohio Revised Code Section 3735.68.

Section 4. Compliance with Board of Education Agreement. As a condition of the tax exemption authorized under this Agreement, the Company agrees to enter into and comply with its obligation under the Board of Education Agreement.

Section 5. Duty of Company to Pay Taxes. As required by Ohio Revised Code Section 3735.671(C)(2), the Company shall pay such real property taxes as are not exempted under this Agreement and are charged against the Property and shall file all tax reports and returns as required by law. If the Company fails to pay such taxes or file such returns and reports, exemptions from taxation granted or authorized under this Agreement are rescinded beginning with the year for which such taxes are charged or such reports or returns are required to be filed and continuing thereafter.

Section 6. Company Certifications Regarding Non-Delinquency of Tax Obligations. As required by Ohio Revised Code Section 3735.671(C)(3), the Company certifies that at the time this Agreement is executed, the Company does not owe any delinquent real or tangible personal property taxes to any taxing authority of the State, and does not owe delinquent taxes for which the Company is liable under Ohio Revised Code Chapters 5733, 5735, 5739, 5741, 5743, 5747 or 5753, or if such delinquent taxes are owed, the Company currently is paying the delinquent taxes pursuant to an undertaking enforceable by the State or an agent or instrumentality thereof, has filed a petition in bankruptcy under 101, et seq., or such a petition has been filed against the Company. For the purposes of this certification, delinquent taxes are taxes that remain unpaid on the latest day prescribed for payment without penalty under the chapter of the Ohio Revised Code governing payment of those taxes.

Section 7. Covenant of Satisfaction of Tax and Other Obligations. In accordance with Ohio Revised Code Section 9.66, (A) the Company affirmatively covenants that it does not owe: (i) any delinquent taxes to the State or to a political subdivision of the State; (ii) any moneys to the State or a State agency for the administration or enforcement of any environmental laws of the State; or (iii) any other moneys to the State, a State agency or a political subdivision of the State that are past due,

regardless of whether the amounts owed are being contested in a court of law or not; (B) the Company authorizes the City and/or the State to inspect the personal financial statements of the Company, including tax records and other similar information not ordinarily open to public inspection; and (C) the Company authorizes the Ohio Environmental Protection Agency and the Ohio Department of Taxation to release information to the City and or other State departments in connection with the above statements. As provided by statute, a knowingly false statement under this section may be prosecuted as a first degree misdemeanor under Ohio Revised Code Section 2921.13, may render the Company ineligible for any future economic development assistance from the State or any political subdivision of the State, and will result in the City requiring the Company's repayment of any assistance provided by the City in connection with the Project.

Section 8. City Cooperation. As required by Ohio Revised Code Section 3735.671(C)(4), upon specific request from the Company, the City shall perform such acts as are reasonably necessary or appropriate to effect, claim, reserve and maintain exemptions from taxation granted under this Agreement including, without limitation, joining in the execution of all documentation and providing any necessary certificates required in connection with such exemptions.

Section 9. Continuation of Exemptions. As provided in Ohio Revised Code Section 3735.671(C)(5), if for any reason the City revokes the designation of the City of Cincinnati as a Community Reinvestment Area, entitlements granted under this Agreement shall continue for the number of years specified under this Agreement, unless the Company materially fails to fulfill its obligations under this Agreement and the City terminates or modifies the exemptions from taxation authorized pursuant to this Agreement.

Section 10. City Not Liable. The Company acknowledges that the exemption authorized in this Agreement is subject to approval and implementation by the appropriate state and/or county taxing authorities. The Company acknowledges that the City does not give any guarantee or assurance that the exemption approved in this Agreement will be so approved, and the Company agrees that in no event shall the Company seek to hold the City liable in any way in the event such exemption is not granted or implemented.

Section 11. Small Business Enterprise Program.¹

A. Compliance with Small Business Enterprise Program. The policy of the City is that a fair share of contracts be awarded to Small Business Enterprises (as such term is defined in Cincinnati Municipal Code ("CMC") Section 323-1-S, "SBEs"). Pursuant to CMC Section 323-11, the City's annual goal for SBE participation shall be thirty percent (30%) of the City's total dollars spent for construction (as such term is defined in CMC Section 323-1-C4), supplies (as such term is defined in CMC Section 323-1-S5), services (as such term is defined in CMC Section 323-1-S) and professional services (as such term is defined in CMC Section 323-1-P2). Accordingly, the Company shall use its best efforts and take affirmative steps to achieve the City's goal of voluntarily meeting thirty percent (30%) SBE participation. A list of SBEs may be obtained from the City's Department of Economic Inclusion. The Company may refer interested firms to the City's Department of Economic Inclusion for review and possible certification as an SBE. The Company shall comply with the provisions of CMC Chapter 323, including without limitation taking at least the following affirmative steps:

(i) Including qualified SBEs on solicitation lists.

(ii) Assuring that SBEs are solicited whenever they are potential sources.

The Company must advertise, on at least two separate occasions, both in local minority publications and in other local newspapers of general circulation, invitations to SBEs to provide services, to supply materials, or to bid on construction contracts, as applicable.

(iii) When economically feasible, dividing total requirements into small tasks or quantities so as to permit maximum SBE participation.

¹ Note: this section will be revised prior to execution due to programmatic changes being implemented by the Department of Community and Economic Development as a result of recent legislation passed by City Council.

(iv) If any subcontracts are to be let, the Company shall require the prime contractor (if different from the Company) to take the above affirmative steps.

(v) Prior to the commencement of work under any subcontracts, the Company shall provide to the City a list of such subcontractors, including information as to the dollar amount of the subcontracts and such other information as may be requested by the City. The Company shall update the report monthly.

(vi) The Company shall periodically document its best efforts and affirmative steps to meet the above SBE participation goals by submitting such information as may be requested from time to time by the City.

B. Remedies for Noncompliance with Small Business Enterprise Program. Failure of the Company or its contractors and subcontractors to take the affirmative steps specified above, to provide fair and equal opportunity to SBEs, or to provide technical assistance to SBEs as may be necessary to reach SBE participation as set out in CMC Chapter 323 may be construed by the City as failure of the Company to use its best efforts, and, in addition to other remedies under this Agreement, may be a cause for the City to file suit in Common Pleas Court to enforce specific performance of the terms of this Section. The provisions of CMC Section 323-99 are hereby incorporated by reference into this Agreement.

Section 12. Jobs. The Company represents that, as of the date of the execution of this Agreement, the Company has no existing employment at the Property or in the State.

Section 13. Job Creation and Retention.

A. Jobs to be Created by Company. The Company agrees to use its best efforts to create 20 full-time temporary construction jobs at the Property in connection with the Project. In the case of the construction jobs, the job creation and retention period shall be concurrent with remodeling,

B. Company's Estimated Payroll Increase. The Company's increase in the number of employees will result in approximately \$750,000 of additional annual payroll prior to the completion of the Project with respect to the full-time temporary construction jobs.

C. Community Reinvestment Area Employment. The Company shall (i) adopt hiring practices to ensure that at least twenty-five percent (25%) of the new employees shall be residents of the City of Cincinnati and (ii) give preference to residents of the City relative to residents of the State who do not reside in the City when hiring new employees under this Agreement.

D. Posting Available Employment Opportunities. To the extent allowable by law, the Company shall use its best efforts to post available employment opportunities within the Company's organization or the organization of any subcontractor working with the Company with the Ohio Means Jobs Center, 1916 Central Parkway, Cincinnati, Ohio 45214-2305, through its Employer Services Unit Manager at 513-746-7200.

Section 14. Equal Employment Opportunity. This Agreement is subject to the City's Equal Employment Opportunity Program contained in CMC Chapter 325. The Equal Employment Opportunity Clause in CMC Section 325-9 is incorporated by reference in this Agreement. The term "Company" is substituted for "Contractor" throughout CMC Section 325-9 in the context of this Agreement.

Section 15. Compliance with Immigration and Nationality Act. In the performance of its obligations under this Agreement, the Company agrees to comply with the provisions of the Immigration and Nationality Act codified at 8 U.S.C. §§ 1324a(a)(1)(A) and (a)(2). Any noncompliance with such provisions shall be solely determined by either the federal agencies authorized to enforce the Immigration and Nationality Act or the U.S. Attorney General, in accordance with Executive Order 12989 of the U.S.

President dated February 13, 1996, and as amended by Executive Order 13465 of the U.S. President dated June 6, 2008.

Section 16. Default. As provided in Ohio Revised Code Section 3735.671(C)(6), if the Company materially fails to fulfill its obligations under this Agreement, or if the City determines that the certification as to delinquent taxes required by this Agreement (Section 6 hereof) or the covenant of satisfaction of tax and other obligations (Section 7 hereof) is fraudulent, the City may terminate or modify the exemptions from taxation granted or authorized under this Agreement and may require the repayment by the Company of the amount of taxes that would have been payable had the Improvements not been exempted from taxation pursuant to this Agreement. A modification of exemption may be in the form of reduction in the number of years that eligible property is exempt and/or a reduction in the exemption percentage. The City shall provide written notice to the Company prior to finding the Company in default under this section. The notice shall provide the Company with not less than thirty (30) days to cure the default prior to City termination or modification of the exemptions under this Agreement. The City may extend the cure period as reasonably necessary under the circumstances. In the event of such termination or modification, the City is authorized to so notify the appropriate taxing authorities in order to effect the termination or modification. If repayment of previously exempt taxes is required by the City under this Section, such amount shall be paid as directed by the City within thirty (30) days of written demand. The City may secure repayment of such taxes by a lien on the Property in the amount required to be repaid. Such a lien shall attach, and may be perfected, collected, and enforced, in the same manner as a mortgage lien on real property, and shall otherwise have the same force and effect as a mortgage lien on real property. Amounts due and not paid when due under this Section 16 shall bear interest at the rate specified in Ohio Revised Code Section 1343.03(A) (as in effect on the date of the City's payment demand).

Section 17. Annual Review and Report. As required by Ohio Revised Code Sections 3735.671(C)(7) and 5709.85, the Company shall provide to the City's Tax Incentive Review Council (or to the City Manager if so requested by the City) any information reasonably required by the Council or the City Manager to evaluate the Company's compliance with this Agreement, including returns filed pursuant to Ohio Revised Code Section 5711.02 if requested by the Council or City Manager. The performance of the Company's obligations stated in this Agreement shall be subject to annual review by the City's Tax Incentive Review Council (the "Annual Review and Report"). The Company shall submit information for the Annual Review and Report to the City no later than March 1 of each year.

Section 18. Revocation.

A. Generally. Pursuant to Ohio Revised Code Section 3735.68, the housing officer shall make annual inspections of the properties within the community reinvestment area upon which are located structures or remodeling for which an exemption has been granted under Ohio Revised Code Section 3735.67. If the housing officer finds that the property has not been properly maintained or repaired due to the neglect of the Company, the housing officer may revoke the exemption at any time after the first year of exemption. If the Company has materially failed to fulfill its obligations under this Agreement, or if the owner is determined to have violated division (E) of that section (see Section 18(B) of this Agreement), City Council, subject to the terms of the agreement, may revoke the exemption at any time after the first year of exemption. The housing officer or City Council shall notify the county auditor and the Company that the tax exemption no longer applies. If the housing officer or legislative authority revokes a tax exemption, the housing officer shall send a report of the revocation to the community reinvestment area housing council and to the tax incentive review council established pursuant to section 3735.69 or 5709.85 of the Revised Code, containing a statement of the findings as to the maintenance and repair of the property, failure to fulfill obligations under the written agreement, or violation of division (E) of Ohio Revised Code Section 3735.671, and the reason for revoking the exemption.

B. Prior Statutory Violations. The Company represents and warrants to the City that it is not prohibited by Ohio Revised Code Section 3735.671(E) from entering into this Agreement. As

required by Ohio Revised Code Section 3735.671(C)(9), exemptions from taxation granted or authorized under this Agreement shall be revoked if it is determined that the Company, any successor to the Company or any related member (as those terms are defined in division (E) of Ohio Revised Code Section 3735.671) has violated the prohibition against entering into this Agreement under division (E) of Ohio Revised Code Section 3735.671 or under Ohio Revised Code Sections 5709.62 or 5709.63 prior to the time prescribed by that division or either of those sections.

Section 19. False Statements; Penalties; Material Representations.

A. Generally. As required in connection with Ohio Revised Code Section 9.66(C), the Company affirmatively covenants that it has made no false statements to the State or the City in the process of obtaining approval for this Agreement. If any representative of the Company has knowingly made a false statement to the State or the City to obtain approval for this Agreement, or if the Company fails to provide any information expressly required under the Application, the Company shall be required to immediately return all benefits received under this Agreement (by payment of the amount of taxes exempted hereunder, paid as directed by the City within thirty (30) days of written demand) and the Company shall be ineligible for any future economic development assistance from the State, any State agency or any political subdivision of the State pursuant to Ohio Revised Code Section 9.66(C)(1). Amounts due and not paid under this Section 19 shall bear interest at the rate of twelve percent (12%) per year. Any person who provides a false statement to secure economic development assistance (as defined in Ohio Revised Code Section 9.66) may be guilty of falsification, a misdemeanor of the first degree, pursuant to Ohio Revised Code Section 2921.13(F)(1), which is punishable by fine of not more than One Thousand Dollars (\$1,000) and/or a term of imprisonment of not more than six (6) months.

B. Material Representations – Board of Education Agreement and VTICA. The Parties acknowledge and agree that a material failure by the Company to comply with its representations concerning the Board of Education Agreement or VTICA Contribution shall constitute an event of default for purposes of Section 16 (Default) and the basis for revocation under Section 18 (Revocation). Subject to the terms of the VTICA, if the VTICA is unenforceable for reasons of infeasibility or otherwise, the Company shall enter into alternative arrangements providing for the economic equivalent of the VTICA Contribution in order to support streetcar operations. Such arrangements may include, but are not limited to, providing for the economic equivalent of the VTICA Contribution through formation of a special improvement district. For purposes of this Section 19.B, alternative arrangements must result in services substantially similar to those that would have been supported through the VTICA and at a value that is the economic equivalent of the VTICA Contribution, which value shall not be required to exceed the VTICA Contribution amount that would have been payable by the Company. Any determination of infeasibility or mechanism for providing alternative arrangements is subject to approval by the City at its sole discretion. Nothing in this Section 19.B shall operate to limit the City's enforcement authority under this Agreement including, without limitation, Section 16, Section 18, and Section 19.A.

Section 20. Conflict of Interest. The Company covenants that, to the Company's knowledge, no employee of the City has any personal interest, direct or indirect, in any matters pertaining to the Project, and the Company agrees to take appropriate steps to prevent any employee of the City from obtaining any such interest throughout the term of this Agreement.

Section 21. Annual Fee. As authorized by Ohio Revised Code Section 3735.671(D), the Company shall pay an annual fee of Five Hundred Dollars (\$500) or one percent (1%) of the annual taxes exempted under this Agreement, whichever is greater, but not to exceed Two Thousand, Five Hundred Dollars (\$2,500) per annum. This fee is due with submission of the information for Annual Review and Report by March 1 of each year.

Section 22. Discontinued Operations. As provided in Ohio Revised Code Section

3735.671(E), if, prior to the expiration of the term of this Agreement, the Company discontinues operations at the Project so that the Property is no longer being used for the purposes described in Section 1 hereof, then the Company, its successors, and any related member shall not enter into an agreement under Ohio Revised Code Sections 3735.671, 5709.62, 5709.63 or 5709.632, and no legislative authority shall enter into such an agreement with the Company, its successors or any related member prior to the expiration of five (5) years after the discontinuation of operations. As used in this Section 22, "successors" and "related member" shall have the meanings set forth in Ohio Revised Code Section 3735.671(E).

Section 23. Notices. Unless otherwise specified herein, each party shall address written notices, demands and communications in connection with this Agreement to the other party as follows (or to such other address as is communicated in accordance with this Section):

To the City:

City of Cincinnati
Attention: Director of the Department of Community and Economic Development
Centennial Plaza Two, Suite 700
805 Central Avenue
Cincinnati, Ohio 45202

To the Company:

100 E. McMicken LLC
131 E. McMicken Avenue
Cincinnati, Ohio 45202
Attn: Jeremy Moore, Chief Operating Officer

If the Company sends a notice to the City alleging that the City is in default under this Agreement, the Company shall simultaneously send a copy of such notice to: City Solicitor, City of Cincinnati, 801 Plum Street, Room 214, Cincinnati, Ohio 45202.

Section 24. Acknowledgment of City Participation. The Company agrees to acknowledge the support of the City on construction signs, project and exhibition signage, and any publicity such as that appearing on the internet, television, cable television, radio, or in the press or any other printed media. In identifying the City as a Project partner, the Company shall use either the phrase "Project Assistance by the City of Cincinnati" or a City of Cincinnati logotype or other form of acknowledgement that has been approved in advance in writing by the City.

Section 25. Entire Agreement. This Agreement and the Exhibits attached hereto constitute the entire agreement between the City and the Company with respect to the subject matter herein, superseding any prior or contemporaneous agreement with respect thereto.

Section 26. Governing Law. This Agreement is entered into and is to be performed in the State. The City and the Company agree that the law of the State of Ohio shall govern the rights, obligations, duties and liabilities of the parties to this Agreement and shall govern the interpretation of this Agreement.

Section 27. Waiver. The City's waiver of any breach by the Company of any provision of this Agreement shall not constitute or operate as a waiver by the City of any other breach of such provision or of any other provisions, nor shall any failure or delay by the City to enforce any provision hereof operate as a waiver of such provision or of any other provision.

Section 28. Severability. This Agreement shall be severable; if any part or parts of this Agreement shall for any reason be held invalid or unenforceable by a court of competent jurisdiction, all remaining parts shall remain binding and in full force and effect.

Section 29. Amendment. This Agreement may be modified or amended only by a written agreement duly executed by the parties hereto or their representatives.

Section 30. Non-Assignment. As required by Ohio Revised Code Section 3735.671(C)(8), this Agreement is not transferable or assignable by the Company without the express written approval of the City Manager of the City. If the Company has entered into a Board of Education Agreement or VTICA in connection with the Property, the City shall not approve the assignment of this Agreement unless the assignee has assumed the Company's remaining obligations under the Board of Education Agreement and VTICA, as applicable. Failure to assign or otherwise perform the Company's obligations under the Board of Education Agreement or VTICA upon transfer of the Property during the term of the tax abatement authorized by this Agreement shall be basis for revocation of the tax exemption under Section 18.

Section 31. Recording. At its election, the City may record this Agreement at the City's expense in the Hamilton County Recorder's Office.

Section 32. Legislative Action Required. As provided in Ohio Revised Code Section 3735.671(C)(10), the Company and the City acknowledge that this Agreement must be approved by formal action of the City Council of the City as a condition for this Agreement to take effect. Notwithstanding anything to the contrary herein, this Agreement shall take effect after the later of the date of such approval or the final date of execution of this Agreement by all parties.

Section 33. Additional Representations and Warranties of Company. The Company represents and warrants that (a) it is duly organized and existing and it has full power and authority to take, and has taken, all action necessary to execute and deliver this Agreement and any other documents required or permitted to be executed or delivered by it in connection with this Agreement, and to fulfill its obligations hereunder; (b) no notices to, or consents, authorizations or approvals of, any person are required (other than any already given or obtained) for its due execution, delivery and performance of this Agreement; and (c) this Agreement has been duly executed and delivered by it and constitutes the legal, valid and binding obligation of the Company.

Section 34. Certification as to Non-Debarment. The Company represents that neither it nor any of its principals is presently debarred by any federal, state, or local government agency. In completing the Project, the Company shall not solicit bids from any contractors or subcontractors who are identified as being debarred by any federal, state, or local government agency. If the Company or any of its principals becomes debarred by any federal, state, or local government agency during the term of this Agreement, the company shall be considered in default under this Agreement.

Section 35. Appeals. Pursuant to Ohio Revised Code Section 3735.70, a person aggrieved under the Statute or this Agreement may appeal to the community reinvestment area housing council, which shall have the authority to overrule any decision of a housing officer. Appeals may be taken from a decision of the council to the court of common pleas of the county where the area is located.

Section 36. Wage Enforcement.

(i) Applicability. Council passed Ordinance No. 22-2016 on February 3, 2016, which ordained Chapter 326 (Wage Enforcement) of the Cincinnati Municipal Code (the "Wage Enforcement Chapter"). The Wage Enforcement Chapter was then amended by Ordinance No. 96-2017, passed May 17, 2017. As amended, the Wage Enforcement Chapter imposes certain requirements upon persons entering into agreements with the City whereby the City provides an incentive or benefit that is projected to exceed \$25,000, as described more particularly in the Wage Enforcement Chapter. Cincinnati Municipal Code Section 326-5 requires that the language below be included in contracts subject to the Wage Enforcement Chapter.

(ii) Required Contractual Language. Capitalized terms used, but not defined, in this clause (ii) have the meanings ascribed thereto in the Wage Enforcement Chapter.

(a) This contract is or may be subject to the Wage Enforcement provisions of the Cincinnati Municipal Code. These provisions require that any Person who has an Agreement with the city or with a Contractor or Subcontractor of that Person shall report all Complaints or Adverse Determinations of Wage Theft and Payroll Fraud (as each of those terms is defined in Chapter 326 of the Cincinnati Municipal Code) against the Contractor or Subcontractors to the Department of Economic Inclusion within 30 days of notification of the Complaint or Adverse Determination.

(b) If this contract is subject to the Wage Enforcement provisions of Chapter 326 of the Cincinnati Municipal Code, the Person entering into this contract is required to include provisions in solicitations and contracts regarding a Development Site that all employers, Contractors or Subcontractors performing or proposing to perform work on a Development Site provide an initial sworn and notarized "Affidavit Regarding Wage Theft and Payroll Fraud" on a form prescribed by the city manager or his or her designee and, within 30 days of an Adverse Determination or Complaint of Wage Theft or Payroll Fraud, shall provide an "Amended Affidavit Regarding Wage Theft and Payroll Fraud" on a form prescribed by the city manager or his or her designee.

(c) If this contract is subject to the Wage Enforcement provisions of Chapter 326 of the Cincinnati Municipal Code, the Person entering into this contract is required to authorize, and does hereby specifically authorize, any local, state or federal agency, court, administrative body or other entity investigating a complaint of Wage Theft or Payroll Fraud against the Person (collectively "investigative bodies") to release to the City's Department of Economic Inclusion any and all evidence, findings, complaints and determinations associated with the allegations of Wage Theft or Payroll Fraud upon the City's request and further authorizes such investigative bodies to keep the City advised regarding the status of the investigation and ultimate determination. If the investigative bodies require the Person to provide additional authorization on a prescribed form or in another manner, the Person shall be required to provide such additional authorization within 14 days of a request by the City.

(d) If this Agreement is subject to the Wage Enforcement provisions of Chapter 326 of the Cincinnati Municipal Code, the Person entering into this Agreement shall include in its contracts with all Contractors language that requires the Contractors to provide the authorizations set forth in subsection (c) above and that further requires each Contractor to include in its contracts with Subcontractors those same obligations for each Subcontractor and each lower tier subcontractor.

(e) If this Agreement is subject to the Wage Enforcement provisions of Chapter 326 of the Cincinnati Municipal Code, the Person entering into this Agreement shall post a conspicuous notice on the Development Site throughout the entire period work is being performed pursuant to the Agreement indicating that the work being performed is subject to Cincinnati Municipal Code Chapter 326, Wage Enforcement, as administered by the City of Cincinnati Department of Economic Inclusion. Such notice shall include contact information for the Department of Economic Inclusion as provided by the department.

(f) Under the Wage Enforcement provisions, the City shall have the authority, under appropriate circumstances, to terminate this contract or to reduce the incentives or subsidies to be provided under this contract and to seek other remedies, including debarment.

Section 37. Legal Requirements. In completing and operating the Project, the Company shall comply with all applicable statutes, ordinances, regulations, and rules of the government of the United States, State of Ohio, County of Hamilton, and City of Cincinnati.

Section 38. Counterparts and Electronic Signatures. This Agreement may be executed by the parties hereto in two or more counterparts and each executed counterpart shall be considered an original but all of which together shall constitute one and the same instrument. This Agreement may be executed

and delivered by electronic signature; any original signatures that are initially delivered electronically shall be physically delivered as soon as reasonably possible.

Remainder of this page intentionally left blank. Signature page follows.

Executed by the parties on the dates indicated below, effective as of the later of such dates (the "Effective Date").

CITY OF CINCINNATI,
an Ohio municipal corporation

**Error! Reference source not found.,
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By: _____
Paula Boggs Muething, City Manager

Date: _____, 2021

By: _____

Printed Name: _____

Title: _____

Date: _____, 2021

Authorized by resolution dated _____

Approved as to Form:

Assistant City Solicitor

Certified Date: _____

Fund/Code: _____

Amount: _____

By: _____
Karen Alder, City Finance Director

Exhibit A to CRA Agreement

LEGAL DESCRIPTION OF PROPERTY

Property Address: 100 E. McMicken Avenue, Cincinnati, Ohio 45202

Auditor's Parcel No. 094-0007-0252-00

Situated in the City of Cincinnati, Hamilton County, State of Ohio, and being part of Lot 1 of Findlay & Ludlow Subdivision as recorded in Deed Book 49, Page 420 of the Hamilton County, Ohio Recorder's Office and being more particularly described as follows:

Beginning at the intersection of the north line of McMicken Avenue and the east line of Lang Street, said point being witnessed by a cross notch set bearing S. 47° 27' 00" W., a distance of 5.00 feet thence in and along said east line of said Lang Street N. 47° 27' 00" E., a distance of 70.23 feet to a point, said point being witnessed by a cross notch set bearing N. 42° 46' 00" W., a distance of 5.00 feet; thence leaving said east line of said Lang Street S. 42° 46' 00" E., a distance of 33.00 feet to a point; thence S. 47° 27' 00" W. a distance of 9.92 feet to a point; thence S. 42° 35' 11" E., a distance of 0.21 feet to a point; thence S. 47° 24' 49" W, a distance of 60.28 feet to a point; thence N. 42° 35' 11" W. a distance of 0.25 feet to a point; thence S. 47° 27' 00" W., a distance of 0.18 feet to a point; said point being in said north line of said McMicken Avenue, said point being witnessed by a cross notch set bearing S. 47° 27' 00" W. a distance of 5.00 feet; thence in and along said north line of said McMicken Avenue N. 42° 30' 30" W., a distance of 33.00 feet to the real point of beginning for this description, containing 0.0536 acres, more or less.

Exhibit B to CRA Agreement

APPLICATION FOR TAX EXEMPTION

TO BE ATTACHED TO EXECUTION VERSION

March 10, 2021

To: Mayor and Members of City Council

202100931

From: Paula Boggs Muething, City Manager

Subject: **LEGISLATIVE RESOLUTION – WALWORTH DEVELOPMENT**

Attached is an Emergency Resolution captioned as follows:

DECLARING by legislative resolution the necessity of improving Walworth Avenue by constructing an extension thereto, together with curbs, street lighting, streetscaping, sidewalks, water mains, and storm and sanitary sewer; necessary remediation of soil in the related right-of-way; installing retaining walls; acquiring land necessary to construct and install the foregoing; and acquiring, constructing, and installing other related improvements, and of assessing certain lots adjacent to Walworth Avenue, as extended, for costs of those improvements, in accordance with Chapter 727 of the Ohio Revised Code.

BACKGROUND/CURRENT CONDITIONS

The project site is located at 3100 Walworth Avenue, Cincinnati in the East End neighborhood of Cincinnati. In total, the site includes 7.1410 acres of vacant, unimproved land. The City previously approved the sale of approximately 1.6 acres of City-owned property that was managed by the City's Parks Department for construction of the public infrastructure (Ordinance 60-2020). The whole assembled site comprises the Homearama Development proposed by East End Developers LLC.

DEVELOPER INFORMATION

East End Developers, LLC, an affiliate of Meierjohan Building Group – led by Thomas J. Ackermann and Ralph Meierjohan, will be the developing entity of the site. T.J. Ackermann and Ralph Meierjohan have each been developing and building communities in the Greater Cincinnati area for the past 30 years. Together they have a large wealth of knowledge and experience in the field of real estate development, construction, and project management. Upon completion of public improvements and site preparation, third party home builders will purchase parcels for single-family home development from East End Developers, LLC.

PROJECT DESCRIPTION

Developer will remediate a contaminated brownfield site at 3101 Walworth Avenue in the East End neighborhood and prepare the site for the construction of 39 single family homes. This will be the site of Homearama @ Walworth Junction in partnership with the Greater Cincinnati Home Builders Association. Developer will cause construction of the 39 single family homes; each home will consist of approximately 3,000 square feet of living space and range in sales price from \$800,000 to \$1,600,000. In addition, the Developer will be seeking LEED Neighborhood Development – a first in the City of Cincinnati – requiring all homes built in the subdivision to meet LEED Gold standards.

Developer will also construct several public infrastructure improvements. This includes sidewalks, extension of the Walworth Avenue Street, stormwater, sewer, public signage, remediation of certain environmental conditions and other related improvements to the Walworth Junction housing sub-division.

SPECIAL ASSESSMENT

This Resolution is being submitted in response to a petition received from owners comprising 33 lots within the Homearama site to assess the costs of the public infrastructure against the lots. The assessment will assess an estimated \$3,073,661.83 of eligible public infrastructure costs and associated financing costs over a 15-year period. The estimated per lot assessment is \$10,000 per year per lot. The remaining 6 lots have prefunded their associated public infrastructure costs.

Upon approval of this Resolution, subsequent legislation will be submitted to City Council for consideration after the two-week notice period required under the Ohio Revised Code for the Legislative Resolution. This additional legislation will include public infrastructure financing legislation for both the Special Assessment and Project TIF in cooperation with the Port Authority.

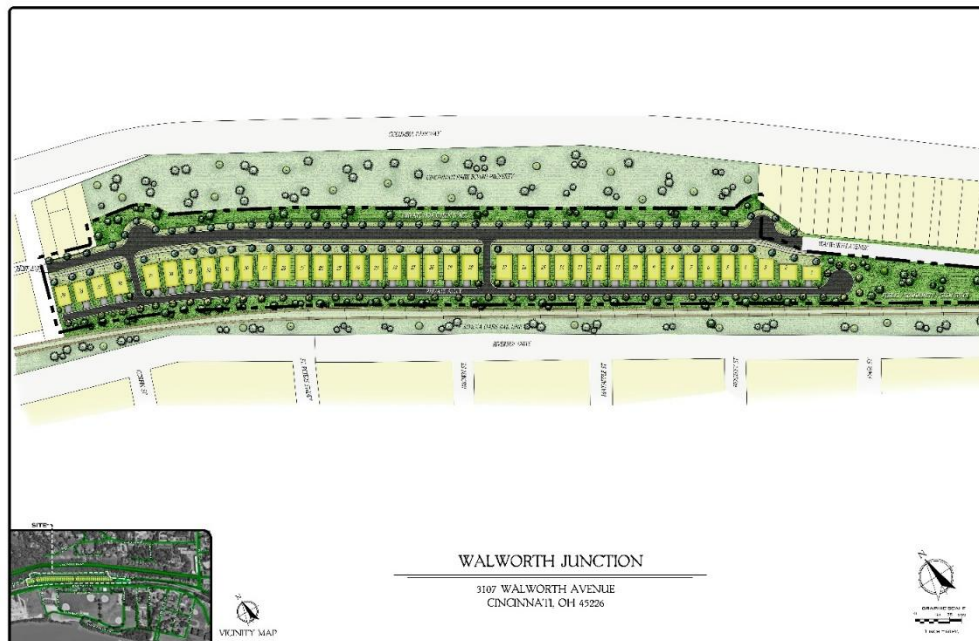
RECOMMENDATION

The Administration recommends approval of this Emergency Resolution. The reason for the emergency clause is to facilitate the completion of the project and construction of all of the homes at the earliest possible time.

Attachment: A. Proposed Site Plan

Copy: Markiea L. Carter, Interim Director, Department of Community & Economic Development MLC

Attachment A: Site Plan



EMERGENCY

Legislative Resolution

BWB

RESOLUTION NO. _____ - 2021

DECLARING by legislative resolution the necessity of improving Walworth Avenue by constructing an extension thereto, together with curbs, street lighting, streetscaping, sidewalks, water mains, and storm and sanitary sewer; necessary remediation of soil in the related right-of-way; installing retaining walls; acquiring land necessary to construct and install the foregoing; and acquiring, constructing, and installing other related improvements, and of assessing certain lots adjacent to Walworth Avenue, as extended, for costs of those improvements, in accordance with Chapter 727 of the Ohio Revised Code.

WHEREAS, the owners of one hundred percent (100%) of the lands to be assessed for the construction of an extension of Walworth Avenue, together with curbs, street lighting, streetscaping, sidewalks, water mains, and storm and sanitary sewer; necessary remediation of soil in the related right-of-way; installation of retaining walls; acquisition of land necessary to construct and install the foregoing; and acquisition, construction, and installation of other related improvements (collectively, the "Public Infrastructure Improvements"), have executed and filed with this Council a *Petition* dated as of February 17, 2021 (the "Petition"), proposing the necessity of special assessments to pay the costs of the Public Infrastructure Improvements; and

WHEREAS, the plans, specifications, profiles, and estimates of cost related to the Public Infrastructure Improvements are on file with the Clerk of Council; and

WHEREAS, (i) it is necessary and desirable to undertake and carry out the Public Infrastructure Improvements to improve the City's transportation network and accessibility, to increase the amount of developable land within the City, to promote the public's health, safety and welfare, and for the other public purposes identified herein; (ii) the property to be assessed is specially benefited by the special assessments; and (iii) the special assessments have been petitioned for by the owners of 100% of the property to be assessed; now, therefore,

BE IT RESOLVED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That the recitals hereof are hereby incorporated by reference, and each capitalized term not otherwise defined in this Resolution or by reference to another document shall have the meaning assigned to it in the Petition, which Petition is hereby approved and accepted, and a copy of which is attached to this Resolution as Attachment A.

Section 2. That it is hereby declared necessary, and a public purpose of the City, to improve Walworth Avenue, located in the East End neighborhood of Cincinnati by constructing an extension thereof, together with curbs, street lighting, streetscaping, sidewalks, water mains, and storm and sanitary sewer; necessary remediation of soil in the related right-of-way; installing retaining walls; acquiring land necessary to construct and install the foregoing; and acquiring, constructing, and installing other related improvements, as further described in the Petition submitted by the owners of one hundred percent (100%) of the lands to be assessed and the profile, plans, and specifications therefor, each of which are on file with the Clerk of Council (the "Public Infrastructure Improvements"). The Petition, profile, plans and specifications have been, and will remain, open to inspection by all interested persons.

Section 3. That Council finds and determines that (a) all of the Public Infrastructure Improvements are so situated in relation to each other that in order to complete the Public Infrastructure Improvements in the most practical and economical manner, they should be constructed and improved at the same time, with the same kind of materials, and in the same manner; and (b) the Public Infrastructure Improvements shall be treated as a single improvement, pursuant to Section 727.09 of the Ohio Revised Code ("ORC").

Section 4. That Council determines and declares that (a) the Public Infrastructure Improvements are an essential and vital public, municipal governmental purpose of the City, necessary in order to improve the City's transportation network and accessibility, to increase the amount of developable land within the City, and to promote the public's health, safety, and welfare; and (b) in order to fulfill these public purposes of the City, it is necessary and proper to provide for the construction of the Public Infrastructure Improvements.

Section 5. That the plans, specifications, profiles, and estimates of the costs of the Public Infrastructure Improvements, all now on file in the office of the Clerk of Council, are hereby

approved. The Public Infrastructure Improvements shall be made in accordance with the plans, specifications, profiles, and estimates of the costs of the Public Infrastructure Improvements.

Section 6. That Council hereby determines that (a) the Petition has been signed by 100% of the owners of the lands specially benefited by the Public Infrastructure Improvements, and (b) the Public Infrastructure Improvements constitute street improvements petitioned for by 100% of the owners of the property benefited and to be specially assessed for the costs thereof. In accordance with the Petition, \$3,073,661.83 of the “Assessable Cost” (as defined and described in the Petition) of the Public Infrastructure Improvements, together with financing and interest costs in connection with the issuance and repayment of related indebtedness by the City, shall be paid by the assessments levied against such specially benefited properties beginning with tax year 2022 and first collectable in 2023.

Section 7. That the method of levying said special assessments shall be in proportion to the benefits received, as set forth in the Petition. The portion of the costs of the Assessment Project allocable to the City will be 0%.

Section 8. That the lots to be assessed for the Public Infrastructure Improvements shall include numbered lots 1 through 27, 29, 31 through 33, 36, and 38, as more particularly described on Exhibit A to the Petition, and depicted on Exhibit C to the Petition (the “Assessed Property”), all of which are hereby determined to be specially benefited by the Public Infrastructure Improvements, and shall exclude the common areas and right-of-way described on Exhibit A to the Petition, and depicted on Exhibit C to the Petition.

Section 9. That the costs of the Public Infrastructure Improvements to be paid for directly or indirectly, in whole or in part, by funds derived from the special assessments may include but is not limited to those “Direct Costs” and “Indirect Costs” identified in the Petition, all together with interest thereon, administrative expenses with respect thereto, and

other allowable costs of the Public Infrastructure Improvements, as provided in ORC Chapter 727.

Section 10. That the special assessments for the Public Infrastructure Improvements to be levied shall be paid in 30 semi-annual installments beginning in 2023 (with respect to tax year 2022, the first tax year for which the assessments for the Public Infrastructure Improvements are to be levied) or otherwise in the manner provided by the Hamilton County Treasurer. One hundred percent (100%) of the owners of the Assessed Property have waived the right to pay the assessments in cash within thirty (30) days after the first publication of the notice of the assessing ordinance.

Section 11. That Council hereby accepts and approves the waivers contained in the Petition of all further notices, hearings, claims for damages, rights to appeal, and other rights of property owners under the law, including, but not limited to, those specified in ORC Chapter 727, and consents to the immediate imposition of the special assessments upon the Assessed Property.

Section 12. That the Port of Greater Cincinnati Development Authority, in cooperation with the City, and pursuant to a separate City ordinance, intends to issue bonds to finance the construction of the Public Infrastructure Improvements, a portion of which the City anticipates will be repaid via the special assessments collected.

Section 13. That the estimated assessments of the Assessable Costs of the Public Infrastructure Improvements in accordance with the method of assessment set forth in the Petition and this resolution, showing the amount of the assessment against each lot of land to be assessed, are now on file with the Clerk of Council.

Section 14. That the assessments shall be used to construct the Public Infrastructure Improvements, to repay indebtedness incurred in order to finance the construction of the Public

Infrastructure Improvements, and to cover administrative and other expenses related to the foregoing.

Section 15. That it is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Resolution were adopted in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public in compliance with all legal requirements, including Ohio Revised Code Section 121.22.

Section 16. That notice of the passage of this resolution has been waived by the owners of 100% of the Assessed Property.

Section 17. That this resolution shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is to improve the City's transportation network and accessibility and increase the amount of developable land within Cincinnati as soon as possible.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

ATTACHMENT A

P E T I T I O N

TO THE COUNCIL OF THE CITY OF CINCINNATI, OHIO:

The undersigned, **JNB Custom Homes, LLC**, an Ohio limited liability company, **RM Interiors, LLC**, an Ohio limited liability company, **Frazier Custom Homes, LLC**, an Ohio limited liability company, **Redknot Holdings, LLC**, an Ohio limited liability company, **Matthew R. Vajen**, an individual, **Louis Markham Dauner and Geraldine Wu**, husband and wife, and **East End Development LLC**, an Ohio limited liability company (collectively, the “*Owner*”) represents and warrants that it is, on the date of this Petition and on the date of submission of this Petition to the Council of the City of Cincinnati (“*City Council*”), the owner of fee simple title to the real property described in Exhibit A attached hereto and incorporated herein by this reference, less lots 28, 30, 34, 35, 37, and 39 which are not the subject of this petition (“*Property*”), and that the Property includes one hundred percent (100%) of the area and lots and lands benefited by and to be assessed for the improvements hereinafter described (“*Assessed Lands*”).

Petition for Public Improvements. The Owner (together with its grantees or transferees, and its and their successors and assigns as owners of any of the lots and lands included in the Assessed Lands, “*Owners*”), hereby respectfully petitions this City Council for the public improvements described in Exhibit B attached hereto, which Exhibit is incorporated herein by this reference (collectively, “*Public Infrastructure Improvements*”), as the same are further described and detailed in the plans, specifications, profiles and estimates of cost (collectively, “*Plans*”) filed in the office of the Clerk of Council of the City of Cincinnati (“*City*”) prior to or concurrently with the filing of this Petition.

Assessed Lands. The Assessed Lands shall solely include lots 1 through 27, 29, 31 through 33, 36, and 38 included within the Property as depicted in Exhibit C attached hereto, and shall exclude lots 28, 30, 34, 35, 37, and 39 and the real property dedicated as right-of-way for the Public Infrastructure Improvements and the common areas not included in lots 1 through 39, each as depicted in Exhibit C (“*Excluded Properties*”).

Costs to be Assessed; Period of Assessment. The undersigned further requests, on behalf of the Owners, that 100% of the total assessable cost of the Public Infrastructure Improvements, determined subject to and as further described herein and in the Plans (“*Assessable Cost*”), be assessed upon the lots and lands constituting the Assessed Lands, with such assessments (“*Special Assessments*”) to be allocated and assessed to the Assessed Lands in proportion to the benefits received, as further described herein, and to be payable, when levied, semi-annually for not more than **fifteen (15)** years.

The Assessable Cost of the Public Infrastructure Improvements may include, if so elected by the City, any one or more of the following costs:

(a) all costs (“*Direct Costs*”) incurred with respect to the design, engineering, acquisition, construction, installation and equipping of the Public Infrastructure Improvements including, without limitation, the following to the extent applicable: (i) the purchase price of real estate or any interest therein when acquired by purchase; (ii) the cost of preliminary and other surveys and designs; (iii) the cost of preparing plans, specifications, profiles, and estimates; (iv)

the cost of printing, serving, and publishing notices, resolutions, and ordinances; (v) the cost of all special proceedings; and (vi) the cost of labor and material, whether furnished by contract or otherwise, together with reasonable construction management fees; and

(b) all costs ("*Indirect Costs*") incurred in connection with the preparation, levy, collection and enforcement of the Special Assessments and the financing of the Public Infrastructure Improvements including, without limitation, the following: (i) with respect to the issuing or servicing of any revenue, general obligation or other bonds ("*Bonds*") that may be issued by the City, or the Port of Greater Cincinnati Development Authority (the "*Port*") under an agreement with the City, in anticipation of collection of the Special Assessments (whether or not also issued in anticipation of other revenues) or otherwise, to finance the Public Infrastructure Improvements (or to refund Bonds previously issued to finance the Public Infrastructure Improvements or refund prior Bonds), subject to the limitations established in the ordinance levying the assessments (or such other ordinances as may be applicable), together with any bond service charges or other like charges, administrative expenses and transaction costs, including by way of example and not of limitation, the following: (A) interest on the Bonds at fixed or variable rates in effect from time to time; (B) costs of obtaining, maintaining or reimbursing payments under letters of credit or other credit enhancement facilities issued to secure payments relating to the Bonds; (C) reserve funds, replenishment of reserve funds, and payment of costs of letters of credit or surety bonds obtained in lieu of funding a reserve fund, or reimbursement of draws thereunder, but subject to the limitation included in this Petition; (D) the fees and expenses of a qualified corporate bond trustee for the Bonds, if applicable; (E) all usual and customary costs of issuance fees, charges and expenses and administrative charges by the City in connection with the issuance of the Bonds, the imposition of the Special Assessments and the implementation of the Public Infrastructure Improvements; and (F) any other usual and customary fees and administrative expenses incurred by the City, the Port, or a trustee in connection with the issuance, servicing or enforcement of the Bonds, the payment of bond service charges or other like charges or the collection and enforcement of the Special Assessments; (ii) without limiting the Owners' waiver of the same, the total amount of damages, resulting from the Public Infrastructure Improvements, assessed in favor of any owner of lands affected by the Public Infrastructure Improvements and interest thereon; (iii) the cost incurred in connection with the preparation, levy, collection and enforcement of the Special Assessments, including reasonable administrative and legal expenses incurred by reason of the Public Infrastructure Improvements, the financing thereof, or the Special Assessments; and (iv) incidental costs, including reasonable administrative and legal expenses, directly connected with the Public Infrastructure Improvements;

All together with interest thereon, administrative expenses with respect thereto and other allowable costs of the Public Infrastructure Improvements, as provided in Chapter 727 of the Ohio Revised Code ("*Assessment Act*");

Estimated Assessments. In connection with this Petition and in furtherance of the purposes hereof, the Owner acknowledges that it has reviewed the Plans, including the estimated costs of the Public Infrastructure Improvements (including any debt service relating thereto), prepared by Abercrombie & Associates, Inc., and now on file with the Clerk of Council. In connection with this Petition and in furtherance of the purposes hereof, the Owner further acknowledges that it has reviewed the estimated Special Assessments to be levied for the Public Infrastructure Improvements, including all estimated costs to be included therein which are now

on file with the Clerk of Council, and acknowledges and agrees that the estimated Special Assessments have been determined in accordance with this Petition.

Benefit. The undersigned Owner acknowledges and agrees that the Special Assessments as contemplated herein do not exceed the benefit to be received by the Assessed Lands as a result of the Public Infrastructure Improvements. The undersigned Owner further acknowledges and agrees, in consideration of the construction of the Public Infrastructure Improvements by or on behalf of the City, that no property in the City, other than the Property, will receive special benefits from the Public Infrastructure Improvements, and requests that the amount that would have been assessed on any other property in the City, except for the absence of any special benefit to that other property, be assessed upon the Assessed Lands, and that the balance of the total costs of the Public Infrastructure Improvements to be assessed by the City be assessed on the Assessed Lands.

Acknowledgments, Consents and Waivers. The undersigned Owner consents and requests that the Special Assessments be levied and collected without limitation as to the value of the property assessed and hereby waives any and all rights, benefits, and privileges specified by the Assessment Act, including by Ohio Revised Code Sections (“*ORC §§*”) 727.03 and 727.06 or by any other section thereof restricting said assessments to thirty-three and one-third percent (33-1/3%) of the actual improved value of said lots and lands as enhanced by the Public Infrastructure Improvements made or to be made, or under *ORC §*727.04 or any other section thereof limiting assessments for re-improvements where an assessment has been levied and paid previously. The undersigned further waives any and all damages or claims for damages of whatsoever kind, character or description growing out of or resulting from the Public Infrastructure Improvements or the making thereof including, by way of example and not of limitation, all rights, benefits, and privileges which are specified by *ORC §§*727.18 through 727.22, inclusive, and *ORC §*727.43.

The undersigned Owner further waives all notices and procedures required for the making of the Public Infrastructure Improvements or the imposition of the Special Assessments, including (by way of example and not of limitation) notice of the adoption of the resolution of necessity and the filing of estimated assessments, the equalization of the estimated assessments, any increase in the cost of labor and materials or financing-related costs over the estimated cost thereof, and the passage of the assessing ordinance, and including (also by way of example and not of limitation) such notices as are authorized and required by *ORC §§*727.13, 727.16, 727.17, 727.24 and 727.26. The undersigned Owner further waives the strict construction of proceedings specified by *ORC §*727.40 and expressly agrees that the proceedings shall be liberally construed in all respects to support the imposition and collection of the Special Assessments in the amounts levied pursuant to this Petition; waives the lapse or waiver of the lien of the Special Assessments after two years as specified by *ORC §*727.34, and expressly agrees, as a covenant running with the land and to be further evidenced by the declaration referred to and to be recorded as described below, that such lien does and shall continue in force so long as any of the Special Assessments remain on the tax list uncollected; and waives any and all irregularities and defects in the proceedings for the imposition of the Special Assessments and such lien.

The undersigned Owner, on behalf of itself and any other Owners from time to time, hereby waives any other procedural or other requirements with respect to the imposition of special assessments to the extent any such requirement would (i) be inconsistent with or in

addition to the procedures described in this Petition or (ii) if not met, result in the invalidity or illegality of all or a portion of the Special Assessments.

Covenants of Owners. In consideration of the special benefits conferred by the Public Infrastructure Improvements, the undersigned Owner covenants and agrees that it will (so long as it is an Owner of Assessed Lands), and that each other Owner will, pay promptly all Special Assessments levied against those Assessed Lands owned by such Owner as they come due and before they become delinquent, and further agrees that the determination by the City Council of the Special Assessments to be imposed against the Assessed Lands will be final, conclusive and binding upon each and all of the Assessed Lands and each such Owner (except as may be subsequently amended by the City Council to establish the final amount of said Special Assessments).

The undersigned Owner further covenants and agrees, so long as the Bonds remain outstanding, upon the transfer of any of the Assessed Lands or any portion thereof to any transferee: (a) to disclose the existence of any outstanding Special Assessments for the Public Infrastructure Improvements, (b) to pay or cause to be paid prior to any such transfer, as a condition to the effectiveness of the delivery of any deed or instrument of transfer, all Special Assessments then or theretofore due and payable with respect to the Assessed Lands to be transferred, and (c) to require that each such transferee agree to make such payments, make such disclosure to any subsequent transferee and require subsequent transferees to take on the same obligations; provided that recording of a declaration against all of the Assessed Lands making such disclosures, imposing such obligations and providing for the waiver by any transferee of any rights that the undersigned Owner has waived pursuant to this Petition, shall constitute full satisfaction of the requirements of clauses (a) and (c) of this sentence. As a condition to any transfer of Assessed Lands while any of the Special Assessments remain unpaid and the Bonds remain outstanding, the deed or instrument of transfer to any transferee shall provide for (i) the acquisition of such property subject to any outstanding Special Assessments imposed on such property and for the waiver by such transferee of any rights that the undersigned Owner has waived pursuant to this Petition and (ii) the requirement that each transferee from time to time of any of the Assessed Lands covenant to include in the deed or instrument of transfer to any subsequent transferee the conditions described in clause (i) of this sentence so long as any such Special Assessments remain unpaid and the Bonds remain outstanding; provided, that if a declaration conforming to the requirements of this Petition shall have been recorded with respect to all of the Assessed Lands, the deed or instrument of transfer may instead make specific reference to that declaration. For purposes of this Petition, the term "*transfer*" shall include any transfer or assignment of either the controlling voting interest, or of all or substantially all of the economic interest, in any entity formed for the purpose of owning (or otherwise owning) one or more parcels included in the Assessed Lands as all or a substantial part of the assets of such entity, but excluding a collateral assignment for security purposes only.

Apportionment of Special Assessments. Owner hereby certifies that the special benefits attributable to the Public Infrastructure Improvement will inure to the future owners of each lot equally. Therefore, subject to applicable law, the Special Assessments shall be apportioned equally to each lot within the Assessed Lands, as shown in Exhibit D.

Additional Agreements and Waivers of Owners: The undersigned Owner understands and requests that the Special Assessments be collected semi-annually to pay debt service and other related costs of the Bonds (and any related Bond Obligations) issued to pay costs of the

Public Infrastructure Improvements. The undersigned Owner hereby waives its right to receive notice of the Special Assessments and further waives its right to pay the Special Assessments in cash prior to certification of the Special Assessments to the County Auditor. To the extent, if any, not included above, the undersigned Owner further waives any and all irregularities and defects in the proceedings for the Special Assessments, the issuance of the Bonds, and the certification, collection and enforcement of the Special Assessments and the lien thereof.

The undersigned Owner further consents and agrees that all legislation required to be enacted to permit the Public Infrastructure Improvements to commence immediately be enacted at one City Council meeting, including the resolution of necessity specified in Section 727.12 of the Revised Code, the ordinance to proceed specified in Section 727.23 of the Revised Code and the assessing ordinance specified in Section 727.25 of the Revised Code, and further consents and requests that the Special Assessments shall be levied and may be collected before the actual cost of the Public Infrastructure Improvements is ascertained. The Owner, and each of the Owners, specifically agrees that it will not contest, in a judicial or administrative proceeding the Special Assessments levied against the Assessed Lands for the Public Infrastructure Improvements.

Petition Binds all Future Owners. Whether or not expressly stated herein, each and every covenant, agreement, representation, warranty, certification, verification, waiver, imposition or other condition or term of this Petition made by the undersigned Owner is and shall constitute a covenant running with the Assessed Lands, made for and on behalf of each Owner from time to time of any and all of the Assessed Lands, and each of their successors and assigns, as if each such Owner (or successor or assign) had owned the Assessed Lands on the dates of this Petition and its submission to City Council, and had joined in the execution hereof. The undersigned Owner hereby acknowledges and affirms, for itself and on behalf of each Owner from time to time, that (i) it intends that the City rely on each covenant, agreement, representation, warranty, certification, verification, waiver, imposition or other condition or term of this Petition, and (ii) if the City elects to levy the Special Assessments and otherwise take the actions contemplated hereby, that the City is acting in consideration of each such covenant, agreement, representation, warranty, certification, verification, waiver, imposition or other condition or term of this Petition.

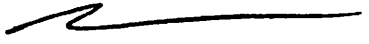
Declaration. The undersigned Owner further covenants and agrees to sign and deliver a declaration or other instrument, in form satisfactory to the City, acknowledging the imposition and lien of the Special Assessments against the Assessed Lands, the amounts of the Special Assessments levied on the Assessed Lands, the period during which the Special Assessments are expected to be due and payable and the other matters referred to herein, for recording in the Official Records of Hamilton County, Ohio at or prior to the issuance of the Bonds, and to cause the holder of any existing liens on the Property to expressly join in that declaration for the purpose of expressly subordinating its lien to the lien of the Special Assessments.

Authority to Sign. The undersigned signatory represents and warrants that he has full right and authority to sign this Petition and no other signatures or approvals are required.

[Signature Page Follows]

LOT 5 OWNER:

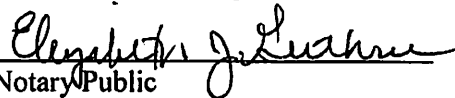
Matthew R. Vajen



Dated: 2/12, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 12 day of February, 2021 by Matthew R. Vajen. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.



Notary Public
My commission expires: 10-01-2022



ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022

LOT 6 AND 16 OWNER:

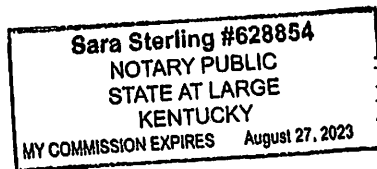
REDKNOT HOLDINGS, LLC

By: MA
Name: Mark Pottebaum
Its: sole member

Dated: February 15, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 15 day of February, 2021 by mark pottebaum, sole member of Redknot Holdings, LLC, an Ohio limited liability company, on behalf of the company. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.



Sara Sterling
Notary Public
My commission expires: _____

LOT 23 OWNER #1:

JNB Custom Homes, LLC

By: _____
Name: John Boyle
Its: Managing Member

Dated: 2/17/-, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 17 day of February, 2021 by John Boyle, Managing Member of JNB Custom Homes, LLC, an Ohio limited liability company, on behalf of the company. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.

Elizabeth J. Guthrie
Notary Public
My commission expires: 10-4-2022



ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022

LOT 23 OWNER #2:

RM Interiors, LLC

By: [Signature]
Name: RENAN MENNINGER
Its: President Managing Member

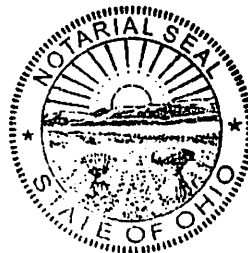
Dated: 2-17, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 17 day of February, 2021 by Renan Menninger, Managing Member of RM Interiors, LLC, an Ohio limited liability company, on behalf of the company. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.

[Signature]
Notary Public

My commission expires: 10-4-2022



ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022

LOT 27 OWNER:

**LOUIS MARKHAM DAUNER AND
GERALDINE WU**

By: *Louis M. Dauner*
Louis Markham Dauner

By: *Geraldine Wu*
Geraldine Wu

Dated: *February 16*, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 16 day of February, 2021 by Louis Markham Dauner and Geraldine Wu, husband and wife. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.

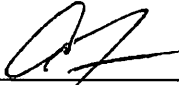


ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022

Elizabeth J. Guthrie
Notary Public
My commission expires: 10-4-2022

LOT 36 OWNER:

FRAZIER CUSTOM HOMES, LLC

By: 
Name: ANDRE FRAZIER
Its: PRESIDENT

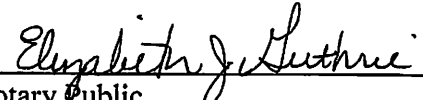
Dated: February 16, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 16 day of February, 2021 by Andre FRAZIER, President of Frazier Custom Homes, LLC, an Ohio limited liability company, on behalf of the company. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.



ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022


Notary Public
My commission expires: 10-4-2022

LOTS 1-5, 7-15, 17-22, 24-27, 29, 31-33,
38 and O.S. Parcels A & B OWNER:

EAST END DEVELOPMENT LLC

By: [Signature]
Name: Ralph Meinenjohn
Its: Member

Dated: February 12, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 12 day of February, 2021 by Ralph Meinenjohn, Managing Member of East End Development LLC, an Ohio limited liability company, on behalf of the company. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.



ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022

[Signature]
Notary Public
My commission expires: 10-4-2022

EXHIBIT A

DESCRIPTION OF PROPERTY

Situate in Section 31, Town 4, Fractional Range 2, Columbia Township, City of Cincinnati, Hamilton County, Ohio and being more particularly described as follows:

Being all of Lot Numbers 1-39, inclusive and Open Space Parcels A and B of Walworth Junction Subdivision as recorded in Plat Book 480, Pages 29 - 31 of the Hamilton County, Ohio Records.

Lot 1 Parcel No. 031-0002-0114
Lot 2 Parcel No. 031-0002-0115
Lot 3 Parcel No. 031-0002-0116
Lot 4 Parcel No. 031-0002-0117
Lot 5 Parcel No. 031-0002-0118
Lot 6 Parcel No. 031-0002-0119
Lot 7 Parcel No. 031-0002-0120
Lot 8 Parcel No. 031-0002-0121
Lot 9 Parcel No. 031-0002-0122
Lot 10 Parcel No. 031-0002-0123
Lot 11 Parcel No. 031-0002-0124
Lot 12 Parcel No. 031-0002-0125
Lot 13 Parcel No. 031-0002-0126
Lot 14 Parcel No. 031-0002-0127
Lot 15 Parcel No. 031-0002-0128
Lot 16 Parcel No. 031-0002-0129
Lot 17 Parcel No. 031-0002-0130
Lot 18 Parcel No. 031-0002-0131
Lot 19 Parcel No. 031-0002-0132
Lot 20 Parcel No. 031-0002-0133

Lot 21 Parcel No. 031-0002-0134
Lot 22 Parcel No. 031-0002-0135
Lot 23 Parcel No. 031-0002-0136
Lot 24 Parcel No. 031-0002-0137
Lot 25 Parcel No. 031-0002-0138
Lot 26 Parcel No. 031-0002-0139
Lot 27 Parcel No. 031-0002-0140
Lot 28 Parcel No. 031-0002-0141
Lot 29 Parcel No. 031-0002-0142
Lot 30 Parcel No. 031-0002-0143
Lot 31 Parcel No. 031-0002-0144
Lot 32 Parcel No. 031-0002-0145
Lot 33 Parcel No. 031-0002-0146
Lot 34 Parcel No. 031-0002-0147
Lot 35 Parcel No. 031-0002-0148
Lot 36 Parcel No. 031-0002-0149
Lot 37 Parcel No. 031-0002-0150
Lot 38 Parcel No. 031-0002-0151
Lot 39 Parcel No. 031-0002-0152
O. S. "A" Parcel No.
O. S. "B" Parcel No.

EXHIBIT B

PUBLIC INFRASTRUCTURE IMPROVEMENTS

The Public Infrastructure Improvements include the following public improvements:

Approximately 1,635 lineal feet of roadway, along with commensurate curbs, street lighting, streetscaping, sidewalks, water mains, and storm and sanitary sewer.

Remediation of soil in the new public right of way (including testing the area, excavating contaminated soil, and having the contaminated soil shipped to an off site approved EPA landfill).

Installation of retaining walls to provide structural retaining for uphill City of Cincinnati Park Board property that is immediately adjacent to the new public right of way. All related geotechnical investigation, engineering, and inspection services related to the design and installation of these walls.

Acquisition of land necessary to construct the foregoing.

EXHIBIT C
DEPICTION OF THE PROPERTY
(SEE ATTACHED)

COLUMBIA TOWNSHIP, CITY OF CINCINNATI,
HAMILTON COUNTY, OHIO

40 later

VICINITY MAP

•

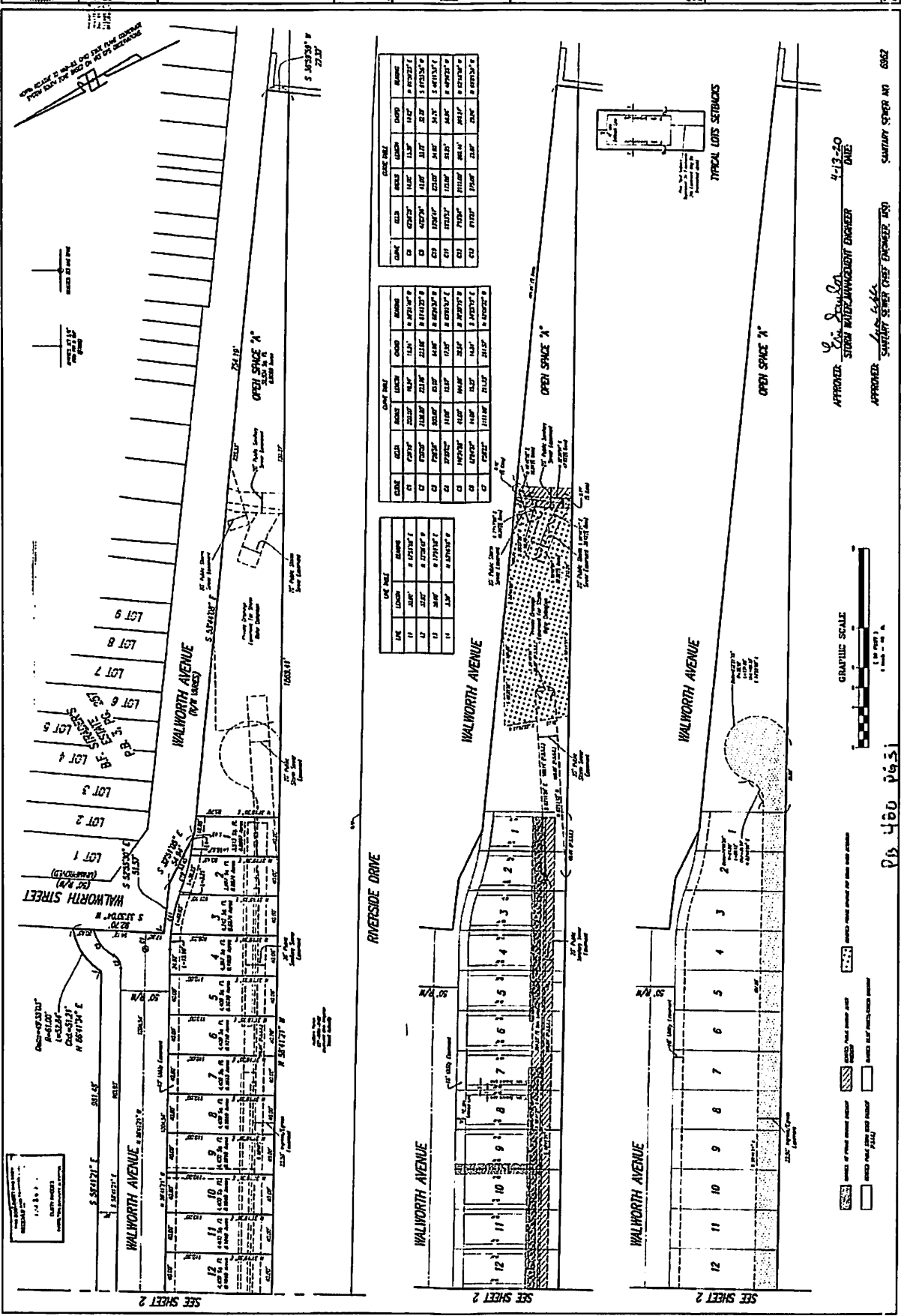


EXHIBIT D

ESTIMATED ASSESSMENTS

A	B	C	D
<u>Assessed Lands Lot Number</u> (lot number references refer to the numbered lots within the Walworth Junction Subdivision Plat shown in Exhibit C above)	<u>Aggregate Special Assessment</u>	<u>Special Assessment By Lot</u> (B / 33)	<u>Semi-Annual Installment of Special Assessment</u> (C / 30) (i.e., this amount is to be paid 30 times over a 15 year period commencing with the payment of the first installment of the tax year 2022 tax bill)
1	\$4,950,000	\$150,000	\$5000.00
2	\$4,950,000	\$150,000	\$5000.00
3	\$4,950,000	\$150,000	\$5000.00
4	\$4,950,000	\$150,000	\$5000.00
5	\$4,950,000	\$150,000	\$5000.00
6	\$4,950,000	\$150,000	\$5000.00
7	\$4,950,000	\$150,000	\$5000.00
8	\$4,950,000	\$150,000	\$5000.00
9	\$4,950,000	\$150,000	\$5000.00
10	\$4,950,000	\$150,000	\$5000.00
11	\$4,950,000	\$150,000	\$5000.00
12	\$4,950,000	\$150,000	\$5000.00
13	\$4,950,000	\$150,000	\$5000.00
14	\$4,950,000	\$150,000	\$5000.00
15	\$4,950,000	\$150,000	\$5000.00
16	\$4,950,000	\$150,000	\$5000.00
17	\$4,950,000	\$150,000	\$5000.00
18	\$4,950,000	\$150,000	\$5000.00
19	\$4,950,000	\$150,000	\$5000.00
20	\$4,950,000	\$150,000	\$5000.00

21	\$4,950,000	\$150,000	\$5000.00
22	\$4,950,000	\$150,000	\$5000.00
23	\$4,950,000	\$150,000	\$5000.00
24	\$4,950,000	\$150,000	\$5000.00
25	\$4,950,000	\$150,000	\$5000.00
26	\$4,950,000	\$150,000	\$5000.00
27	\$4,950,000	\$150,000	\$5000.00
29	\$4,950,000	\$150,000	\$5000.00
31	\$4,950,000	\$150,000	\$5000.00
32	\$4,950,000	\$150,000	\$5000.00
33	\$4,950,000	\$150,000	\$5000.00
36	\$4,950,000	\$150,000	\$5000.00
38	\$4,950,000	\$150,000	\$5000.00

9910572.7

P E T I T I O N

TO THE COUNCIL OF THE CITY OF CINCINNATI, OHIO:

The undersigned, **JNB Custon Homes, LLC**, an Ohio limited liability company, **RM Interiors, LLC**, an Ohio limited liability company, **Frazier Custom Homes, LLC**, an Ohio limited liability company, **Redknot Holdings, LLC**, an Ohio limited liability company, **Matthew R. Vajen**, an individual, **Louis Markham Dauner and Geraldine Wu**, husband and wife, and **East End Development LLC**, an Ohio limited liability company (collectively, the “*Owner*”) represents and warrants that it is, on the date of this Petition and on the date of submission of this Petition to the Council of the City of Cincinnati (“*City Council*”), the owner of fee simple title to the real property described in Exhibit A attached hereto and incorporated herein by this reference, less lots 28, 30, 34, 35, 37, and 39 which are not the subject of this petition (“*Property*”), and that the Property includes one hundred percent (100%) of the area and lots and lands benefited by and to be assessed for the improvements hereinafter described (“*Assessed Lands*”).

Petition for Public Improvements. The Owner (together with its grantees or transferees, and its and their successors and assigns as owners of any of the lots and lands included in the Assessed Lands, “*Owners*”), hereby respectfully petitions this City Council for the public improvements described in Exhibit B attached hereto, which Exhibit is incorporated herein by this reference (collectively, “*Public Infrastructure Improvements*”), as the same are further described and detailed in the plans, specifications, profiles and estimates of cost (collectively, “*Plans*”) filed in the office of the Clerk of Council of the City of Cincinnati (“*City*”) prior to or concurrently with the filing of this Petition.

Assessed Lands. The Assessed Lands shall solely include lots 1 through 27, 29, 31 through 33, 36, and 38 included within the Property as depicted in Exhibit C attached hereto, and shall exclude lots 28, 30, 34, 35, 37, and 39 and the real property dedicated as right-of-way for the Public Infrastructure Improvements and the common areas not included in lots 1 through 39, each as depicted in Exhibit C (“*Excluded Properties*”).

Costs to be Assessed; Period of Assessment. The undersigned further requests, on behalf of the Owners, that 100% of the total assessable cost of the Public Infrastructure Improvements, determined subject to and as further described herein and in the Plans (“*Assessable Cost*”), be assessed upon the lots and lands constituting the Assessed Lands, with such assessments (“*Special Assessments*”) to be allocated and assessed to the Assessed Lands in proportion to the benefits received, as further described herein, and to be payable, when levied, semi-annually for not more than **fifteen (15)** years.

The Assessable Cost of the Public Infrastructure Improvements may include, if so elected by the City, any one or more of the following costs:

(a) all costs (“*Direct Costs*”) incurred with respect to the design, engineering, acquisition, construction, installation and equipping of the Public Infrastructure Improvements including, without limitation, the following to the extent applicable: (i) the purchase price of real estate or any interest therein when acquired by purchase; (ii) the cost of preliminary and other surveys and designs; (iii) the cost of preparing plans, specifications, profiles, and estimates; (iv)

the cost of printing, serving, and publishing notices, resolutions, and ordinances; (v) the cost of all special proceedings; and (vi) the cost of labor and material, whether furnished by contract or otherwise, together with reasonable construction management fees; and

(b) all costs (“*Indirect Costs*”) incurred in connection with the preparation, levy, collection and enforcement of the Special Assessments and the financing of the Public Infrastructure Improvements including, without limitation, the following: (i) with respect to the issuing or servicing of any revenue, general obligation or other bonds (“*Bonds*”) that may be issued by the City, or the Port of Greater Cincinnati Development Authority (the “*Port*”) under an agreement with the City, in anticipation of collection of the Special Assessments (whether or not also issued in anticipation of other revenues) or otherwise, to finance the Public Infrastructure Improvements (or to refund Bonds previously issued to finance the Public Infrastructure Improvements or refund prior Bonds), subject to the limitations established in the ordinance levying the assessments (or such other ordinances as may be applicable), together with any bond service charges or other like charges, administrative expenses and transaction costs, including by way of example and not of limitation, the following: (A) interest on the Bonds at fixed or variable rates in effect from time to time; (B) costs of obtaining, maintaining or reimbursing payments under letters of credit or other credit enhancement facilities issued to secure payments relating to the Bonds; (C) reserve funds, replenishment of reserve funds, and payment of costs of letters of credit or surety bonds obtained in lieu of funding a reserve fund, or reimbursement of draws thereunder, but subject to the limitation included in this Petition; (D) the fees and expenses of a qualified corporate bond trustee for the Bonds, if applicable; (E) all usual and customary costs of issuance fees, charges and expenses and administrative charges by the City in connection with the issuance of the Bonds, the imposition of the Special Assessments and the implementation of the Public Infrastructure Improvements; and (F) any other usual and customary fees and administrative expenses incurred by the City, the Port, or a trustee in connection with the issuance, servicing or enforcement of the Bonds, the payment of bond service charges or other like charges or the collection and enforcement of the Special Assessments; (ii) without limiting the Owners’ waiver of the same, the total amount of damages, resulting from the Public Infrastructure Improvements, assessed in favor of any owner of lands affected by the Public Infrastructure Improvements and interest thereon; (iii) the cost incurred in connection with the preparation, levy, collection and enforcement of the Special Assessments, including reasonable administrative and legal expenses incurred by reason of the Public Infrastructure Improvements, the financing thereof, or the Special Assessments; and (iv) incidental costs, including reasonable administrative and legal expenses, directly connected with the Public Infrastructure Improvements;

All together with interest thereon, administrative expenses with respect thereto and other allowable costs of the Public Infrastructure Improvements, as provided in Chapter 727 of the Ohio Revised Code (“*Assessment Act*”);

Estimated Assessments. In connection with this Petition and in furtherance of the purposes hereof, the Owner acknowledges that it has reviewed the Plans, including the estimated costs of the Public Infrastructure Improvements (including any debt service relating thereto), prepared by Abercrombie & Associates, Inc., and now on file with the Clerk of Council. In connection with this Petition and in furtherance of the purposes hereof, the Owner further acknowledges that it has reviewed the estimated Special Assessments to be levied for the Public Infrastructure Improvements, including all estimated costs to be included therein which are now

on file with the Clerk of Council, and acknowledges and agrees that the estimated Special Assessments have been determined in accordance with this Petition.

Benefit. The undersigned Owner acknowledges and agrees that the Special Assessments as contemplated herein do not exceed the benefit to be received by the Assessed Lands as a result of the Public Infrastructure Improvements. The undersigned Owner further acknowledges and agrees, in consideration of the construction of the Public Infrastructure Improvements by or on behalf of the City, that no property in the City, other than the Property, will receive special benefits from the Public Infrastructure Improvements, and requests that the amount that would have been assessed on any other property in the City, except for the absence of any special benefit to that other property, be assessed upon the Assessed Lands, and that the balance of the total costs of the Public Infrastructure Improvements to be assessed by the City be assessed on the Assessed Lands.

Acknowledgments, Consents and Waivers. The undersigned Owner consents and requests that the Special Assessments be levied and collected without limitation as to the value of the property assessed and hereby waives any and all rights, benefits, and privileges specified by the Assessment Act, including by Ohio Revised Code Sections (“*ORC §§*”) 727.03 and 727.06 or by any other section thereof restricting said assessments to thirty-three and one-third percent (33-1/3%) of the actual improved value of said lots and lands as enhanced by the Public Infrastructure Improvements made or to be made, or under ORC §727.04 or any other section thereof limiting assessments for re-improvements where an assessment has been levied and paid previously. The undersigned further waives any and all damages or claims for damages of whatsoever kind, character or description growing out of or resulting from the Public Infrastructure Improvements or the making thereof including, by way of example and not of limitation, all rights, benefits, and privileges which are specified by ORC §§727.18 through 727.22, inclusive, and ORC §727.43.

The undersigned Owner further waives all notices and procedures required for the making of the Public Infrastructure Improvements or the imposition of the Special Assessments, including (by way of example and not of limitation) notice of the adoption of the resolution of necessity and the filing of estimated assessments, the equalization of the estimated assessments, any increase in the cost of labor and materials or financing-related costs over the estimated cost thereof, and the passage of the assessing ordinance, and including (also by way of example and not of limitation) such notices as are authorized and required by ORC §§727.13, 727.16, 727.17, 727.24 and 727.26. The undersigned Owner further waives the strict construction of proceedings specified by ORC §727.40 and expressly agrees that the proceedings shall be liberally construed in all respects to support the imposition and collection of the Special Assessments in the amounts levied pursuant to this Petition; waives the lapse or waiver of the lien of the Special Assessments after two years as specified by ORC §727.34, and expressly agrees, as a covenant running with the land and to be further evidenced by the declaration referred to and to be recorded as described below, that such lien does and shall continue in force so long as any of the Special Assessments remain on the tax list uncollected; and waives any and all irregularities and defects in the proceedings for the imposition of the Special Assessments and such lien.

The undersigned Owner, on behalf of itself and any other Owners from time to time, hereby waives any other procedural or other requirements with respect to the imposition of special assessments to the extent any such requirement would (i) be inconsistent with or in

addition to the procedures described in this Petition or (ii) if not met, result in the invalidity or illegality of all or a portion of the Special Assessments.

Covenants of Owners. In consideration of the special benefits conferred by the Public Infrastructure Improvements, the undersigned Owner covenants and agrees that it will (so long as it is an Owner of Assessed Lands), and that each other Owner will, pay promptly all Special Assessments levied against those Assessed Lands owned by such Owner as they come due and before they become delinquent, and further agrees that the determination by the City Council of the Special Assessments to be imposed against the Assessed Lands will be final, conclusive and binding upon each and all of the Assessed Lands and each such Owner (except as may be subsequently amended by the City Council to establish the final amount of said Special Assessments).

The undersigned Owner further covenants and agrees, so long as the Bonds remain outstanding, upon the transfer of any of the Assessed Lands or any portion thereof to any transferee: (a) to disclose the existence of any outstanding Special Assessments for the Public Infrastructure Improvements, (b) to pay or cause to be paid prior to any such transfer, as a condition to the effectiveness of the delivery of any deed or instrument of transfer, all Special Assessments then or theretofore due and payable with respect to the Assessed Lands to be transferred, and (c) to require that each such transferee agree to make such payments, make such disclosure to any subsequent transferee and require subsequent transferees to take on the same obligations; provided that recording of a declaration against all of the Assessed Lands making such disclosures, imposing such obligations and providing for the waiver by any transferee of any rights that the undersigned Owner has waived pursuant to this Petition, shall constitute full satisfaction of the requirements of clauses (a) and (c) of this sentence. As a condition to any transfer of Assessed Lands while any of the Special Assessments remain unpaid and the Bonds remain outstanding, the deed or instrument of transfer to any transferee shall provide for (i) the acquisition of such property subject to any outstanding Special Assessments imposed on such property and for the waiver by such transferee of any rights that the undersigned Owner has waived pursuant to this Petition and (ii) the requirement that each transferee from time to time of any of the Assessed Lands covenant to include in the deed or instrument of transfer to any subsequent transferee the conditions described in clause (i) of this sentence so long as any such Special Assessments remain unpaid and the Bonds remain outstanding; provided, that if a declaration conforming to the requirements of this Petition shall have been recorded with respect to all of the Assessed Lands, the deed or instrument of transfer may instead make specific reference to that declaration. For purposes of this Petition, the term “*transfer*” shall include any transfer or assignment of either the controlling voting interest, or of all or substantially all of the economic interest, in any entity formed for the purpose of owning (or otherwise owning) one or more parcels included in the Assessed Lands as all or a substantial part of the assets of such entity, but excluding a collateral assignment for security purposes only.

Apportionment of Special Assessments. Owner hereby certifies that the special benefits attributable to the Public Infrastructure Improvement will inure to the future owners of each lot equally. Therefore, subject to applicable law, the Special Assessments shall be apportioned equally to each lot within the Assessed Lands, as shown in Exhibit D.

Additional Agreements and Waivers of Owners: The undersigned Owner understands and requests that the Special Assessments be collected semi-annually to pay debt service and other related costs of the Bonds (and any related Bond Obligations) issued to pay costs of the

Public Infrastructure Improvements. The undersigned Owner hereby waives its right to receive notice of the Special Assessments and further waives its right to pay the Special Assessments in cash prior to certification of the Special Assessments to the County Auditor. To the extent, if any, not included above, the undersigned Owner further waives any and all irregularities and defects in the proceedings for the Special Assessments, the issuance of the Bonds, and the certification, collection and enforcement of the Special Assessments and the lien thereof.

The undersigned Owner further consents and agrees that all legislation required to be enacted to permit the Public Infrastructure Improvements to commence immediately be enacted at one City Council meeting, including the resolution of necessity specified in Section 727.12 of the Revised Code, the ordinance to proceed specified in Section 727.23 of the Revised Code and the assessing ordinance specified in Section 727.25 of the Revised Code, and further consents and requests that the Special Assessments shall be levied and may be collected before the actual cost of the Public Infrastructure Improvements is ascertained. The Owner, and each of the Owners, specifically agrees that it will not contest, in a judicial or administrative proceeding the Special Assessments levied against the Assessed Lands for the Public Infrastructure Improvements.

Petition Binds all Future Owners. Whether or not expressly stated herein, each and every covenant, agreement, representation, warranty, certification, verification, waiver, imposition or other condition or term of this Petition made by the undersigned Owner is and shall constitute a covenant running with the Assessed Lands, made for and on behalf of each Owner from time to time of any and all of the Assessed Lands, and each of their successors and assigns, as if each such Owner (or successor or assign) had owned the Assessed Lands on the dates of this Petition and its submission to City Council, and had joined in the execution hereof. The undersigned Owner hereby acknowledges and affirms, for itself and on behalf of each Owner from time to time, that (i) it intends that the City rely on each covenant, agreement, representation, warranty, certification, verification, waiver, imposition or other condition or term of this Petition, and (ii) if the City elects to levy the Special Assessments and otherwise take the actions contemplated hereby, that the City is acting in consideration of each such covenant, agreement, representation, warranty, certification, verification, waiver, imposition or other condition or term of this Petition.

Declaration. The undersigned Owner further covenants and agrees to sign and deliver a declaration or other instrument, in form satisfactory to the City, acknowledging the imposition and lien of the Special Assessments against the Assessed Lands, the amounts of the Special Assessments levied on the Assessed Lands, the period during which the Special Assessments are expected to be due and payable and the other matters referred to herein, for recording in the Official Records of Hamilton County, Ohio at or prior to the issuance of the Bonds, and to cause the holder of any existing liens on the Property to expressly join in that declaration for the purpose of expressly subordinating its lien to the lien of the Special Assessments.

Authority to Sign. The undersigned signatory represents and warrants that he has full right and authority to sign this Petition and no other signatures or approvals are required.

[Signature Page Follows]

LOT 5 OWNER:

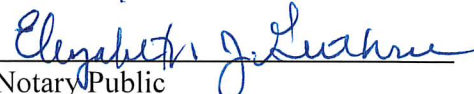
Matthew R. Vajen



Dated: 2/12, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 12 day of February, 2021 by Matthew R. Vajen. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.



Notary Public
My commission expires: 10-4-2022



ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022

LOT 6 AND 16 OWNER:

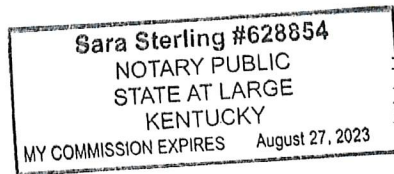
REDKNOT HOLDINGS, LLC

By: MA
Name: Mark Pottbaum
Its: Sole member

Dated: February 15, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 15 day of February, 2021 by Mark Pottbaum, Sole member of Redknot Holdings, LLC, an Ohio limited liability company, on behalf of the company. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.



Sara Sterling
Notary Public
My commission expires: _____

LOT 23 OWNER #1:

JNB Custom Homes, LLC

By: _____
Name: John Boyle
Its: Managing Member

Dated: 2/17/-, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 17 day of February, 2021 by John Boyle, Managing Member of JNB Custom Homes, LLC, an Ohio limited liability company, on behalf of the company. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.




ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022

Elizabeth J. Guthrie
Notary Public
My commission expires: 10-4-2022

LOT 23 OWNER #2:

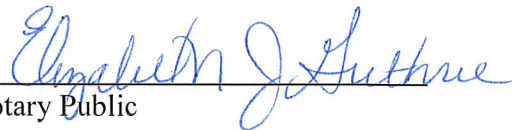
RM Interiors, LLC

By: 
Name: RENAN MENNINGER
Its: President Managing Member

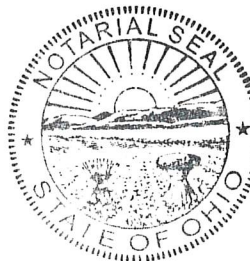
Dated: 2-17, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 17 day of February, 2021 by Renan Menninger, Managing Member of RM Interiors, LLC, an Ohio limited liability company, on behalf of the company. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.


Notary Public

My commission expires: 10-4-2022



ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022

LOT 27 OWNER:

**LOUIS MARKHAM DAUNER AND
GERALDINE WU**

By: *Louis M. Dauner*
Louis Markham Dauner

By: *Geraldine Wu*
Geraldine Wu

Dated: *February 16*, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this *16* day of *February*, 2021 by Louis Markham Dauner and Geraldine Wu, husband and wife. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.




ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022

Elizabeth J. Guthrie
Notary Public
My commission expires: *10-4-2022*

LOT 36 OWNER:

FRAZIER CUSTOM HOMES, LLC

By: 
Name: ANDRE FRAZIER
Its: PRESIDENT


Dated: February 16, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 16 day of February, 2021 by Andre FRAZIER, President of Frazier Custom Homes, LLC, an Ohio limited liability company, on behalf of the company. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.



ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022


Notary Public
My commission expires: 10-4-2022

LOTS 1-5, 7-15, 17-22, 24-27, 29, 31-33,
38 and O.S. Parcels A & B OWNER:

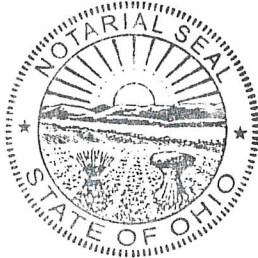
EAST END DEVELOPMENT LLC

By: [Signature]
Name: Ralph Meisjohan
Its: Member

Dated: February 12, 2021

STATE OF OHIO)
)
COUNTY OF HAMILTON)

The foregoing instrument was acknowledged before me this 12 day of February, 2021 by Ralph Meisjohan, Managing Member of East End Development LLC, an Ohio limited liability company, on behalf of the company. This is an acknowledgment, and no oath or affirmation was administered to the signer with regard to this acknowledgment.



ELIZABETH J. GUTHRIE
Notary Public, State of Ohio
My Commission Expires 10-04-2022

[Signature]
Notary Public
My commission expires: 10-4-2022

EXHIBIT A

DESCRIPTION OF PROPERTY

Situate in Section 31, Town 4, Fractional Range 2, Columbia Township, City of Cincinnati, Hamilton County, Ohio and being more particularly described as follows:

Being all of Lot Numbers 1-39, inclusive and Open Space Parcels A and B of Walworth Junction Subdivision as recorded in Plat Book 480, Pages 29 - 31 of the Hamilton County, Ohio Records.

Lot 1	Parcel No. 031-0002-0114	Lot 21	Parcel No. 031-0002-0134
Lot 2	Parcel No. 031-0002-0115	Lot 22	Parcel No. 031-0002-0135
Lot 3	Parcel No. 031-0002-0116	Lot 23	Parcel No. 031-0002-0136
Lot 4	Parcel No. 031-0002-0117	Lot 24	Parcel No. 031-0002-0137
Lot 5	Parcel No. 031-0002-0118	Lot 25	Parcel No. 031-0002-0138
Lot 6	Parcel No. 031-0002-0119	Lot 26	Parcel No. 031-0002-0139
Lot 7	Parcel No. 031-0002-0120	Lot 27	Parcel No. 031-0002-0140
Lot 8	Parcel No. 031-0002-0121	Lot 28	Parcel No. 031-0002-0141
Lot 9	Parcel No. 031-0002-0122	Lot 29	Parcel No. 031-0002-0142
Lot 10	Parcel No. 031-0002-0123	Lot 30	Parcel No. 031-0002-0143
Lot 11	Parcel No. 031-0002-0124	Lot 31	Parcel No. 031-0002-0144
Lot 12	Parcel No. 031-0002-0125	Lot 32	Parcel No. 031-0002-0145
Lot 13	Parcel No. 031-0002-0126	Lot 33	Parcel No. 031-0002-0146
Lot 14	Parcel No. 031-0002-0127	Lot 34	Parcel No. 031-0002-0147
Lot 15	Parcel No. 031-0002-0128	Lot 35	Parcel No. 031-0002-0148
Lot 16	Parcel No. 031-0002-0129	Lot 36	Parcel No. 031-0002-0149
Lot 17	Parcel No. 031-0002-0130	Lot 37	Parcel No. 031-0002-0150
Lot 18	Parcel No. 031-0002-0131	Lot 38	Parcel No. 031-0002-0151
Lot 19	Parcel No. 031-0002-0132	Lot 39	Parcel No. 031-0002-0152
Lot 20	Parcel No. 031-0002-0133	O. S. "A" Parcel No.	
		O. S. "B" Parcel No.	

EXHIBIT B

PUBLIC INFRASTRUCTURE IMPROVEMENTS

The Public Infrastructure Improvements include the following public improvements:

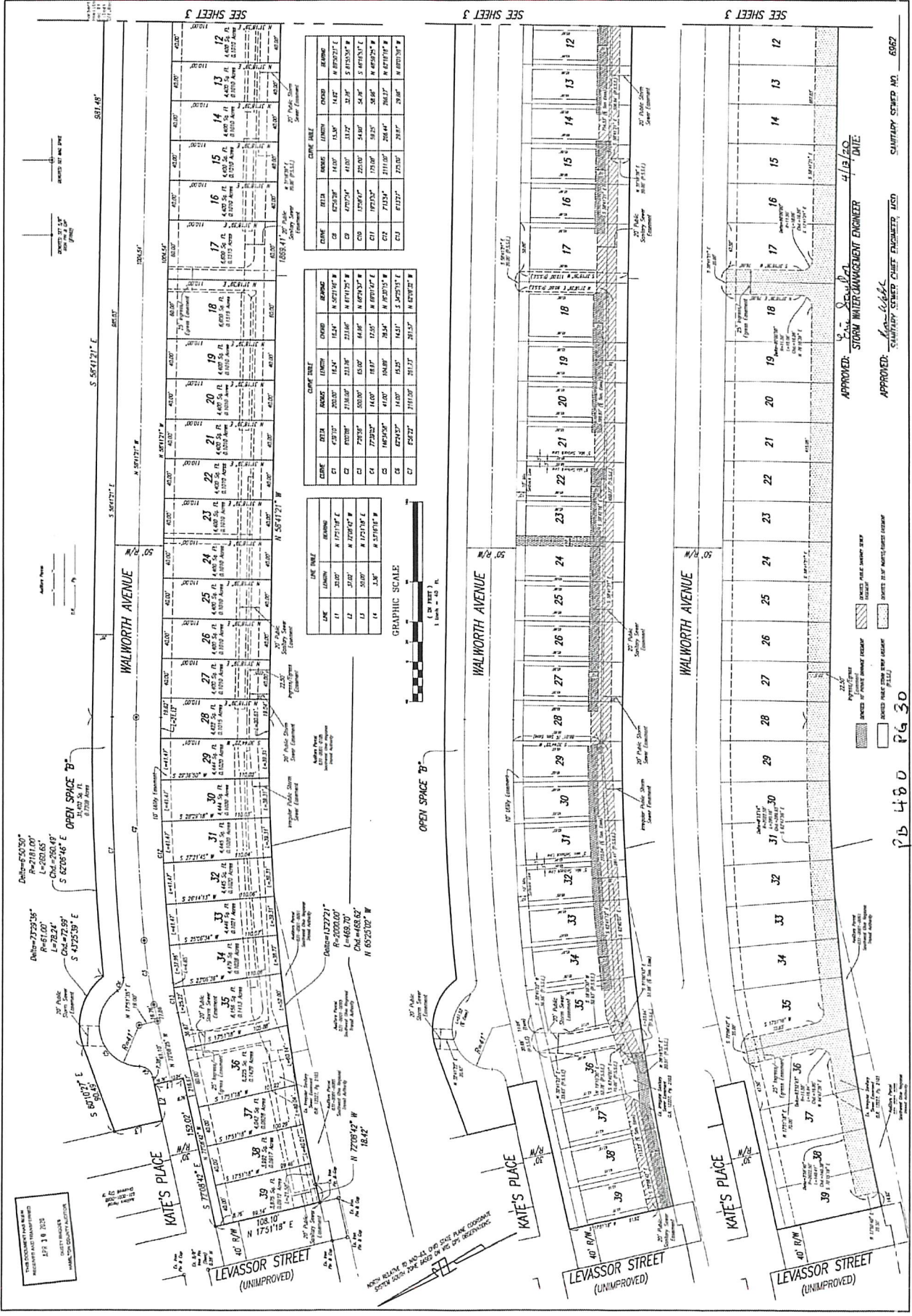
Approximately 1,635 lineal feet of roadway, along with commensurate curbs, street lighting, streetscaping, sidewalks, water mains, and storm and sanitary sewer.

Remediation of soil in the new public right of way (including testing the area, excavating contaminated soil, and having the contaminated soil shipped to an off site approved EPA landfill).

Installation of retaining walls to provide structural retaining for uphill City of Cincinnati Park Board property that is immediately adjacent to the new public right of way. All related geotechnical investigation, engineering, and inspection services related to the design and installation of these walls.

Acquisition of land necessary to construct the foregoing.

EXHIBIT C
DEPICTION OF THE PROPERTY
(SEE ATTACHED)



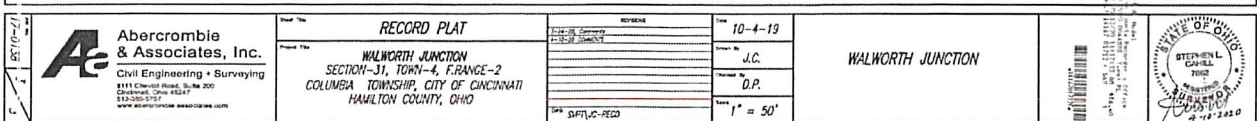


EXHIBIT D

ESTIMATED ASSESSMENTS

A	B	C	D
<u>Assessed Lands Lot Number</u> (lot number references refer to the numbered lots within the Walworth Junction Subdivision Plat shown in Exhibit C above)	<u>Aggregate Special Assessment</u>	<u>Special Assessment By Lot</u> (B / 33)	<u>Semi-Annual Installment of Special Assessment</u> (C / 30) (i.e., this amount is to be paid 30 times over a 15 year period commencing with the payment of the first installment of the tax year 2022 tax bill)
1	\$4,950,000	\$150,000	\$5000.00
2	\$4,950,000	\$150,000	\$5000.00
3	\$4,950,000	\$150,000	\$5000.00
4	\$4,950,000	\$150,000	\$5000.00
5	\$4,950,000	\$150,000	\$5000.00
6	\$4,950,000	\$150,000	\$5000.00
7	\$4,950,000	\$150,000	\$5000.00
8	\$4,950,000	\$150,000	\$5000.00
9	\$4,950,000	\$150,000	\$5000.00
10	\$4,950,000	\$150,000	\$5000.00
11	\$4,950,000	\$150,000	\$5000.00
12	\$4,950,000	\$150,000	\$5000.00
13	\$4,950,000	\$150,000	\$5000.00
14	\$4,950,000	\$150,000	\$5000.00
15	\$4,950,000	\$150,000	\$5000.00
16	\$4,950,000	\$150,000	\$5000.00
17	\$4,950,000	\$150,000	\$5000.00
18	\$4,950,000	\$150,000	\$5000.00
19	\$4,950,000	\$150,000	\$5000.00
20	\$4,950,000	\$150,000	\$5000.00

21	\$4,950,000	\$150,000	\$5000.00
22	\$4,950,000	\$150,000	\$5000.00
23	\$4,950,000	\$150,000	\$5000.00
24	\$4,950,000	\$150,000	\$5000.00
25	\$4,950,000	\$150,000	\$5000.00
26	\$4,950,000	\$150,000	\$5000.00
27	\$4,950,000	\$150,000	\$5000.00
29	\$4,950,000	\$150,000	\$5000.00
31	\$4,950,000	\$150,000	\$5000.00
32	\$4,950,000	\$150,000	\$5000.00
33	\$4,950,000	\$150,000	\$5000.00
36	\$4,950,000	\$150,000	\$5000.00
38	\$4,950,000	\$150,000	\$5000.00

9910572.7



David S. Mann
Councilmember

March 3, 2021

MOTION

WE MOVE that the City make a secondary name change to Hatch Street, between Loudon and Wareham Streets to Pat Barry Way.


Councilmember David Mann 

Statement:

Pat Barry's voice is interwoven in the fabric of Cincinnati. For more than 5 decades, he was a fixture on this city's airwaves. From radio to television, he helped mark the moments that make this city remarkable, providing the soundtrack and the words that are ingrained in our collective memories. This portion of Hatch Street is where that on-air magic met the human reality. Pat was a fixture on Hatch Street. Pat's connection was more than any radio microphone or television camera could contain. It was here in Mt. Adams, that many in Cincinnati heard that famous laugh in person and saw that Pat's unique ability to uplift everyone within earshot was a true Queen City treasure.

Date: March 10, 2021

To: Mayor and Members of City Council 202100932

From: Paula Boggs Muething, City Manager

Subject: EMERGENCY ORDINANCE - PEETE STREET RETAINING WALL – DETERMINING TO PROCEED

Attached is an emergency ordinance captioned as follows:

DETERMINING to proceed with the assessment of properties located on the southern side of the street between 49 and 67 Mulberry Street in the Over-the-Rhine neighborhood in the City of Cincinnati to pay for the costs of constructing a public improvement, namely a 243-foot retaining wall along Peete Street, pursuant to Ohio Revised Code Section 727.23.

Approval of this emergency ordinance enables the City to proceed with assessing the property owners between 49 and 67 Mulberry Street for the cost of constructing the retaining wall along Peete Street. The wall was constructed in accordance with Resolution No. 23-2019 which declared the necessity of assessing the owners of the property between 49 and 67 Mulberry for the construction of the retaining wall.

The reason for the emergency is the immediate need to begin the process for levying the assessment for the amounts of the public improvement described in Resolution No. 23-2019 and set forth in Exhibit A.

The Administration recommends passage of the attached emergency ordinance.

Attachment I – Exhibit A

cc: John S. Brazina, Director, Transportation and Engineering

EMERGENCY

JRS

AWB

City of Cincinnati

- 2021

An Ordinance No. _____

DETERMINING to proceed with the assessment of properties located on the southern side of the street between 49 and 67 Mulberry Street in the Over-the-Rhine neighborhood in the City of Cincinnati to pay for the costs of constructing a public improvement, namely a 243-foot retaining wall along Peete Street, pursuant to Ohio Revised Code Section 727.23.

WHEREAS, 49 Mulberry Street through 67 Mulberry Street are properties in the Over-the-Rhine neighborhood situated along the north side of Peete Street, between Peete and Mulberry Streets, which collectively have been impacted by the failure of a downhill retaining wall; and

WHEREAS, pursuant to Ohio Revised Code ("ORC") Section 727.06, the owners of these properties petitioned the City to construct a replacement retaining wall and to assess the costs of its construction to their properties; and

WHEREAS, the proposed retaining wall constitutes a public improvement whose costs may properly be assessed to adjacent owners under Chapter 727 of the Ohio Revised Code; and

WHEREAS, on April 10, 2019, pursuant to Ohio Revised Code Section 727.12, City Council adopted Resolution No. 23-2019 ("Resolution") and declared the necessity of assessing the properties between 49 and 67 Mulberry Street for the construction of a retaining wall; and

WHEREAS, pursuant to the Resolution, the estimated assessments for the public improvements were prepared and placed on file in the Office of the Clerk of Council; and

WHEREAS, pursuant to ORC Section 727.13, the affected property owners have been given notice of the passage of the Resolution and the filing of the estimated assessments; and

WHEREAS, no objection to the proposed assessments has been received; and

WHEREAS, Council hereby determines to proceed with the assessment to pay for the costs of the retaining wall; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That, pursuant to Ohio Revised Code ("ORC") Section 727.23, City Council hereby determines to proceed with the assessment of the properties set forth in Exhibit A hereto,

incorporated herein by reference, for the costs of the public improvement described in Resolution No. 23-2019.

Section 2. That City Council hereby adopts the assessments on file with the Clerk of Council in accordance with the Resolution, which assessments have been finally calculated and apportioned in the manner provided in Resolution No. 23-2019 and passed by Council on April 10, 2019.

Section 3. That no claim for damages has been filed pursuant to ORC Section 727.18.

Section 4. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II, Section 6 of the Charter, be effective immediately. The reason for the emergency is the immediate need to begin the process for levying the assessments for the amounts of the public improvement described in Resolution No. 23-2019.

Passed: _____, 2021

John Cranley, Mayor

Attest: _____
Clerk

EXHIBIT A

Final Cost for Peete Street Retaining Wall

Design/Build Contract	\$280,148.00
Graffiti Protection	\$0.00
Change Order	\$12,407.50
City Service ("soft cost")	\$32,632.43
2.0% City Contribution	<u>-\$6,503.76</u>
Cost to Homeowners	\$318,684.17

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Date: March 10, 2021

To: Mayor and Members of City Council 202100933

From: Paula Boggs Muething, City Manager

Subject: ORDINANCE - PEETE STREET RETAINING WALL – LEVYING SPECIAL ASSESSMENTS

Attached is an ordinance captioned as follows:

TO LEVY special assessments to pay for the costs of constructing a public improvement, namely a 243-foot retaining wall along Peete Street, adjacent to certain lots located between 49 and 67 Mulberry Street on the southern side of the street in the Over-the-Rhine neighborhood in the City of Cincinnati, in accordance with the Ohio Revised Code Section 727.25.

Approval of this ordinance finalizes the cost and enables the City to proceed with assessing the property owners between 49 and 67 Mulberry Street for the cost of the retaining wall behind their residences along Peete Street. This wall was constructed in accordance with Resolution No. 23-2019 which declared the necessity of assessing the owners of the property between 49 and 67 Mulberry Street for the construction of the retaining wall.

The actual cost of the project to be assessed to the homeowners is \$318,684.17. This total includes the contract cost and reimbursement of payroll expenses incurred by the City for overhead/support and construction management. The City funded 2% of the project at a cost of \$6,503.76.

The assessment method is the percentage of the retaining wall square footage that abuts each benefitted party. Assessments are payable in cash within thirty days after the passage of this ordinance, or at the option of the property owner, with their property taxes in installments as provided in Exhibit A.

The Administration recommends passage of the attached ordinance.

Attachment I – Exhibit A

cc: John S. Brazina, Director, Transportation and Engineering

City of Cincinnati

An Ordinance No. _____

- 2021

JRS

BWL

TO LEVY special assessments to pay for the costs of constructing a public improvement, namely a 243-foot retaining wall along Peete Street, adjacent to certain lots located between 49 and 67 Mulberry Street on the southern side of the street in the Over-the-Rhine neighborhood in the City of Cincinnati, in accordance with Ohio Revised Code Section 727.25.

WHEREAS, 49 Mulberry Street through 67 Mulberry Street are properties in the Over-the-Rhine neighborhood situated along the north side of Peete Street, between Peete and Mulberry Streets, which collectively have been impacted by the failure of a downhill retaining wall; and

WHEREAS, pursuant to Ohio Revised Code ("ORC") Section 727.06, the owners of these properties petitioned the City to construct a replacement retaining wall and to assess the costs of its construction to their properties; and

WHEREAS, the proposed retaining wall constitutes a public improvement whose costs may properly be assessed to adjacent owners under Chapter 727 of the Ohio Revised Code; and

WHEREAS, on April 10, 2019, pursuant to Ohio Revised Code Section 727.12, City Council adopted Resolution No. 23-2019 ("Resolution") and declared the necessity of assessing the properties between 49 and 67 Mulberry Street for the construction of a retaining wall; and

WHEREAS, pursuant to the Resolution, the estimated assessments for the public improvements were prepared and placed on file in the Office of the Clerk of Council; and

WHEREAS, pursuant to ORC Section 727.13, the affected property owners have been given notice of the passage of the Resolution and the filing of the estimated assessments; and

WHEREAS, no objection to the proposed assessments have been received; and

WHEREAS, pursuant to ORC Section 727.23, by its passage of Ordinance No. _____, 2021, Council has determined to proceed with the assessment to pay for the costs of the public improvements; and

WHEREAS, the actual costs for public improvements have been ascertained, and the apportionment of those costs among the properties are substantially similar to the estimated assessment amounts on file with the Clerk; and

WHEREAS, the Council hereby determines to levy the assessments to pay for the costs of the public improvements and to pay one-fiftieth (2%) of the total costs of the project pursuant to ORC Section 727.05; now, therefore,

BE IT ORDAINED by the Council of the City of Cincinnati, State of Ohio:

Section 1. That that the City Council hereby assesses all properties located between 49 and 67 Mulberry Street on the southern side of the street in the Over-the-Rhine neighborhood to pay for the cost of constructing the public improvement described in Resolution No. 23-2019, namely a 243-foot retaining wall along Peete Street.

Section 2. That the assessment shall be calculated and apportioned based upon percentage of the retaining wall square footage that abuts each benefitted property.

Section 3. That the actual amounts of the assessments are set forth on Exhibit A, attached hereto and incorporated herein by reference, which amounts are hereby adopted and affirmed pursuant to Ohio Revised Code ("ORC") Section 727.25.

Section 4. That, pursuant to ORC Section 727.05, the City will be responsible for one-fiftieth (2%) of the total costs of the public improvement.

Section 5. That the assessments levied by this ordinance shall be payable in cash to the Treasurer of the City of Cincinnati within 30 days after the passage of this ordinance or, at the option of each property owner, in annual installments as provided in Exhibit A at the annual rate of interest in the terms established by the City's Director of Finance. Each property owner's election shall be confirmed in a written communication provided to the City's Director of Finance or other designated City official.

Section 6. That, upon the expiration of such 30-day period, the Clerk of Council or other appropriate City official shall certify any unpaid assessments to the Auditor of Hamilton County to be placed on the tax duplicate for collection at the time and in the same manner as property

taxes are collected. Upon certification, the assessments shall be paid based upon the annual installment option selected by the property owner and confirmed with writing and, if no selection is timely made and confirmed in writing, then the assessment shall be paid in twenty semi-annual installments, at the same time and in the same manner as real property taxes, commencing with the taxes that are due and payable in January 2022.

Section 7. That the City of Cincinnati shall not issue any notes or bonds in anticipation of the collection of the assessments.

Section 8. That the appropriate City officials are authorized to add to the assessment an amount to cover the cost of collection, to accept the assessment funds, to deposit them into the appropriate account for the purpose of paying the costs and expenses of the public improvement concerned here, and to disburse them as required by law.

Section 9. That the Clerk of Council is hereby directed to cause notice of this ordinance to be published once in a newspaper of general circulation within the City of Cincinnati pursuant to ORC Section 727.26.

Section 10. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed _____, 2021

John Cranley, Mayor

Attest: _____

Clerk

EXHIBIT A

Final Cost for Peete Street Retaining Wall

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202100950

Betsy Sundermann
Cincinnati City Councilmember

March 5, 2021

MOTION

WE MOVE the Administration prepare a report on the feasibility of creating a Residential Parking Permit Area on Livingston Street in the West End.


Betsy Sundermann


David Mann *apl*

STATEMENT

CMs Mann and Sundermann via motion #202001432 previously requested that a Livingston Street Task Force be established by the Administration aimed at solving a variety of safety and quality of life issues surrounding this West End street.

As a result, the City Manager's Office is currently coordinating a cross departmental team aimed at developing a City-Community strategy for addressing concerns regarding crime and property conditions.

One specific solution often requested by residents on Livingston Street by virtual unanimity is a Residential Parking Permit Area. The Administration should consider all options for its creation, including the possible necessity for a notwithstanding ordinance should certain criteria not exist for a program on this street.

CALENDAR

DLM

020001808

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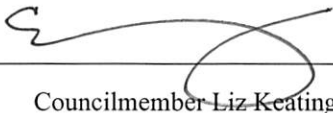


Liz Keating
Councilmember

March 4, 2021

Motion

Police officers experience multiple traumatic events throughout their entire career. A study in 2015 showed that the average law enforcement officers experience 188 critical incidents over the extent of their career. In response to the trauma they see in their everyday lives, law enforcement officers can turn to negative coping mechanisms, experience symptoms of and/or develop PTSD, as well as other mental health disorders adding unneeded and additional stress to their already stressful profession. Accordingly, WE MOVE that the Administration provide a full report regarding the mental health services available to law enforcement officers, including but not limited to counseling services, mental health training, and emotional health training. Moreover, WE MOVE that the Administration provide an additional report on the number of officers who are currently utilizing the mental health support services available to them.



Councilmember Liz Keating